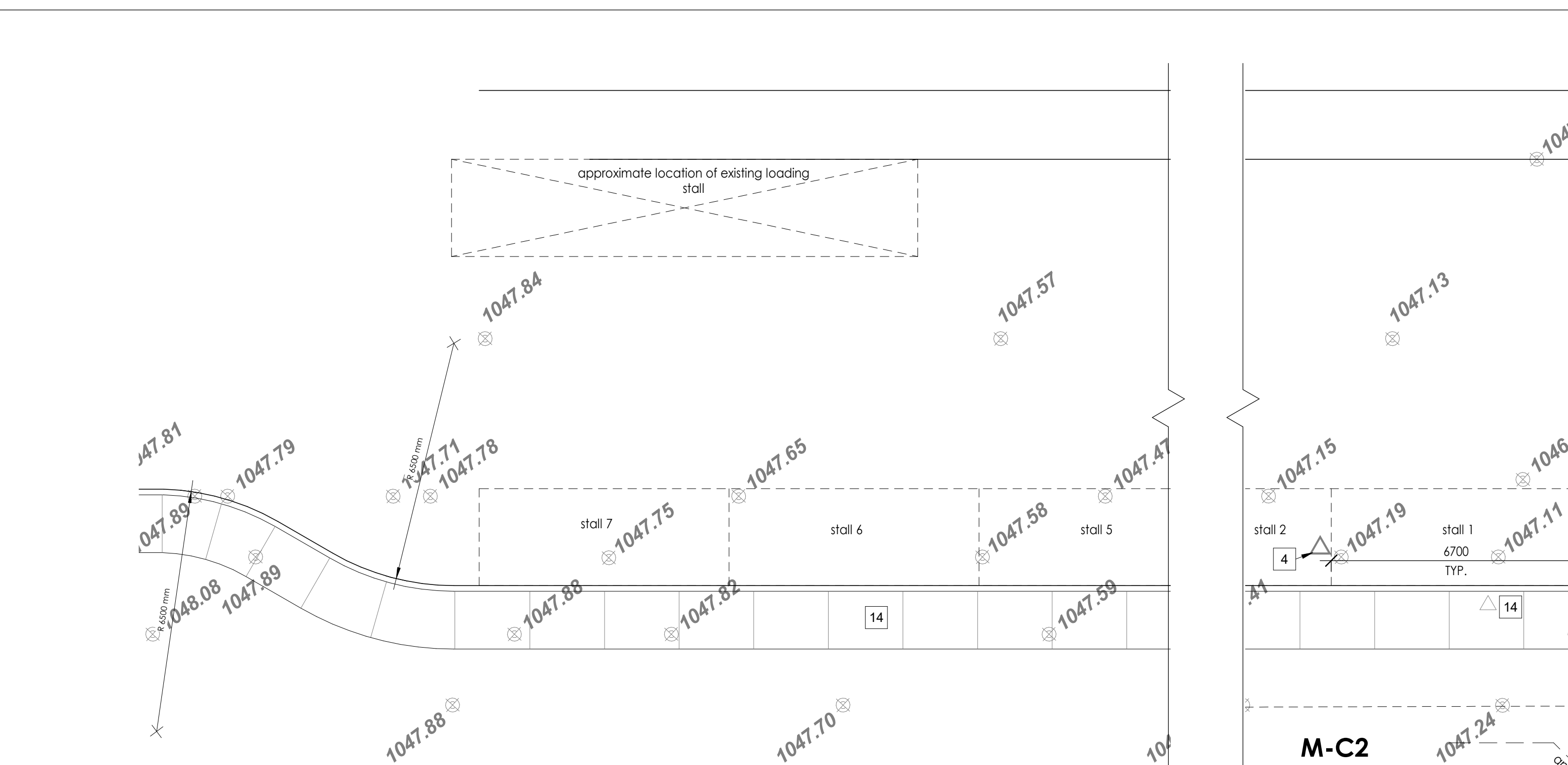


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ZONING COMPLIANCE TABLE (CALGARY LAND USE BYLAW 1P2007)		
Bylaw	Permitted/Required	Provided
ZONING:	MULTI-RESIDENTIAL - HIGH DENSITY HIGH RISE (M-H3)	MULTI-RESIDENTIAL - HIGH DENSITY HIGH RISE (M-H3)
DENSITY:	MIN. 300 UPH, 122 UPA (1P2007-662(1))	1783 UPH, (713 UPA)
F.A.R.	MAX. 11.0 (1P2007-661(1))	10.98
STREET SETBACK 18TH AVE SW(NORTH)	MIN. 0m (1P2007-664(2))	0m
RIGHTS-OF-WAY PL SETBACKS	MIN. 5.182m (1P2007-53(1))	5.2m TO PROPERTY LINE
STREET SETBACK 1ST STREET SE(EAST)	MIN. 0m (1P2007-664(2))	5.2m TO PROPERTY LINE
ADJACENT PROPERTY SETBACK (SOUTH) S-R ZONING	0m (1P2007-664(5c))	0m TO PROPERTY LINE
ADJACENT PROPERTY SETBACK (WEST) M-C-2	0m (1P2007-664(5d))	0m TO PROPERTY LINE
LANDSCAPED AREA	AT LEAST 25% OF REQUIRED LANDSCAPE @ GRADE (1P2007-665)	192.62m ² (41%)
BUILDING HEIGHT	Max. 52m (1P2007-666(1))	47.6m
PARKING	RESIDENT PARKING: 0.9 STALLS x 76 UNITS = 69 VISITOR PARKING: 0.1 STALLS x 76 UNITS = 8 (77 STALLS REQUIRED) (1P2007-558(1C))	0 STALLS PROVIDED, 7 LAY BY / LOADING-OFF SITE
BARRIER FREE PARKING	77 STALLS TOTAL - 4 BARRIER-FREE STALLS REQUIRED (ABC 2014 [TABLE 3.8.2.2])	0 STALLS PROVIDED
LOADING STALL	1 LOADING STALL REQUIRED PER APARTMENT BUILDING OF 20 UNITS OR MORE. (1P2007-123(7))	1 LOADING STALL OFF-SITE
BICYCLE PARKING	CLASS 1: 0.5 PER DWELLING UNIT (35 REQUIRED) CLASS 2: 0.1 PER DWELLING UNIT (7 REQUIRED) (1P2007-559)	76 CLASS 1 BICYCLE STALLS PROVIDED 8 CLASS 2 BICYCLE STALLS PROVIDED OFF-SITE
AMENITY SPACE	5.0m ² PER UNIT 76 UNITS x 5.0m ² = 380m ² REQUIRED (1P2007-557(4))	OUTDOOR AMENITY SPACE (ROOF): 154 m ² MAIN FLOOR BASEMENT: LOUNGE : 106 m ² MEETING ROOM: 83 m ² PETWASH/BIKE WASH : 19 m ² BIKE STORAGE : 140 m ² TOTAL PROVIDED: 494 m ²

WASTE & RECYCLING	
WASTE PRODUCED: (82 UNITS X 0.3yd ³) = 24.6 yd ³ (118.8 m ³) / WEEK 24.6 yd ³ / 4 yd ³ bins = 6 BINS REQUIRED (or 3 BINS FOR TWICE A WEEK PICKUP)	
AREA REQUIRED: 3 BINS X 7.5 m ² = 22.5 m ² OF STORAGE AREA REQUIRED BINS PROVIDED: 3 - 4 yd ³ BINS + 6 SMALL BINS PROVIDED	
AREA PROVIDED: 24m ² PROVIDED	
STAGING AREA REQUIRED: 22.5m ² / 2 = 11.25m ²	
STAGING AREA PROVIDED: 14 m ²	
ADDITIONAL NOTES:	
- THE MAXIMUM GRADE OF THE ENCLOSURE, STAGING PAD IS 2%.	
- SEE SITE GRADING PLAN FOR ROADWAY/HOLDING AREA GRADING.	
- THE STAGING AREA WILL BE HEAVY DUTY ASPHALT AS SHOWN ON THE PLAN.	
- THE STAGING AREA IS TO HAVE A CAPACITY TO CARRY A LOADED COLLECTION VEHICLE OF 55,000lbs (25,000kg).	
- GARBAGE TRUCK TURNING RADIUS HAS BEEN SHOWN ON THE SITE PLAN.	
- OVERHEAD HEIGHT FOR LOADING STALL IS 4300mm MIN.	
- OVERHEAD HEIGHT FOR W&R REMOVAL IS 5000mm MIN.	
- BUILDING OPERATOR WILL MOVE THE WASTE & RECYCLING CONTAINERS BY MECHANICAL MEANS FROM THE STORAGE AREA TO THE STAGING AREA.	
- PRIVATE W&R COLLECTION. THE MAXIMUM GRADE OF THE ENCLOSURE, STAGING PAD IS 2%.	

- NOTES**
- ALL PARKING STALLS AND DRIVEWAYS WILL HAVE A GRADE NO MORE THAN 4%.
 - ALL CONCRETE AND ASPHALT DRIVES TO ACCOMMODATE A MIN. 25,000KG LOAD.
 - ANNUNCIATOR PANEL FOR ALL UNITS WILL BE AT MAIN ENTRANCE LOCATION.
 - ALL SITE AND SECURITY LIGHTING UNDER 100 WATTS.
 - REFER TO CIVIL FOR ALL GRADING.
 - REFER TO LANDSCAPE DRAWINGS FOR ALL MATERIALS SPECIFIC TO LANDSCAPING.
 - DEVELOPMENT ON SITE IS PROPOSED.
 - THE PROPOSED DEVELOPMENT WILL BE DESIGNED AS TO PREVENT STRUCTURAL DAMAGE BY FLOODWATERS.
 - THE PROPOSED DEVELOPMENT WILL INCLUDE THE INSTALLATION OF A SEWER BACK-UP VALVE.
 - THE BUILDING WILL HAVE ELECTRICAL ISOLATION, THROUGH THE PLACEMENT OF A MASTER SWITCH, WHICH SHALL BE LOCATED AT / ABOVE THE DESIGNATED FLOOD ELEVATION OF 1047.19m (GEODETIC).

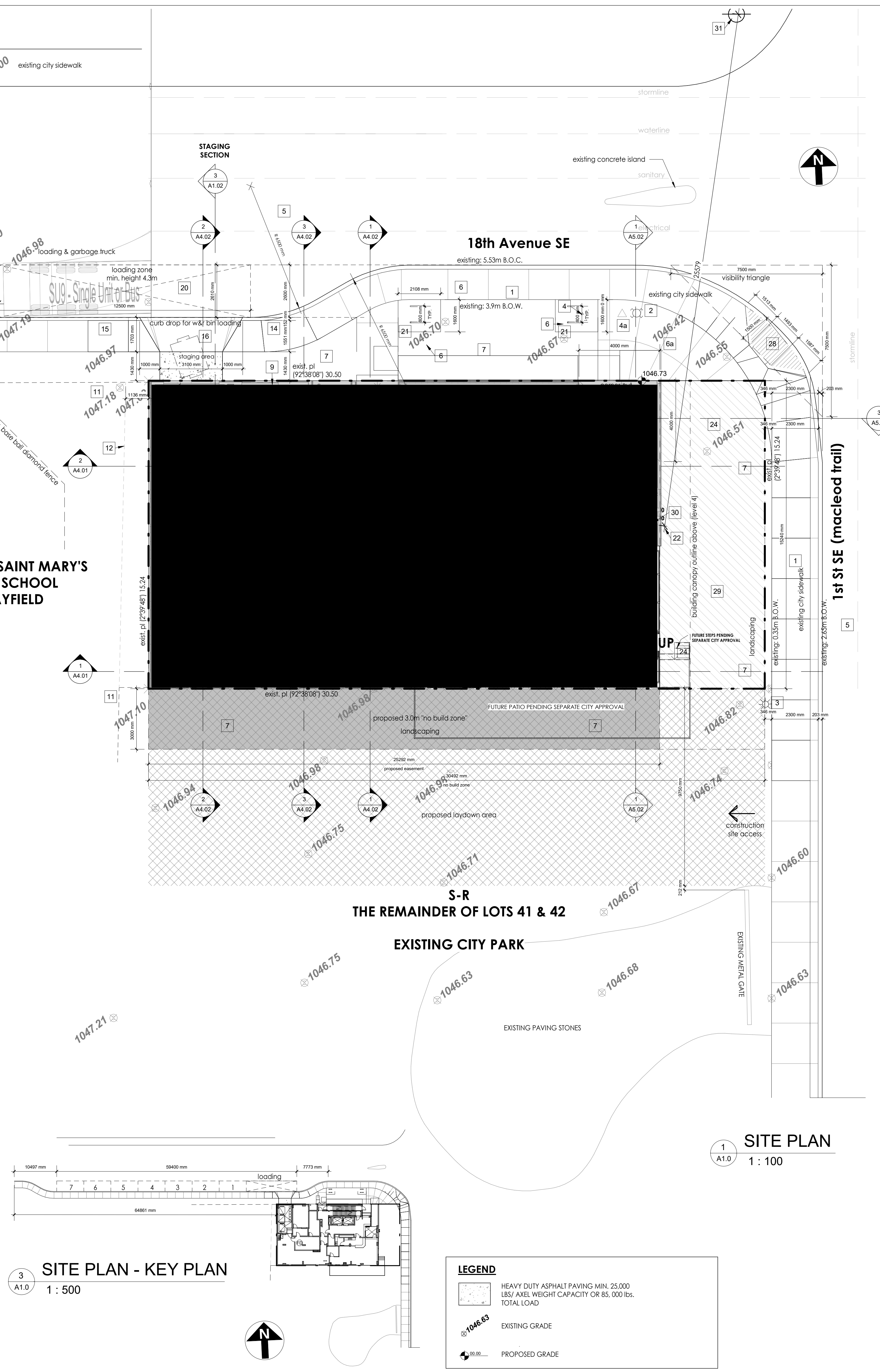
PROPOSED GROSS FLOOR AREA:

MAIN FLOOR:	324.0m ²
LEVEL 2:	334.7m ²
LEVEL 3:	334.7m ²
LEVEL 4-14:	373m ² x 11 LEVELS = 4103m ²
ROOFTOP VESTIBULE:	9.7m ²
TOTAL :	5106m ² (54 942 sq.ft)
FAR:	5106m ² / 464.8m ² = 10.99

PROJECT INFORMATION

APPLICANT:	CASOLA KOPPE ARCHITECTS
SITE ADDRESS:	1801 1ST STREET SE
LEGAL ADDRESS:	The Northerly 50ft (15.24m) throughout Lots 41 and 42, Block 12, Plan B1
SITE AREA:	464.8m ² (0.046 HJ)(0.115 A)
SITE COVERAGE:	32.1m ²
PROPOSED ZONING:	HIGH DENSITY HIGH RISE (M-H3) h52
NUMBER OF UNITS:	76 UNITS

- Site Legend**
- EXISTING CITY SIDEWALK
 - EXISTING POWER POLE
 - EXISTING LAMP STANDARD
 - EXISTING STREET / STOP SIGN TO BE RELOCATED
 - NEW SIGN TO LOCATION
 - ASPHALT
 - CONCRETE - BROOM FINISH
 - CONCRETE - DECORATIVE
 - SOD / LANDSCAPING (SEE LANDSCAPING DRAWINGS)
 - PEDESTRIAN RAMP - BROOM FINISH CONCRETE WITH POWDER COATED STEEL HANDRAILS
 - LOUVRE
 - PORTION OF EXISTING FENCE TO BE REMOVED DURING CONSTRUCTION & THEN REPLACED AND EXTENDED TO THE BUILDING CORNERS
 - EXISTING FENCE TO BE REMOVED
 - PARKING SIGNAGE
 - LOADING STALL SIGNAGE
 - CONCRETE SLAB APRON
 - LOADING STALL (3.1 X 7.2 X 4.3 M CLEARANCE ABOVE)
 - CLASS 2 (UN-SECURED) BIKE RACKS ON CONCRETE PAD - REFER TO LANDSCAPE DRAWINGS
 - SIAMESE CONNECTIONS
 - W&R OVERHEAD GARAGE DOOR (3000 x 2100)
 - OUTLINE OF BUILDING ABOVE
 - BOLLARD (SEE DETAIL 2-A1.2)
 - BLACK METAL RAILING - BARRIER FREE RAMP
 - CONCRETE PLANTER - SEE LANDSCAPE
 - WHEEL CHAIR RAMP
 - OUTLINE OF BUILDING ABOVE
 - CALGARY FIRE DEPARTMENT APPROVED LOCKBOX
 - EXISTING HYDRANT



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Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2018/03/12	DP SUBMISSION
8	2023/07/31	ISSUED FOR BUILDING PERMIT
9	2023/09/13	ISSUED FOR BP/TENDER
10	2023/11/30	ISSUED FOR BP COMMENT
11	2024/01/03	ISSUED FOR BP COMMENT
12	2024/01/15	POST TENDER ADDENDUM
13	2024/06/06	POST TENDER ADDENDUM 2
14	2024/08/14	ISSUED FOR BP REVISIONS
15	2024/08/21	ISSUED FOR DP REVISIONS
20	2025/02/06	ISSUED FOR CONSTRUCTION

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS

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bus (403) 287-9960 fax (403) 287-9962 info@ckarch.ca

GBS Development Group Inc.

PROJECT NAME AND ADDRESS

NEST

1801 Macleod Trail, Calgary, Alberta
The Northerly 50ft (15.24m) throughout
Lots 41 and 42, Block 12, Plan B1

DRAWING

SITE PLAN & SITE INFORMATION

DRAWN BY	JOB NO.	Building Permit #
CKA	2213	
CHECKED BY		SHEET
TC, PM		
ISSUE DATE (yy/mm)		
2018/03		
SCALE		
AS NOTED		

A1.0

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20	2024/02/06	ISSUED FOR CONSTRUCTION
33	2025/05/22	ISSUED FOR S-17

KEYNOTE LEGEND	
0	
1	Metal Panel - White
2	Metal Panel - Dark Grey
3	Metal Panel - Light Grey
4	Metal Panel - Yellow
5	Brick - Dark Grey
6	Brick - Medium Grey
7	Metal Spandrel Panel - Dark Grey
8	Storefront System at Building Entry- Random Pattern of Grey and Yellow, Clear and Opaque Glass
9	Window Wall Mullions - Black Anodized Aluminium
10	Sliding Door - Clear Glass & Black Anodized Aluminium
11	Swing Door - Clear Glass & Black Anodized Aluminium
12	Concrete Column
13	Concrete Planter
14	Black Metal Railings - Glass
15	Pre-Finished Metal Flashing - Black
16	Pre-Finished Metal Flashing - White
17	Steel Overhead Door - Painted Light Grey
18	Aluminium Louvres- Dark Grey
20	Exit Door Wall Light
24	Chain Link Fence
25	Roof Top Screens - Corrugated Metal (colour to match #3 Metal Panel - Light Grey)
26	Acrylic top coat - Grey
27	Scupper

PERMIT TO PRACTICE
 STAMP

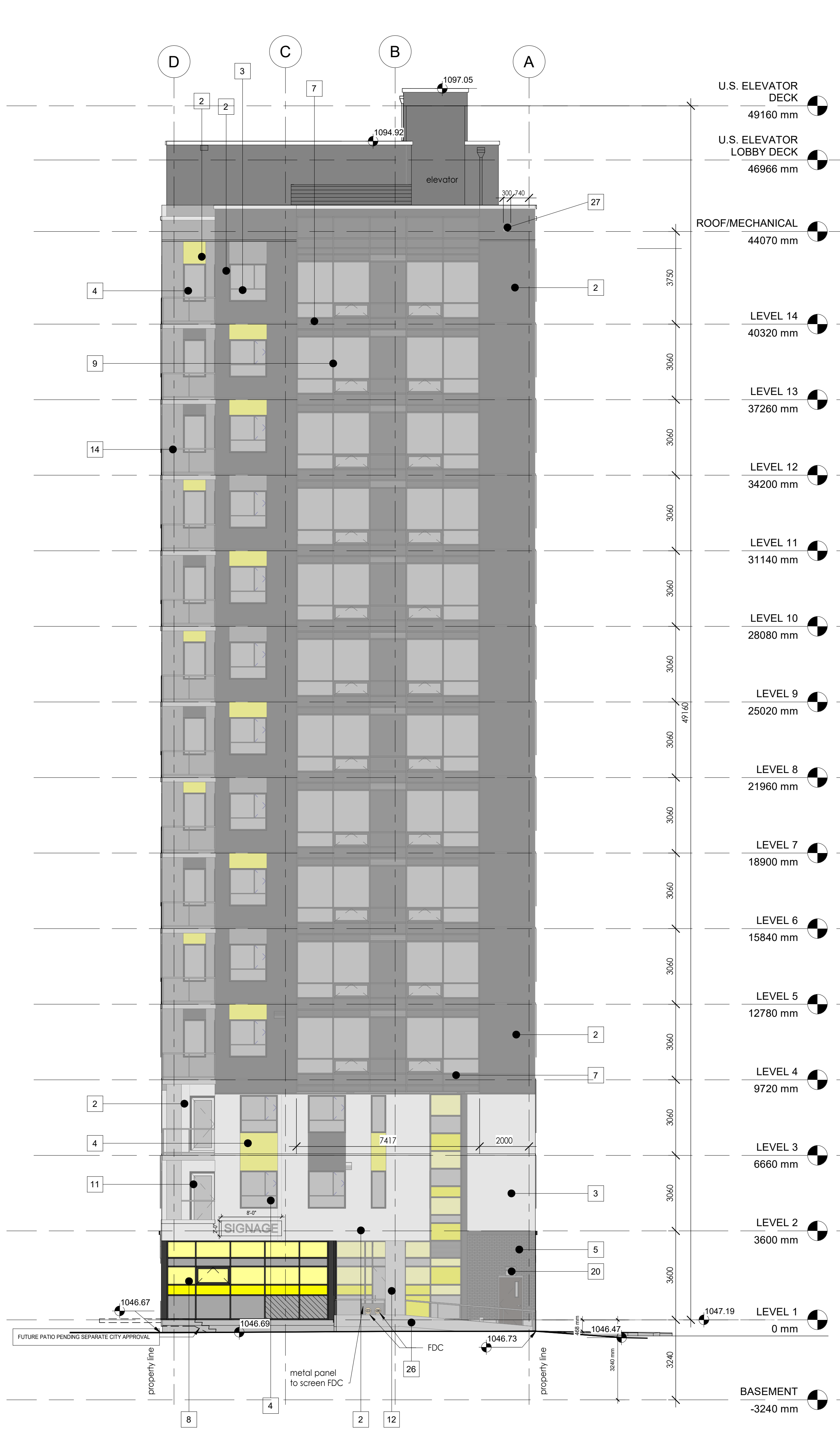
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DRAWING
ELEVATIONS

DRAWN BY TM	JOB NO. 2213	Building Permit #
CHECKED BY PM		SHEET
ISSUE DATE (yy/mm)		A3.01
SCALE		AS NOTED



1 East (Entry) Elevation
 1 : 100



2 South (Park) Elevation
 1 : 100

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 Q:\Jobs\Casola\1714-BBns and Macleod Trail\1714-FP\2013-Drawing\2023\1714-Consent Drawing\2013-Consent Drawing for Bldg Refraction\2013-Mod_1.dwg (1/24/2024)