

DRAWING INDEX

CONSTRUCTION DRAWINGS DRAWING INDEX

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RN3416

GENERAL NOTES AND LIMITATIONS OF LIABILITY

STANDARD OF CARE
PROFESSIONAL SERVICES HAVE BEEN PROVIDED CONSISTENT WITH THE STANDARD OF CARE ORDINARILY EXERCISED BY DESIGN PROFESSIONALS PRACTICING IN THE SAME LOCALITY UNDER SIMILAR CIRCUMSTANCES. NO OTHER WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED, IS PROVIDED.
DESIGN INTENT DOES NOT CONSTITUTE A GUARANTEE OF PERFORMANCE OUTCOMES INCLUDING BUT NOT LIMITED TO ENERGY EFFICIENCY, THERMAL COMFORT, ACOUSTIC PERFORMANCE, OR AESTHETIC UNIFORMITY.

CONSTRUCTION MEANS, METHODS, AND COORDINATION
THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, PROCEDURES, TEMPORARY WORKS, OR SAFETY PRECAUTIONS, NOR FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
TEMPORARY WORKS INCLUDING TEMPORARY BRACING, SHORING, EXCAVATION SUPPORT, HOARDING, SCAFFOLDING, WEATHER PROTECTION, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN TRADES AND FOR RESOLVING CONFLICTS ARISING FROM CONSTRUCTION SEQUENCING, INSTALLATION TOLERANCES, OR TRADE COORDINATION.
THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR CONSTRUCTION SCHEDULES, SEQUENCING, PROCUREMENT, COST ESTIMATING, COST CONTROL, OR DELAYS.

RESPONSIBILITY FOR CODE COMPLIANCE
THE OWNER IS RESPONSIBLE FOR RETAINING QUALIFIED BUILDERS, CONTRACTORS, AND TRADES WHO ARE KNOWLEDGEABLE OF AND COMPLY WITH ALL APPLICABLE NATIONAL, PROVINCIAL, AND LOCAL CODES, STANDARDS, ZONING REQUIREMENTS, LEGISLATION, AND REGULATIONS.
CONTRACTORS AND TRADES ARE RESPONSIBLE FOR ENSURING THAT ALL WORK COMPLIES WITH CURRENT CODES, INDUSTRY STANDARDS, MANUFACTURERS' REQUIREMENTS, AND REGULATORY AUTHORITIES HAVING JURISDICTION, AND FOR COORDINATING SUCH WORK WITH ALL APPLICABLE CONSULTANT AND ENGINEERING DOCUMENTS.
INTERPRETATION AND ACCEPTANCE OF CODES AND REGULATIONS BY AUTHORITIES HAVING JURISDICTION MAY VARY AND ARE BEYOND THE CONTROL OF THE DESIGN PROFESSIONAL.
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND ENSURING THAT ALL REQUIRED INSPECTIONS ARE SCHEDULED AND COMPLETED TO GOOD STANDING IN ACCORDANCE WITH LOCAL REGULATIONS.
THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND COORDINATING ALL REQUIRED TESTING, FIELD REVIEWS BY ENGINEERS OF RECORD, THIRD PARTY INSPECTIONS, AND MUNICIPAL INSPECTIONS AND FOR PROVIDING ALL RESULTING REPORTS AND CERTIFICATES TO THE OWNER AND DESIGN PROFESSIONAL UPON REQUEST.

SITE VISITS AND FIELD REVIEWS
SITE VISITS OR FIELD REVIEWS ARE CONDUCTED FOR THE PURPOSE OF OBSERVING THE GENERAL PROGRESS OF THE WORK, AND DO NOT CONSTITUTE SUPERVISION, INSPECTION, OR QUALITY CONTROL. THE DESIGN PROFESSIONAL DOES NOT ASSUME RESPONSIBILITY FOR CONSTRUCTION COMPLIANCE, WORKMANSHIP, OR SAFETY.

DRAWINGS, DIMENSIONS, AND EXISTING CONDITIONS
DRAWINGS ARE NOT TO BE SCALED. WRITTEN AND APPROVED SPECIFICATIONS GOVERN IN THE EVENT OF DISCREPANCIES.
CONTRACTORS SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS RESULTING FROM FAILURE TO VERIFY SUCH CONDITIONS.
WHERE SITE MEASUREMENTS, SURVEYS, OR EXISTING CONDITION INFORMATION ARE PREPARED BY THIRD PARTIES, THE DESIGN PROFESSIONAL IS ENTITLED TO RELY ON THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION AND IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS, OR DISCREPANCIES ARISING FROM INFORMATION PREPARED BY OTHERS.

DRAWINGS, DIMENSIONS, AND EXISTING CONDITIONS CONT.
IN RENOVATION AND ALTERATION PROJECTS, DRAWINGS ARE BASED ON VISIBLE AND REASONABLY ACCESSIBLE CONDITIONS ONLY. THE DESIGN PROFESSIONAL HAS NO RESPONSIBILITY FOR CONCEALED, UNDOCUMENTED, OR INACCESSIBLE CONDITIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL ELEMENTS, SERVICES, FRAMING, INSULATION, VAPOUR BARRIERS, FIRE SEPARATIONS, HAZARDOUS MATERIALS, OR UNDERGROUND UTILITIES.
THE DESIGN PROFESSIONAL DOES NOT WARRANT THAT EXISTING BUILDINGS OR STRUCTURES COMPLY WITH CURRENT CODES, STANDARDS, OR REGULATIONS.
CONTRACT DOCUMENTS ASSUME EXISTING STRUCTURES AND SYSTEMS ARE SUBSTANTIALLY IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS IN EFFECT AT THE TIME OF ORIGINAL CONSTRUCTION UNLESS NOTED OTHERWISE. EXISTING DEFICIENCIES OR CONCEALED DETERIORATION ARE NOT THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL AND WILL BE ADDRESSED IF AND WHEN DISCOVERED BY WRITTEN DIRECTION AND APPROVED CHANGE.
MANUFACTURER SYSTEMS, SHOP DRAWINGS, AND PROPRIETARY PRODUCTS
WHERE PROPRIETARY SYSTEMS OR ASSEMBLIES ARE SPECIFIED, THE DESIGN PROFESSIONAL RELIES ON MANUFACTURER PUBLISHED INFORMATION AND DOES NOT WARRANT THE PERFORMANCE, SUITABILITY, OR INSTALLATION OF SUCH SYSTEMS.
SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE PREPARED BY OTHERS AND ARE REVIEWED BY THE DESIGN PROFESSIONAL SOLELY FOR GENERAL CONFORMANCE WITH THE DESIGN INTENT. SUCH REVIEW DOES NOT TRANSFER RESPONSIBILITY FOR ACCURACY, COMPLETENESS, COORDINATION, PERFORMANCE, OR COMPLIANCE WITH CODES, STANDARDS, OR MANUFACTURER REQUIREMENTS.
WINDOWS, GLAZING, AND SPECIALTY TRADE COORDINATION
IN ACCORDANCE WITH RAIC AND CONSTRUCTION SPECIFICATIONS CANADA STANDARD PRACTICE, ARCHITECTURAL DRAWINGS ESTABLISH DESIGN INTENT, VISUAL ALIGNMENT, AND GENERAL CONFIGURATION ONLY.
FINAL UNIT SIZING, MULLION CONFIGURATION, TOLERANCES, ANCHORAGE, STRUCTURAL ADEQUACY, AND COORDINATION NECESSARY TO ACHIEVE THE DESIGN INTENT ARE THE RESPONSIBILITY OF THE WINDOW MANUFACTURER THROUGH THE PREPARATION OF SHOP DRAWINGS.
THE WINDOW MANUFACTURER IS RESPONSIBLE FOR DETERMINING AND ADJUSTING ACTUAL UNIT SIZES, MULLION WIDTHS, AND VERTICAL AND HORIZONTAL OFFSETS INCLUDING SUBFLOOR TO SUBFLOOR DIMENSIONS, TO ACHIEVE THE DESIGN INTENT AND TO COORDINATE WITH STRUCTURAL ENVELOPE, AND CONSTRUCTION CONDITIONS.
SIMILAR RESPONSIBILITY APPLIES TO ALL SPECIALTY TRADES AND SUPPLIERS PROVIDING PROPRIETARY OR PRE-FABRICATED SYSTEMS, INCLUDING BUT NOT LIMITED TO GLAZING, CLADDING, RAILINGS, STAIRS, AND MILLWORK.

CONSULTANTS AND ENGINEERING
STRUCTURAL SYSTEMS, BEAMS, COLUMNS, FOOTINGS, AND ENGINEERED COMPONENTS SHOWN ARE INDICATIVE ONLY. FINAL DESIGN, CERTIFICATION, AND FIELD REVIEW ARE THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER OF RECORD AND APPLICABLE MANUFACTURERS' ENGINEERS.
SHOP DRAWINGS AND DELEGATED DESIGN SUBMISSIONS INCLUDING BUT NOT LIMITED TO TRUSSES, ENGINEERED WOOD PRODUCTS, GUARDRAILS, STAIRS, GLAZING SYSTEMS, AND SPECIALTY FABRICATIONS SHALL BE PREPARED AND SEALED WHERE REQUIRED BY THE APPROPRIATE LICENSED PROFESSIONAL, RETAINED BY THE CONTRACTOR OR SUPPLIER AND ARE THE RESPONSIBILITY OF THAT PARTY.
VERIFICATION OF SOIL CONDITIONS, BEARING CAPACITY, CONCRETE STRENGTH, COMPACTION, AND OTHER FIELD CONDITIONS IS THE RESPONSIBILITY OF THE CONTRACTOR AND APPLICABLE ENGINEERS OF RECORD AND NOT THE DESIGN PROFESSIONAL.
THE DESIGN PROFESSIONAL MAY RELY ON INFORMATION PROVIDED BY CONSULTANTS AND IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS IN INFORMATION PREPARED BY OTHERS.

ENERGY CODE AND BUILDING ENVELOPE ENGINEERING
THERMAL CALCULATIONS AND ENERGY PERFORMANCE INFORMATION SHOWN ARE INDICATIVE ONLY. FINAL DESIGN, TESTING, AND CERTIFICATION ARE THE RESPONSIBILITY OF THE BUILDING ENVELOPE ENGINEER OF RECORD.
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED TESTING, AIR TIGHTNESS VERIFICATION, AND CERTIFICATIONS.

INTERIOR DESIGN AND THIRD-PARTY DRAWINGS
INTERIOR DESIGN DRAWINGS, MILLWORK SHOP DRAWINGS, LIGHTING LAYOUTS, AND CONSULTANT DOCUMENTS PREPARED BY THIRD PARTIES ARE SEPARATE INSTRUMENTS OF SERVICE. SUCH DOCUMENTS DO NOT OVERRIDE THE ARCHITECTURAL DRAWINGS UNLESS SPECIFICALLY REVIEWED, COORDINATED, AND ISSUED IN WRITING BY MKL DESIGN STUDIO INC.
THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR CONFLICTS, DISCREPANCIES, OR COORDINATION ISSUES ARISING FROM THIRD-PARTY INTERIOR DESIGN DRAWINGS OR DOCUMENTS THAT HAVE NOT BEEN FORMALLY INCORPORATED INTO THE CONTRACT DOCUMENTS.

MECHANICAL, ELECTRICAL, AND PLUMBING
LOCATIONS OF MECHANICAL, ELECTRICAL, AND PLUMBING SERVICES ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL INCOMING AND OUTGOING SERVICES UNLESS NOTED OTHERWISE.

BUILDING ENVELOPE, MOISTURE, AND MOLD
THE DESIGN PROFESSIONAL DOES NOT WARRANT OR GUARANTEE THE PERFORMANCE OF BUILDING ENVELOPE ASSEMBLIES.
THE DESIGN PROFESSIONAL MAKES NO REPRESENTATIONS REGARDING THE PRESENCE, PREVENTION, TESTING, MONITORING, OR REMEDIATION OF MOLD, MILDEW, FUNGI, OR INDOOR AIR QUALITY CONDITIONS. ENVIRONMENTAL EVALUATION, TESTING, AND REMEDIATION SERVICES ARE OUTSIDE THE SCOPE OF WORK.

REPORTING OF ERRORS AND CLARIFICATIONS
ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS MUST BE REPORTED TO MKL DESIGN STUDIO INC. PRIOR TO CONSTRUCTION FAILURE TO REPORT DISCREPANCIES PRIOR TO CONSTRUCTION TRANSFERS RESPONSIBILITY TO THE BUILDER, CONTRACTOR, AND/OR OWNER.
WHERE APPLICABLE, DISCREPANCIES SHALL ALSO BE REPORTED TO THE ENGINEER OF RECORD FOR CLARIFICATION.

CHANGES AND DEVIATIONS
ALL CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE CONTRACT DOCUMENTS MUST BE REVIEWED AND APPROVED IN WRITING BY MKL DESIGN STUDIO INC. UNAUTHORIZED CHANGES ARE MADE AT THE CONTRACTOR'S AND/OR OWNER'S SOLE RISK.
ANY REVISIONS, SUBSTITUTIONS, OR INTERPRETATIONS MADE AFTER PERMIT ISSUANCE THAT ARE NOT DOCUMENTED AND ISSUED IN WRITING BY MKL DESIGN STUDIO INC. ARE NOT PART OF THE CONTRACT DOCUMENTS AND ARE UNDERTAKEN AT THE CONTRACTOR'S AND/OR OWNER'S RISK.

OWNER-PERFORMED WORK
MKL DESIGN STUDIO INC. ASSUMES NO RESPONSIBILITY OR LIABILITY FOR WORK PERFORMED BY THE OWNER.

FIREPLACES, ELEVATORS, AND SPECIALTY INSTALLATIONS
FIREPLACE LOCATIONS AND BRACING SHOWN ARE FOR REFERENCE ONLY. CONTRACTORS MUST VERIFY ALL CLEARANCES, FIRE PROTECTION, VENTING, COMBUSTION AIR, AND INSTALLATION REQUIREMENTS WITH THE SUPPLIER AND MANUFACTURER PRIOR TO CONSTRUCTION.
WHERE ELEVATORS, LIFTS, OR VERTICAL TRANSPORTATION SYSTEMS ARE INCLUDED, EQUIPMENT SELECTION, DESIGN, SIZING, CLEARANCES, STRUCTURAL LOADS, INSTALLATION, CODE COMPLIANCE, INSPECTIONS, AND CERTIFICATION ARE THE RESPONSIBILITY OF THE ELEVATOR MANUFACTURER AND LICENSED INSTALLER. REVIEW BY THE DESIGN PROFESSIONAL IS LIMITED TO GENERAL CONFORMANCE WITH DESIGN INTENT AND DOES NOT TRANSFER RESPONSIBILITY FOR PERFORMANCE, SAFETY, OR REGULATORY APPROVAL.

INTELLECTUAL PROPERTY AND LIMITED LICENSE
ALL DRAWINGS, SPECIFICATIONS, AND DESIGN MATERIALS REMAIN THE INTELLECTUAL PROPERTY OF MKL DESIGN STUDIO INC.
THE OWNER IS GRANTED A LIMITED, NON-TRANSFERABLE LICENSE TO USE THE DOCUMENTS FOR CONSTRUCTION OF ONE DWELLING ONLY AT THE LOCATION IDENTIFIED ON THE DRAWINGS. REUSE, REPRODUCTION, MODIFICATION, OR USE ON ANOTHER PROJECT WITHOUT WRITTEN AUTHORIZATION IS PROHIBITED AND RELEASES MKL DESIGN STUDIO INC.

REVISIONS		
NO.	DATE	DESCRIPTION
DP-1	2026-05-05	BUILDING SETBACK MINIMUM 3.0M
DP-2	2026-05-05	UPDATED TREE SCHEDULE
DP-3	2026-05-05	GARAGE SEPARATION AND LANEWAY ACCESS
DP-4	2026-05-05	GARAGE REAR LANE SETBACK
DP-5	2026-05-05	ADDITIONAL RECYCLING
DP-6	2026-05-05	ADDITIONAL BICYCLE STALLS
DP-7	2026-05-05	FENCE LINE HEIGHT MAXIMUM
DP-8	2026-05-05	4.5M CORNER VISIBILITY TRIANGLE
DP-9	2026-05-05	REVISED FRONT CORNER
DP-10	2026-05-11	SITE SECTIONS ADDED



403-542-1513

BUILDER



PROJECT NAME

RN3416

PROJECT INFO

ADDRESS
3416
2 ST NE
CALGARY, AB.

ADDRESS LEGAL
LOT 32 & 33
PLAN 50424
BLOCK 6

COMPANY

HIGHLAND PARK

ZONING

R-CG

AREA	AREA
UPPER UNIT #1	100 SF
UPPER UNIT #2	150 SF
UPPER UNIT #3	160 SF
UPPER UNIT #4	615 SF
UNIT #1	553 SF
SUITE #2 ENTRANCE	65 SF
UNIT #2	613 SF
UNIT #3	589 SF
SUITE #3 ENTRANCE	61 SF
UNIT #4	521 SF
SUITE #4 ENTRANCE	44 SF
SUITE #1 ENTRANCE	44 SF
ABOVE GRADE DEVELOPED TOTAL	5389 SF

SUITE #1	550 SF
SUITE #2	582 SF
STORAGE SUITE #2	43 SF
STORAGE SUITE #3	41 SF
SUITE #3	600 SF
SUITE #4	534 SF
BELOW GRADE DEVELOPED TOTAL	2350 SF

MECH RM SUITE #4	30 SF
UNIT #1 MECH RM	32 SF
UNIT #2 MECH RM	21 SF
UNIT #3 MECH RM	53 SF
UNIT #4 MECH RM	43 SF
ABOVE GRADE UNDEVELOPED TOTAL	184 SF

MECH RM SUITE #1	30 SF
MECH RM SUITE #2	48 SF
MECH RM SUITE #3	32 SF
BELOW GRADE UNDEVELOPED TOTAL	110 SF

GARAGE #1	400 SF
GARAGE #2	400 SF
GARAGE TOTAL	800 SF

PORCH UNIT#1	31 SF
PORCH UNIT#2	11 SF
PORCH UNIT#3	11 SF
PORCH UNIT#4	16 SF
DECKS & PATIOS COVERED TOTAL	81 SF

PERMIT INFORMATION
DEVELOPMENT PERMIT NUMBER
DP2026-00883

BUILDING PERMIT NUMBER
BP NUMBER

DRAWING VERSION

CONSTRUCTION DRAWINGS

SET ISSUE DATE	
ISSUE	DATE
DEVELOPMENT PERMIT	11 FEB 2026
DP REVISED	11 MAY 2026

DRAWING TITLE

COVER PAGE

SHEET NO.

A000

SCALE N.T.S.

DRAWN BY: FA

EXTERIOR WALL CONSTRUCTION TYPES

W1 8" CONCRETE FOUNDATION WALL

- PARING FINISH ABV. GRADE C/W WIRE MESH
- BITUMINOUS DAMPROOFING 6" BELOW GRADE TO T.O. FOOTING
- 8" THICK 32 MPa TYPE 50 SULFATE RESISTANT CONCRETE AS PER FOUNDATION STRUCTURAL DESIGN & SOIL BEARING REPORT.
- ** EXTRA REINFORCEMENT IN LOCATIONS AS REQ'D IN ENG'D DUGS
- BUCK, LADDER & POST MATERIAL TO BE PUF WOOD AS REQ'D.

W2 8" CONCRETE BASEMENT FOUNDATION WALL (2x6 FROST WALL)

- PARING FINISH ABV. GRADE
- DIMPLE DRAINAGE MAT AT GRADE DOWN TO T.O. FOOTING (OPT)
- BITUMINOUS DAMPROOFING BELOW GRADE & OVER T.O. FOOTING
- 8" CONC. FOUNDATION WALL W/ REINFORCEMENT AS PER ENG'D. P.T. WOOD BUCKS, LADDER BILL & MAST
- 1/2" AIR GAP
- 2 x 6 @ 24" O/C #2 SFF WOOD STUDS W/ P.T. BILL PLATE
- R24 BATT INSULATION AS PER ENERGY ADVISOR
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC

W3 8" CONCRETE BASEMENT FOUNDATION WALL (2x4 FROST WALL)

- PARING FINISH ABV. GRADE
- DIMPLE DRAINAGE MAT AT GRADE DOWN TO T.O. FOOTING (OPT)
- BITUMINOUS DAMPROOFING BELOW GRADE & OVER T.O. FOOTING
- 8" CONC. FOUNDATION WALL W/ REINFORCEMENT AS PER ENG'D. P.T. WOOD BUCKS, LADDER BILL & MAST
- 1/2" AIR GAP
- 2 x 4 @ 24" O/C #2 SFF WOOD STUDS W/ P.T. BILL PLATE
- R14 BATT INSULATION AS PER ENERGY ADVISOR
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC

W4 2x6 STUCCO WALL

- STUCCO FINISH COLOUR AS PER SPEC.
- RAIN SCREEN MESH AS PER SPEC.
- BUILDING ENVELOPE COMPATIBLE WITH PORTLAND CEMENT OR 3 LAYERS 30 MIN BUILDING PAPER
- WALL SHEATHING AS PER SPEC.
- 2x6 #2 SFF STUDS @ 16" O/C
- R24 BATT INSULATION OR AS PER ENERGY ADVISOR
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC.

W5 ARCHITECTURAL PANEL EXTERIOR WALL (LUX CHANNEL SIDING - KONA)

- LUX ARCHITECTURAL METAL PANEL AS PER SPEC.
- RAIN SCREEN FURRING STRIPS AS PER SPEC.
- BUILDING ENVELOPE
- WALL SHEATHING AS PER SPEC.
- 2 x 6 #2 SFF STUDS @ 16" O/C
- R24 BATT INSULATION AS PER ENERGY ADVISOR
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC

W6 FIBER CEMENT BOARD LAP SIDING

- FIBER BOARD LAP SIDING AS PER SPEC.
- RAIN SCREEN FURRING STRIPS AS PER SPEC.
- BUILDING ENVELOPE
- WALL SHEATHING AS PER SPEC.
- 2 x 6 #2 SFF STUDS @ 16" O/C
- R24 BATT INSULATION OR AS PER ENERGY ADVISOR
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC.

W7 2x4 ACM WALL PANEL (PARAPET)

- ACM PANEL COLOUR AS PER SPEC.
- RAIN SCREEN FURRING STRIPS AS PER SPEC. (OPTIONAL)
- BUILDING ENVELOPE
- 3/8" OSB MIN. P.T. WALL SHEATHING.
- 2x4 #2 SFF STUDS @ 16" O/C
- 3/8" OSB MIN. P.T. WALL SHEATHING.
- BUILDING ENVELOPE
- ** WALL CAP AS PER ACM MANUFACTURER.

W8 FIBER CEMENT BOARD LAP SIDING (GARAGE)

- FIBER BOARD LAP SIDING AS PER SPEC.
- RAIN SCREEN FURRING STRIPS AS PER SPEC.
- BUILDING ENVELOPE
- WALL SHEATHING AS PER SPEC.
- 2 x 4 #2 SFF STUDS @ 16" O/C
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC.

INTERIOR PARTITION CONST. TYPES

P1 2 x 6 INTERIOR PARTITION & PLUMBING WALL

- WALL FINISH AS PER SPEC
- MUD & TAPED
- 1/2" GYPSUM BOARD
- 2 x 6 #2 SFF STUDS @ 16" O/C
- 1/2" GYPSUM BOARD
- MUD & TAPED
- WALL FINISH AS PER SPEC
- * SMOKE SEAL ALL JOINTS AND PENETRATIONS OF DEMISING WALLS BETWEEN UNITS AT STAIRS AS PER ABC 310.9.2 AND 310.9.6, USING APPROVED SMOKE-TIGHT MATERIALS.

INTERIOR PARTITION CONST. TYPES

P2 2 X 4 PARTITION WALL

- WALL FINISH AS PER SPEC
- MUD & TAPED
- 1/2" GYPSUM BOARD
- 2 x 4 #2 SFF STUDS @ 16" O/C
- 1/2" GYPSUM BOARD
- MUD & TAPED
- WALL FINISH AS PER SPEC

P3 8" CONCRETE FIREWALL @BASEMENT. (2HR FRR MIN)

- WALL FINISH AS PER SPEC.
- 1/2" GYPSUM BOARD
- 6 MIL POLY VAPOUR BARRIER
- R20 BATT INSULATION
- 2 x 6 #2 SFF STUDS @ 24" O/C
- 1/2" AIR GAP
- 8" CONC. FOUNDATION WALL W/ REINFORCEMENT AS PER ENG'D.
- 1/2" AIR GAP
- 2 x 6 #2 SFF STUDS @ 24" O/C
- R20 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC.

P4 8" CONCRETE FIREWALL- 2X4 WALL (2HR FRR MIN)

- WALL FINISH AS PER SPEC.
- 1/2" GYPSUM BOARD
- 6 MIL POLY VAPOUR BARRIER
- R14 BATT INSULATION
- 2 x 4 #2 SFF STUDS @ 24" O/C
- 1/2" AIR GAP
- 8" CONC. WALL W/ REINFORCEMENT AS PER ENG'D.
- 1/2" AIR GAP
- 2 x 4 #2 SFF STUDS @ 24" O/C
- R14 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC.

P5 8" CONCRETE BASEMENT FOUNDATION PARTY WALL (1HR FRR MIN)

- WALL FINISH AS PER SPEC.
- 1/2" GYPSUM BOARD
- 6 MIL POLY VAPOUR BARRIER
- R14 BATT INSULATION
- 2 x 4 @ 24" O/C #2 SFF WOOD STUDS W/ P.T. BILL PLATE
- 1/2" AIR GAP
- 8" CONC. FOUNDATION WALL W/ REINFORCEMENT AS PER ENG'D.
- 1/2" AIR GAP
- 2 x 4 @ 24" O/C #2 SFF WOOD STUDS W/ P.T. BILL PLATE
- R14 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC.

P6 8" CONCRETE FOUNDATION PARTY WALL W/ PLUMBING WALL (1HR FRR MIN)

- WALL FINISH AS PER SPEC.
- 1/2" GYPSUM BOARD
- 6 MIL POLY VAPOUR BARRIER
- R24 BATT INSULATION
- 2 x 6 @ 24" O/C #2 SFF WOOD STUDS W/ P.T. BILL PLATE
- 1/2" AIR GAP
- 8" CONC. FOUNDATION WALL W/ REINFORCEMENT AS PER ENG'D.
- 1/2" AIR GAP
- 2 x 4 @ 24" O/C #2 SFF WOOD STUDS W/ P.T. BILL PLATE
- R14 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- WALL FINISH AS PER SPEC.

P7 PARTY WALL (1HR FRR)

- 54 STC (NBC AE 2023 TABLE 9.10.3.1 -A W3C)
- WALL FINISH AS PER SPEC
- 5/8" TYPE X GYPSUM BOARD
- 2 x 4 #2 SFF STUDS @ 24" O/C
- R14 MINERAL WOOL BATT INSULATION
- 1" AIR GAP
- 2 x 4 #2 SFF STUDS @ 24" O/C
- 5/8" TYPE X GYPSUM BOARD
- WALL FINISH AS PER SPEC.

P8 2 X 4 INTERIOR PARTITION (SUITE/PRINCIPAL BLDG SEPARATION)

- 43 STC (NBC AE2023 - 9.10.3.1 -A W3C)
- WALL FINISH AS PER SPEC
- MUD & TAPED
- 1/2" GYPSUM BOARD
- RESILIENT CHANNEL @ 16" O/C
- 2 x 4 #2 SFF STUDS @ 16" O/C
- R14 MINERAL WOOL BATT INSULATION (ROXUL SAFE 'N' SOUND OR EQUIVALENT)
- 1/2" GYPSUM BOARD
- MUD & TAPED
- WALL FINISH AS PER SPEC
- * SMOKE SEAL ALL JOINTS AND PENETRATIONS OF DEMISING WALLS BETWEEN UNITS AT STAIRS AS PER ABC 310.9.2 AND 310.9.6, USING APPROVED SMOKE-TIGHT MATERIALS.

P9 2 X 4 GARAGE PARTITION WALL (45MIN FRR)

- WALL FINISH AS PER SPEC
- MUD & TAPED
- 5/8" TYPE X GYPSUM BOARD
- 2 x 4 #2 SFF STUDS @ 16" O/C
- 5/8" TYPE X GYPSUM BOARD
- MUD & TAPED
- WALL FINISH AS PER SPEC

FLOOR CONSTRUCTION TYPES

F1 INSULATED HEATED CONCRETE BASEMENT FLOOR SLAB

- FLOOR FINISH AS PER SPEC
- 4" CONCRETE SLAB W/ REINFORCEMENT AS PER ENG'D
- HYDRONIC HEATING LOOPS AS PER SPEC & LAYOUT
- 6 MIL POLY VAPOUR BARRIER
- 2" RIGID INSULATION
- RADON PROTECTION (ROUGH-IN) INCLUDED TO MEET ABC
- DRAINAGE GRAVEL

F2 GARAGE CONC. FLOOR SLAB

- 4" CONCRETE SLAB W/ REINFORCEMENT AS PER ENG'D
- SLAB REINFORCEMENT AS PER ENGINEER
- 6 MIL POLY VAPOUR BARRIER
- 1/2" DRAINAGE GRAVEL

F3 11 1/8" ENGINEERED FLOOR SYSTEM ABOVE BASEMENT SUITE (1HR)

- 54 STC (NBC AE 2023 TABLE 9.10.3.1-B FSD)
- FLOOR FINISH AS PER SPEC & SCHEDULE
- 5/8" T&G SUBFLOOR, GLUED AND SCREWED TO FLOOR SYSTEM
- 11 1/8" ENG'D FLOOR SYSTEM (SEE MANUFACTURER'S LAYOUT FOR SPACING, REQ'D BRACING & BLOCKING)
- MINERAL WOOL (ROCKWOOL SAFE & SOUND INSULATION OR EQUIVALENT)
- RESILIENT METAL CHANNELS SPACED 600 MM O.C.
- 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD
- MUD & TAPED
- CEILING FINISH AS PER SPEC
- * SMOKE SEAL ALL JOINTS AND PENETRATIONS OF DEMISING FLOORS BETWEEN UNITS AS PER ABC 310.9.3, USING APPROVED SMOKE-TIGHT MATERIALS.

F4 11 1/8" ENGINEERED FLOOR SYSTEM

- FLOOR FINISH AS PER SPEC & SCHEDULE
- 5/8" T&G SUBFLOOR, GLUED AND SCREWED TO FLOOR SYSTEM
- 11 1/8" ENG'D FLOOR SYSTEM (SEE MANUFACTURER'S LAYOUT FOR SPACING, REQ'D BRACING & BLOCKING)
- 1/2" GYPSUM BOARD
- MUD & TAPED
- CEILING FINISH AS PER SPEC

F5 CANTILEVERED 11 1/8" ENGINEERED FLOOR SYSTEM

- FLOOR FINISH AS PER SPEC & SCHEDULE
- 5/8" T&G SUBFLOOR, GLUED AND SCREWED TO FLOOR SYSTEM
- 11 1/8" ENG'D FLOOR SYSTEM (SEE MANUFACTURER'S LAYOUT FOR SPACING, REQ'D BRACING & BLOCKING)
- MEDIUM DENSITY SPRAY FOAM AS PER ENVELOPE ENGINEER
- SHEATHING AS PER SPEC
- SOFFIT AS PER SPEC

F6 2x8 FLOOR SYSTEM

- FLOOR FINISH AS PER SPEC & SCHEDULE
- 3/4" T&G SUBFLOOR, GLUED AND SCREWED TO FLOOR SYSTEM
- 2x8 FLOOR SYSTEM (SEE MANUFACTURE LAYOUTS FOR SPACING, REQ'D BRACING & BLOCKING)
- 1/2" GYPSUM BOARD
- CEILING FINISH AS PER SPEC
- * SMOKE SEAL ALL JOINTS AND PENETRATIONS OF DEMISING FLOORS BETWEEN UNITS AT STAIRS AS PER ABC 31.8.11, USING APPROVED SMOKE-TIGHT MATERIALS.

F7 2x8 FLOOR SYSTEM @ STAIRWELL (SUITE/PRINCIPAL BLDG SEPARATION)

- FLOOR FINISH AS PER SPEC & SCHEDULE
- 3/4" T&G SUBFLOOR, GLUED AND SCREWED TO FLOOR SYSTEM
- 2x8 FLOOR SYSTEM (SEE MANUFACTURE LAYOUTS FOR SPACING, REQ'D BRACING & BLOCKING)
- MINERAL WOOL (ROCKWOOL SAFE & SOUND INSULATION OR EQUIVALENT)
- RESILIENT METAL CHANNELS SPACED 600 MM O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD
- CEILING FINISH AS PER SPEC
- * SMOKE SEAL ALL JOINTS AND PENETRATIONS OF DEMISING FLOORS BETWEEN UNITS AT STAIRS AS PER ABC 310.9.2 AND 310.9.6, USING APPROVED SMOKE-TIGHT MATERIALS.

ROOF CONSTRUCTION TYPES

R1 VENTED ROOF ASPHALT SHINGLES OVER CONDITIONED SPACE

- ROOF SLOPE AS PER ELEVATIONS & ROOF PLAN
- ASPHALT SHINGLES AS PER MANUFACTURER & BUILDER SPEC'S
- ICE & WATERSHIELD MEMBRANE ON SLOPES LESS THAN 4/12, & FIRST 4' OF ALL EAVES AND VALLEYS
- FELT UNDERLAYMENT ON BALANCE OF THE ROOF W/ PRE-FINISHED DRIP EDGE, STEP, WALL & VALLEY FLASHING'S
- ATTIC VENTS
- ROOF SHEATHING AS PER SPEC
- ENGINEERED ROOF SYSTEM (SEE MANUFACTURER'S LAYOUT FOR SPACING, REQ'D BRACING & BLOCKING)
- R50 NOMINAL LOOSE FILL INSULATION W/ INSULATION STOPS
- 6 MIL POLY AIR / VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- MUD & TAPED
- CEILING FINISH AS PER SPEC

R2 VENTED ROOF ASPHALT SHINGLES OVER UNCONDITIONED SPACE (GARAGE)

- ROOF SLOPE AS PER ELEVATIONS & ROOF PLAN
- ASPHALT SHINGLES AS PER MANUFACTURER & BUILDER SPEC'S
- ICE & WATERSHIELD MEMBRANE ON SLOPES LESS THAN 4/12, & FIRST 4' OF ALL EAVES AND VALLEYS
- FELT UNDERLAYMENT ON BALANCE OF THE ROOF W/ PRE-FINISHED DRIP EDGE, STEP, WALL & VALLEY FLASHING'S
- ROOF SHEATHING AS PER SPEC
- ENGINEERED ROOF SYSTEM (SEE MANUFACTURER'S LAYOUT FOR SPACING, REQ'D BRACING & BLOCKING)
- 1/2" GYPSUM BOARD
- MUD & TAPED
- CEILING FINISH AS PER SPEC

R3 FLAT ENG'D ROOF SYSTEM (VENTED)

- 2% ROOF SLOPE AS PER ELEVATIONS & ROOF PLAN
- METAL STANDING SEAM AS PER MANUFACTURER & BUILDER SPEC'S
- ICE & WATERSHIELD MEMBRANE ON SLOPES LESS THAN 4/12, & FIRST 4' OF ALL EAVES AND VALLEYS
- FELT UNDERLAY ON BALANCE OF ROOF W/ PRE-FINISHED DRIP EDGE, STEP, WALL & VALLEY FLASHING'S
- ALUMINUM ROOF FLASHING AS PER SPEC
- BLUESKIN (OR EQUIVALENT WATER PROOFING) TO LAP UP EXT WALL 8" MIN AND LAP OVER PLYWOOD SHEATING
- 3/4" PLYWOOD ROOF SHEATHING
- 2x4 PARAPET WALL C/W BLOCKING & BRACING AS REQUIRED TO CREATE BOX OUT(REFER TO FLAT ROOF DETAIL (2-A108) FOR INTENT)
- 5/8" PLYWOOD ROOF SHEATHING
- 11 1/8" ENG'D ROOF SYSTEM (SEE MANUFACTURER'S LAYOUT FOR SPACING, REQ'D BRACING & BLOCKING)
- STRAPPING AS REQ'D
- VENTED SOFFIT FINISH AS PER SPEC.

Z O O T I O N S



403-542-1513

BUILDER



PROJECT NAME

RN3416

PROJECT INFO

ADDRESS
3416
2 ST NE
CALGARY, AB.

ADDRESS LEGAL
LOT 32 & 33
PLAN 5342AD
BLOCK 6

COMPANY
HIGHLAND PARK

ZONING
R-CG

AREAS

PERMIT INFORMATION

DEVELOPMENT PERMIT NUMBER
DP2016-00883

BUILDING PERMIT NUMBER

BP NUMBER

DRAWING VERSION

CONSTRUCTION DRAWINGS

SET ISSUE DATE

ISSUE DATE

DEVELOPMENT PERMIT 11 FEB 2016

DP REVISED 11 MAY 2016

DRAWING TITLE

BUILDING ASSEMBLIES

SHEET NO

A001

SCALE 1/2" = 1'-0"

DRAWN BY: FA

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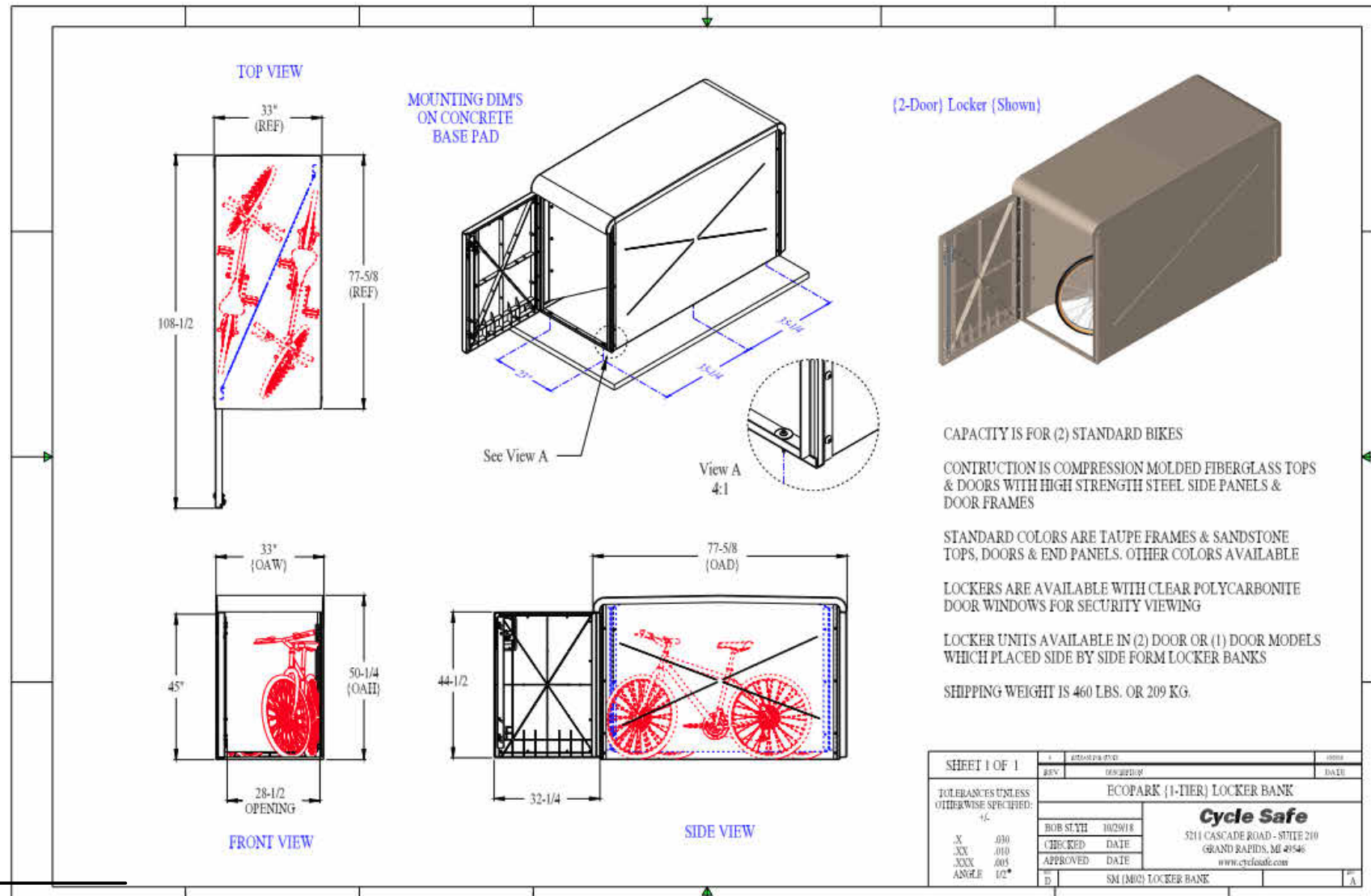
PARCEL COVERAGE CALCULATION			
AREA LOCATION	COVERAGE AREA	TOTAL PARCEL AREA	% OF COVERAGE
DWELLING	245.61	535.42	45.88%
GARAGE #2	31.63	535.42	1.03%
GARAGE #1	31.63	535.42	1.03%
	376.93	535.42	59.94%

ELEVATION DATUM POINTS
 T.O. ROOF PEAK 1059.26
 T.O. MAIN FLR 1059.99
 U.S. MAIN FLR 1059.66
 A.T. FOOTING 1056.16

ELEVATION DATUM POINTS GARAGE
 T.O. ROOF PEAK 1063.00
 T.O. GARAGE SLAB 1059.36
 A.R. FOOTING 1058.95

TREE SCHEDULE					
NO.	VARIETY	STATUS	CALLIPER DIA	CANOPY DIA	HEIGHT
T1	BUSH	REMOVE		2.00 M	2.50 M
T2	BUSH	REMOVE		2.00 M	2.50 M
T3	BUSH	REMOVE		1.80 M	2.00 M
T4	BUSH	REMOVE		2.50 M	2.50 M
T5	CONIFEROUS	REMAIN	0.42 M	5.00 M	10.00 M
T6	BUSH	REMOVE		4.00 M	3.00 M
T7	DECIDUOUS	REMOVE	0.21 M	4.00 M	2.50 M
T8	BUSH	REMOVE		2.50 M	2.50 M
T9	DECIDUOUS	REMAIN	0.30 M	5.00 M	5.00 M
T10	PRINCESS KAY PLUM	PROPOSED	0.20 M	3.66 M	1.00 M
T11	COLUMNAR ASPEN	PROPOSED	0.10 M	2.00 M	1.00 M
T12	BUSH	PROPOSED		0.60 M	0.60 M
T13	BUSH	PROPOSED		0.60 M	0.60 M
T14	BUSH	PROPOSED		0.60 M	0.60 M
T15	BUSH	PROPOSED		0.60 M	0.60 M
T16	BUSH	PROPOSED		0.60 M	0.60 M
T17	BUSH	PROPOSED		0.60 M	0.60 M
T18	BUSH	PROPOSED		0.60 M	0.60 M
T19	BUSH	PROPOSED		0.60 M	0.60 M
T20	BUSH	PROPOSED		0.60 M	0.60 M
T21	BUSH	PROPOSED		0.60 M	0.60 M
T22	BUSH	PROPOSED		0.60 M	0.60 M
T23	BUSH	PROPOSED		0.60 M	0.60 M
T24	BUSH	PROPOSED		0.60 M	0.60 M
T25	BUSH	PROPOSED		0.60 M	0.60 M
T26	BUSH	PROPOSED		0.60 M	0.60 M

WASTE ENCLOSURE & FENCE - DETAIL
 3/16" = 1'-0"

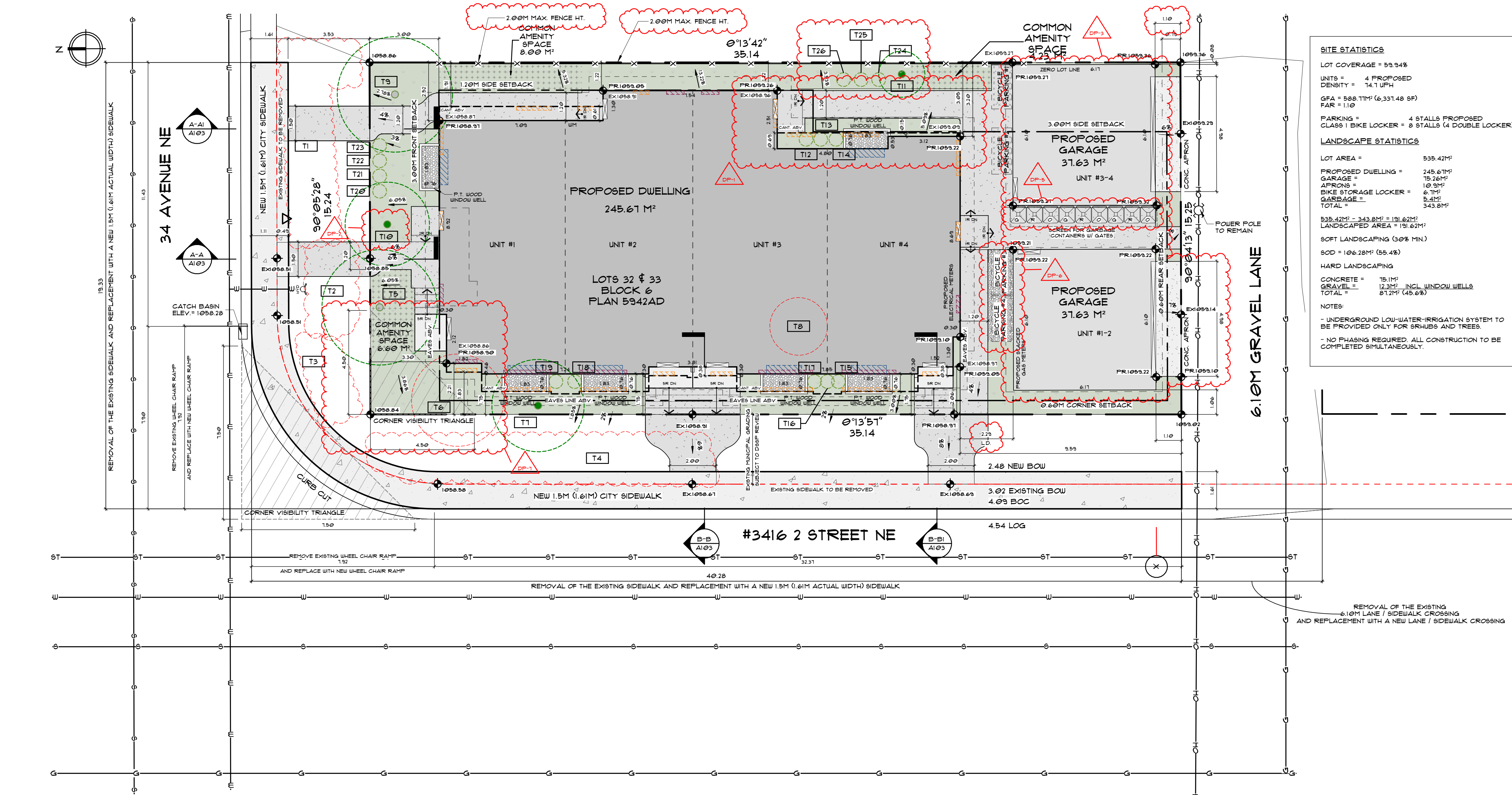


LEGEND	
PROPERTY LINE	---
SETBACK LINE	---
FLOOR LINE ABV.	---
EAVE LINE ABV.	---
WATER LINE	—W—W—W—W—
SEWER LINE	—S—S—S—S—
STORM LINE	—ST—ST—ST—ST—
GAS LINE	—G—G—G—G—
ELECTRICAL LINE	—E—E—E—E—
FENCE LINE	—X—X—X—X—
PROPOSED DWELLING	[Grey Box]
PROPOSED GARAGE	[Light Grey Box]
PROPOSED FRONT PORCH	[Light Grey Box]
PROPOSED WALKWAY	[Light Grey Box]
PROPOSED DRIVEWAY	[Light Grey Box]
GEODETIC DATUM	⊕ 00.00
SLOPE OF GRADE	2% SLOPE
NORTH ARROW	[North Arrow]
TOP OF WALL	T.O.W.
BOTTOM OF WALL	B.O.W.
BACK OF CURB	B.O.C.
LIP OF GUTTER	LOG
BACK OF SIDEWALK	B.W.
FIRE HYDRANT	[Hydrant Symbol]
STREET SIGN	[Sign Symbol]
POWER POLE	[Pole Symbol]
LOWER FLOOR WINDOWS	[Blue Hatched Box]
MAIN FLOOR WINDOWS	[Red Hatched Box]
UPPER FLOOR WINDOWS	[Orange Hatched Box]
MAIN FLOOR DOORS	[White Box]
NEW TREE / BUSH (REFER TO TREE SCHEDULE)	[Green Circle]
TREE TO REMAIN	[Green Circle]
TREE TO BE REMOVED	[Red Circle]
BUSH TO REMAIN	[Green Circle]
BUSH TO BE REMOVED	[Red Circle]
SOFT LANDSCAPING	[Green Box]
COMMON AMENITY SPACE	[Dotted Box]

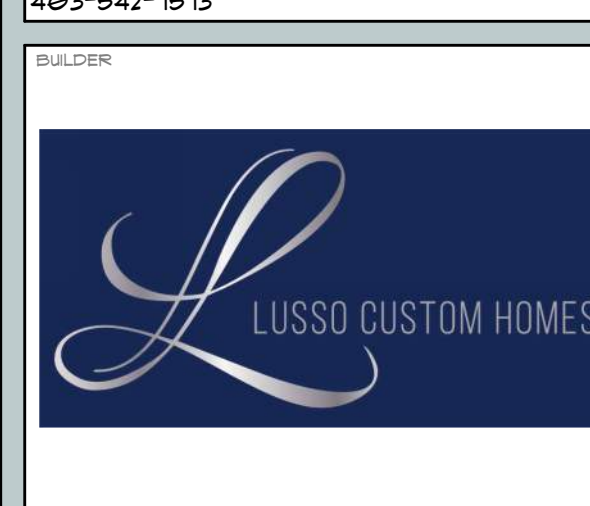
SITE STATISTICS
 LOT COVERAGE = 59.94%
 UNITS = 4 PROPOSED
 DENSITY = 14.1 UPH
 GPA = 588.11M² (6,331.48 SF)
 FAR = 11.0
 PARKING = 4 STALLS PROPOSED
 CLASS 1 BIKE LOCKER = 8 STALLS (4 DOUBLE LOCKER)

LANDSCAPE STATISTICS
 LOT AREA = 535.42M²
 PROPOSED DWELLING = 245.61M²
 GARAGE = 75.26M²
 PORCHES = 10.93M²
 BIKE STORAGE LOCKER = 6.71M²
 GARAGE = 31.63M²
 TOTAL = 343.8M²
 535.42M² - 343.8M² = 191.62M²
 LANDSCAPED AREA = 191.62M²
 SOFT LANDSCAPING (30% MIN)
 SCD = 106.28M² (55.4%)
 HARD LANDSCAPING
 CONCRETE = 15.1M²
 GRAVEL = 12.3M² (INCL WINDOW WELLS)
 TOTAL = 27.4M² (45.6%)

NOTES:
 - UNDERGROUND LOW-WATER-IRRIGATION SYSTEM TO BE PROVIDED ONLY FOR GRASSES AND TREES.
 - NO PHASING REQUIRED. ALL CONSTRUCTION TO BE COMPLETED SIMULTANEOUSLY.



SITE PLAN
 1/100



PROJECT NAME
RN3416

PROJECT INFO
 ADDRESS
 # 3416
 2 ST NE
 CALGARY, AB

ADDRESS LEGAL
 LOT 32 & 33
 PLAN 5942AD
 BLOCK 6

COMPANY
 HIGHLAND PARK
 ZONING
 R-CG

AREA	AREA
UPPER UNIT #1	100 SF
UPPER UNIT #2	150 SF
UPPER UNIT #3	162 SF
UPPER UNIT #4	675 SF
UNIT #1	553 SF
SUITE #1 ENTRANCE	65 SF
UNIT #1	613 SF
UNIT #3	589 SF
SUITE #3 ENTRANCE	61 SF
UNIT #4	521 SF
SUITE #4 ENTRANCE	44 SF
SUITE #1 ENTRANCE	44 SF
ABOVE GRADE DEVELOPED TOTAL	5399 SF
SUITE #1	550 SF
SUITE #2	582 SF
STORAGE SUITE #2	43 SF
STORAGE SUITE #3	41 SF
SUITE #3	609 SF
SUITE #4	534 SF
BELOW GRADE DEVELOPED TOTAL	2350 SF
MECH RM SUITE #4	30 SF
UNIT #1 MECH RM	32 SF
UNIT #2 MECH RM	21 SF
UNIT #3 MECH RM	53 SF
UNIT #4 MECH RM	43 SF
ABOVE GRADE UNDEVELOPED TOTAL	184 SF
MECH RM SUITE #1	30 SF
MECH RM SUITE #2	48 SF
MECH RM SUITE #3	32 SF
BELOW GRADE UNDEVELOPED TOTAL	110 SF
GARAGE #1	400 SF
GARAGE #2	400 SF
GARAGE TOTAL	800 SF
PORCH UNIT#1	31 SF
PORCH UNIT#2	11 SF
PORCH UNIT#3	11 SF
PORCH UNIT#4	16 SF
DECKS & PATIOS COVERED TOTAL	81 SF

PERMIT INFORMATION
 DEVELOPMENT PERMIT NUMBER
DP2016-00883
 BUILDING PERMIT NUMBER
 BP NUMBER

DRAWING VERSION
CONSTRUCTION DRAWINGS

SET ISSUE DATE
 ISSUE DATE

DEVELOPMENT PERMIT
 DP REVISION
 11 FEB 2016
 11 MAY 2016

DRAWING TITLE
SITE PLAN

SHEET NO.
A101

SCALE
 AS INDICATED

DRAWN BY
 FA

AREA	UPPER UNIT #1	100 SF
	UPPER UNIT #2	150 SF
	UPPER UNIT #3	162 SF
	UPPER UNIT #4	675 SF
	UNIT #1	553 SF
	SUITE #2 ENTRANCE	65 SF
	UNIT #2	613 SF
	UNIT #3	589 SF
	SUITE #3 ENTRANCE	61 SF
	UNIT #4	521 SF
	SUITE #4 ENTRANCE	44 SF
	SUITE #1 ENTRANCE	44 SF
	ABOVE GRADE DEVELOPED TOTAL	5309 SF

	SUITE #1	550 SF
	SUITE #2	582 SF
	STORAGE SUITE #2	43 SF
	STORAGE SUITE #3	41 SF
	SUITE #3	609 SF
	SUITE #4	534 SF
	BELOW GRADE DEVELOPED TOTAL	2350 SF
	MECH RM SUITE #4	30 SF
	UNIT #1 MECH RM	32 SF
	UNIT #2 MECH RM	21 SF
	UNIT #3 MECH RM	53 SF
	UNIT #4 MECH RM	43 SF
	ABOVE GRADE UNDEVELOPED TOTAL	184 SF

	MECH RM SUITE #1	30 SF
	MECH RM SUITE #2	48 SF
	MECH RM SUITE #3	32 SF
	BELOW GRADE UNDEVELOPED TOTAL	110 SF
	GARAGE #1	400 SF
	GARAGE #2	400 SF
	GARAGE TOTAL	800 SF
	PORCH UNIT#1	31 SF
	PORCH UNIT#2	11 SF
	PORCH UNIT#3	11 SF
	PORCH UNIT#4	16 SF
	TOTAL	81 SF

PERMIT INFORMATION
DEVELOPMENT PERMIT NUMBER
DP2016-00883
BUILDING PERMIT NUMBER
BP

DRAWING VERSION

CONSTRUCTION DRAWINGS

SET ISSUE DATE
ISSUE DATE
DEVELOPMENT PERMIT
DP REVISED

11 FEB 2016
11 MAY 2016

DRAWING TITLE

FRONT & LEFT ELEVATION

SHEET NO
A301

SCALE
AS INDICATED

DRAWN BY
FA

EXPOSED BUILDING FACE SPATIAL CALCULATION

TOTAL AREA OF EXPOSED BUILDING FACE	= 150.33 M ²
AREA OF EXPOSED BUILDING FACE 1	= 31.74 M ²
LIMITING DISTANCE	= 3.05 M
INTERPOLATED ALLOWABLE GLAZING (%)	= 10.10 %
ALLOWABLE GLAZING (M ²)	= 3.81 M ²
PROPOSED GLAZING (M ²)	= 2.03 M ²

EXPOSED BUILDING FACE SPATIAL CALCULATION

TOTAL AREA OF EXPOSED BUILDING FACE	= 150.33 M ²
AREA OF EXPOSED BUILDING FACE 2	= 25.46 M ²
LIMITING DISTANCE	= 1.21 M
INTERPOLATED ALLOWABLE GLAZING (%)	= 1.00 %
ALLOWABLE GLAZING (M ²)	= 1.51 M ²
PROPOSED GLAZING (M ²)	= 1.61 M ²

EXPOSED BUILDING FACE SPATIAL CALCULATION

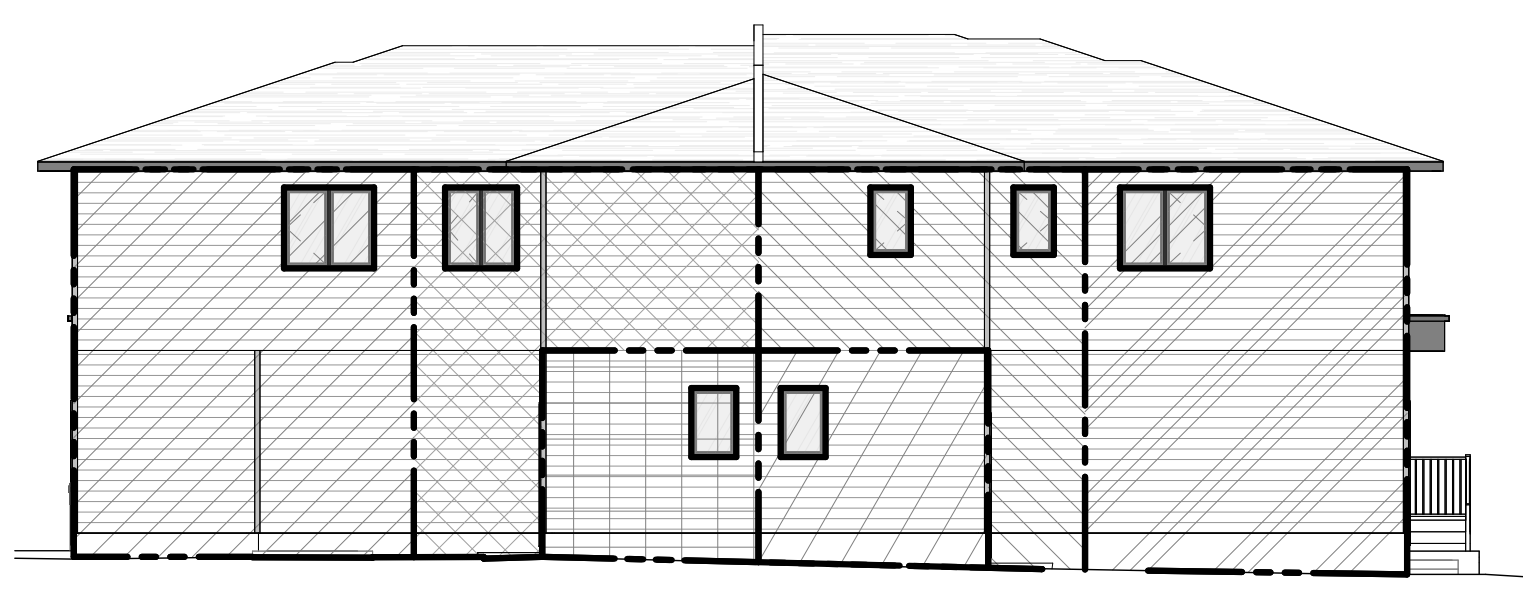
TOTAL AREA OF EXPOSED BUILDING FACE	= 150.33 M ²
AREA OF EXPOSED BUILDING FACE 3	= 22.98 M ²
LIMITING DISTANCE	= 1.51 M
INTERPOLATED ALLOWABLE GLAZING (%)	= 1.00 %
ALLOWABLE GLAZING (M ²)	= 0.89 M ²
PROPOSED GLAZING (M ²)	= 0.89 M ²

EXPOSED BUILDING FACE SPATIAL CALCULATION

TOTAL AREA OF EXPOSED BUILDING FACE	= 150.33 M ²
AREA OF EXPOSED BUILDING FACE 4	= 31.12 M ²
LIMITING DISTANCE	= 1.51 M
INTERPOLATED ALLOWABLE GLAZING (%)	= 1.00 %
ALLOWABLE GLAZING (M ²)	= 0.89 M ²
PROPOSED GLAZING (M ²)	= 0.89 M ²

TOTAL FACE
150.33 M²

FACE #1	31.74 M ²	FACE #2	25.46 M ²	FACE #3	22.98 M ²	FACE #4	31.12 M ²
OPENINGS #1	2.03 M ²	OPENINGS #2	1.61 M ²	OPENINGS #3	1.51 M ²	OPENINGS #4	2.03 M ²



FACE #5
12.93 M²
OPENINGS #5
0.89 M²

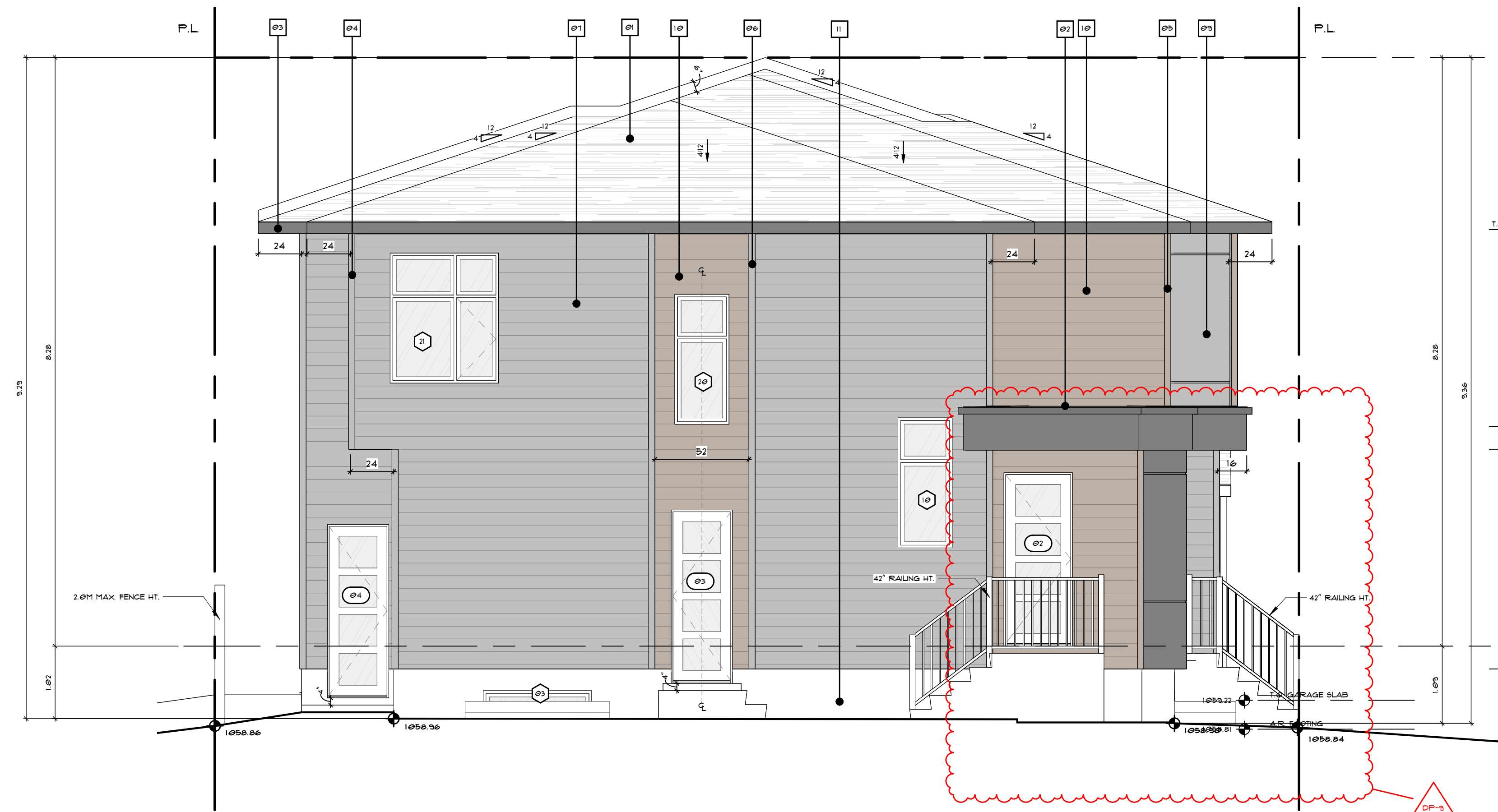
FACE #6
14.10 M²
OPENINGS #6
0.89 M²

EXPOSED BUILDING FACE SPATIAL CALCULATION

TOTAL AREA OF EXPOSED BUILDING FACE	= 150.33 M ²
AREA OF EXPOSED BUILDING FACE 5	= 12.93 M ²
LIMITING DISTANCE	= 1.21 M
INTERPOLATED ALLOWABLE GLAZING (%)	= 1.00 %
ALLOWABLE GLAZING (M ²)	= 0.89 M ²
PROPOSED GLAZING (M ²)	= 0.89 M ²

EXPOSED BUILDING FACE SPATIAL CALCULATION

TOTAL AREA OF EXPOSED BUILDING FACE	= 150.33 M ²
AREA OF EXPOSED BUILDING FACE 6	= 14.10 M ²
LIMITING DISTANCE	= 1.21 M
INTERPOLATED ALLOWABLE GLAZING (%)	= 1.00 %
ALLOWABLE GLAZING (M ²)	= 0.89 M ²
PROPOSED GLAZING (M ²)	= 0.89 M ²

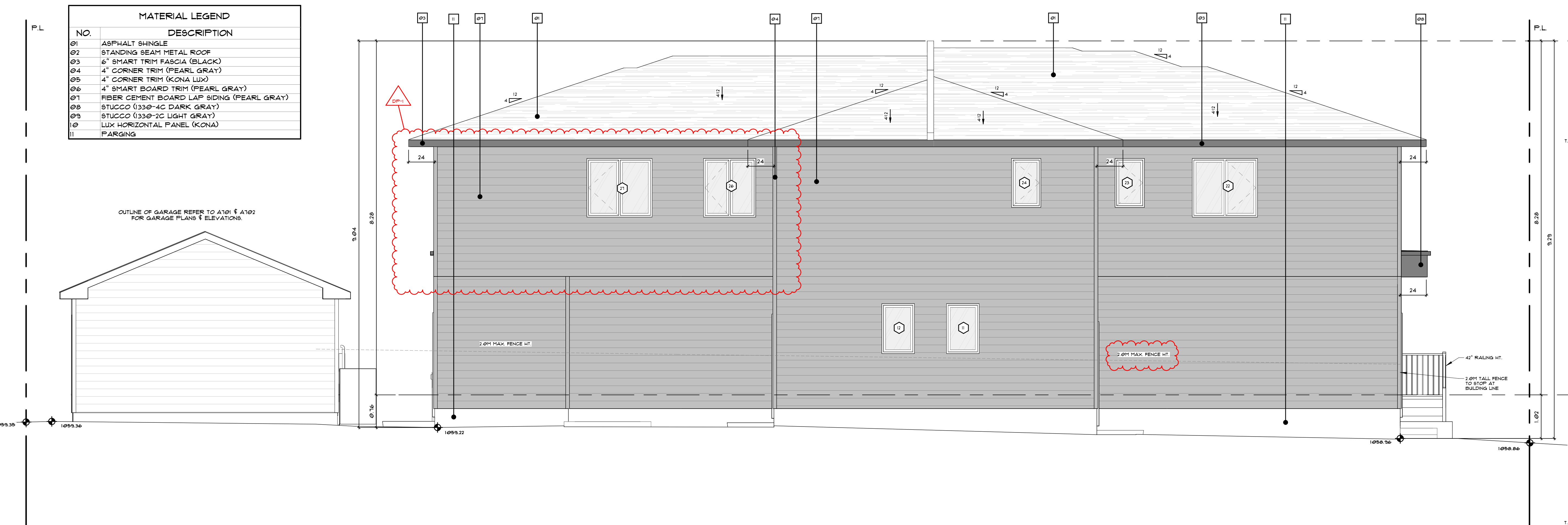
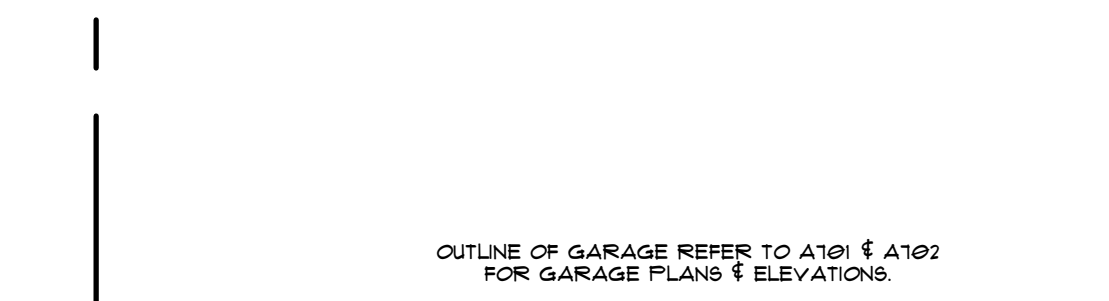


3 LEFT SPATIAL SEPARATION
A301 3/32" = 1'-0"

1 FRONT ELEVATION
A301 1/4" = 1'-0"

MATERIAL LEGEND

NO.	DESCRIPTION
01	ASPHALT SHINGLE
02	STANDING BEAM METAL ROOF
03	6" SMART TRIM FASCIA (BLACK)
04	4" CORNER TRIM (PEARL GRAY)
05	4" CORNER TRIM (KONA LUX)
06	4" SMART BOARD TRIM (PEARL GRAY)
07	FIBER CEMENT BOARD LAP SIDING (PEARL GRAY)
08	STUCCO (1320-4C DARK GRAY)
09	STUCCO (1320-2C LIGHT GRAY)
10	LUX HORIZONTAL PANEL (KONA)
11	PARGING



2 LEFT ELEVATION
A301 1/4" = 1'-0"

EXPOSED BUILDING FACE SPATIAL CALCULATION		EXPOSED BUILDING FACE SPATIAL CALCULATION	
TOTAL AREA OF EXPOSED BUILDING FACE	= 74.39 M ²	TOTAL AREA OF EXPOSED BUILDING FACE	= 12.51 M ²
AREA OF EXPOSED BUILDING FACE	= 86.76 M ²	AREA OF EXPOSED BUILDING FACE	= 86.76 M ²
LIFTING DISTANCE	= 2.73 M	LIFTING DISTANCE	= 10.70 M
INTERPOLATED ALLOWABLE GLAZING (%)	= 10.31 %	INTERPOLATED ALLOWABLE GLAZING (%)	= 100.00 %
ALLOWABLE GLAZING (M ²)	= 8.34 M ²	ALLOWABLE GLAZING (M ²)	= 86.76 M ²
PROPOSED GLAZING (M ²)	= 5.51 M ²	PROPOSED GLAZING (M ²)	= 1.74 M ²

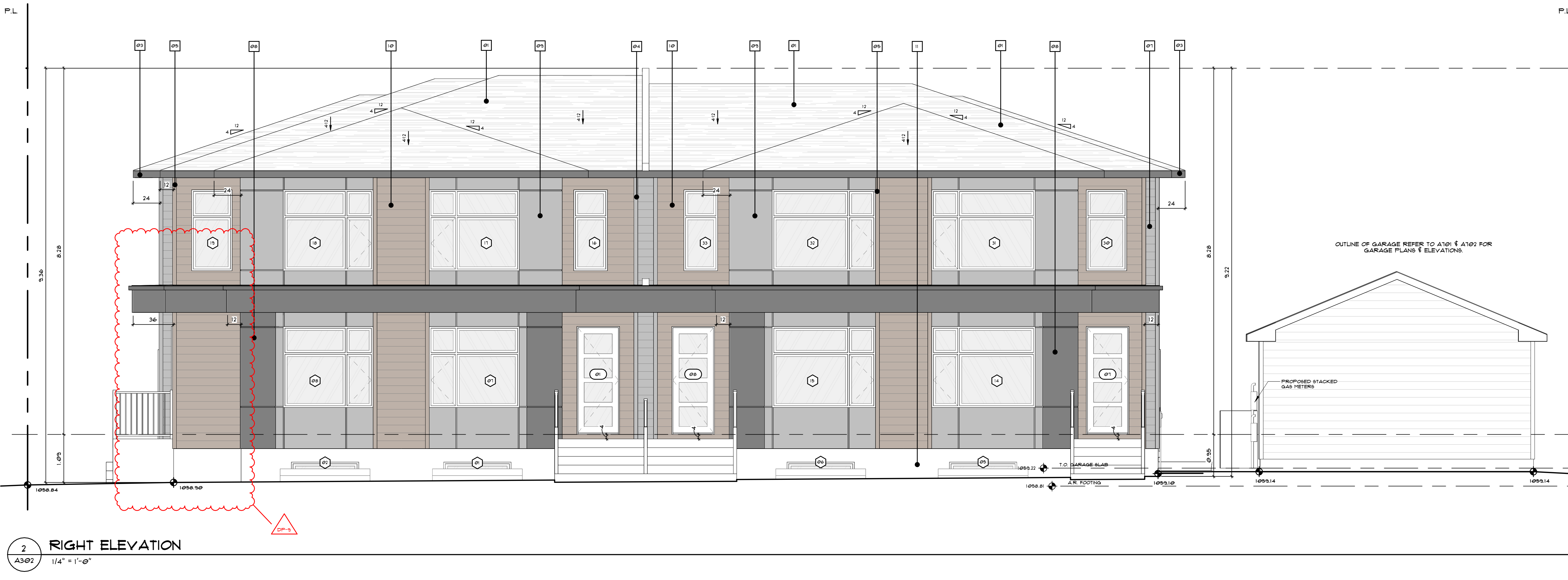
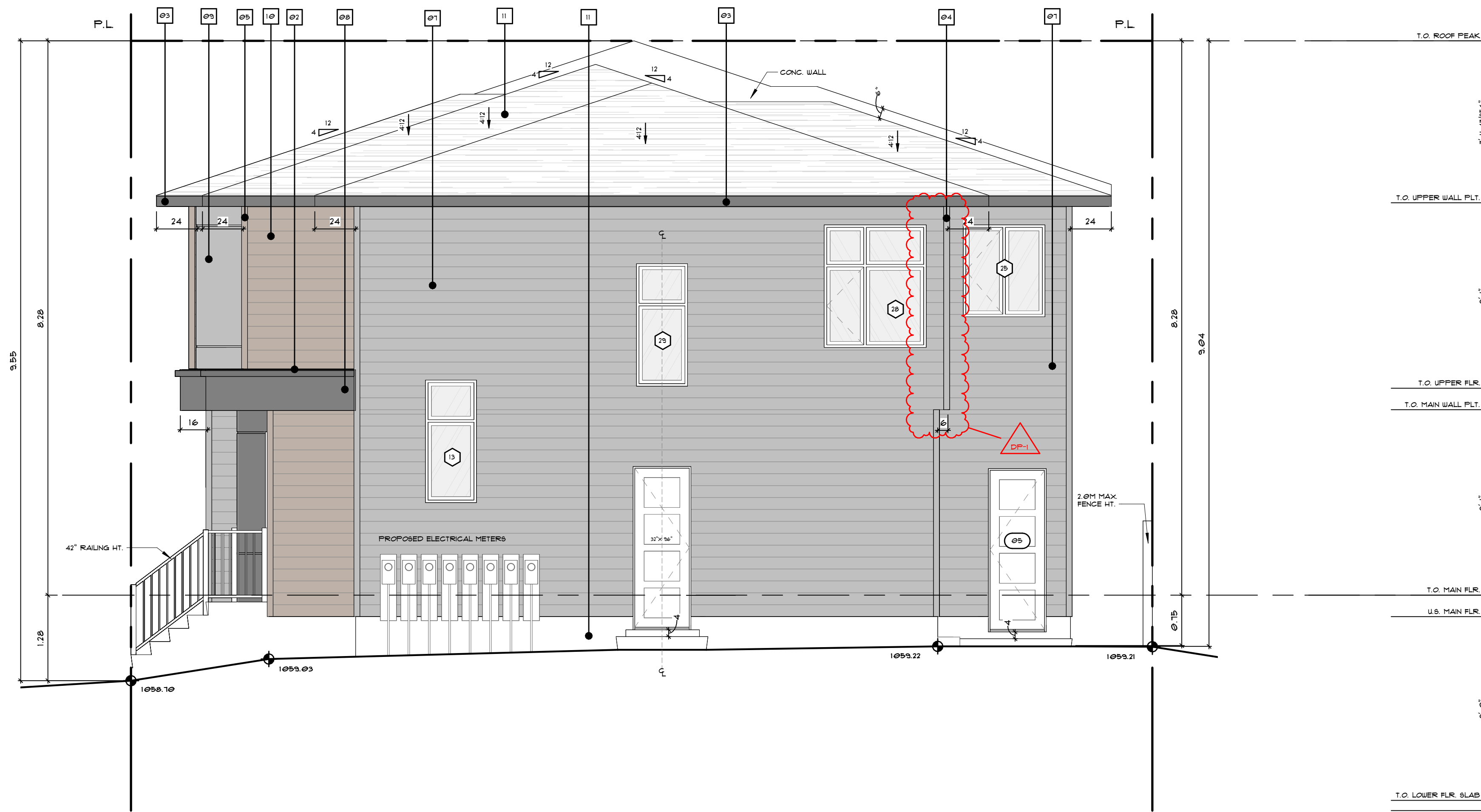
FACE #1	OPENINGS #1	FACE #2	OPENINGS #2
14.15 M ²	5.51 M ²	12.60 M ²	1.74 M ²



3 REAR SPATIAL SEPARATION
A302 3/32" = 1'-0"

MATERIAL LEGEND	
NO.	DESCRIPTION
01	ASPHALT SHINGLE
02	STANDING SEAM METAL ROOF
03	6" SMART TRIM FASCIA (BLACK)
04	4" CORNER TRIM (PEARL GRAY)
05	4" CORNER TRIM (KONA LUX)
06	4" SMART BOARD TRIM (PEARL GRAY)
07	FIBER CEMENT BOARD LAP SIDING (PEARL GRAY)
08	STUCCO (330-4C DARK GRAY)
09	STUCCO (330-3C LIGHT GRAY)
10	LUX HORIZONTAL PANEL (KONA)
11	PARGING

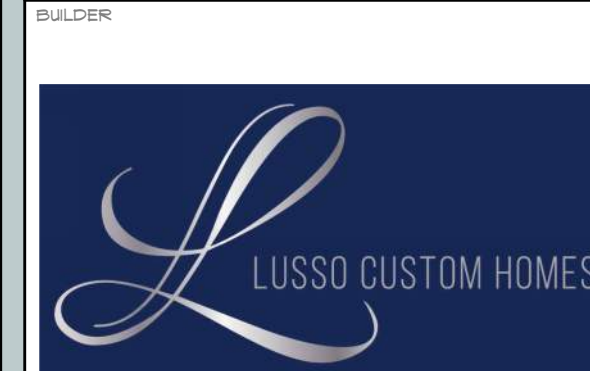
1 REAR ELEVATION
A302 1/4" = 1'-0"



2 RIGHT ELEVATION
A302 1/4" = 1'-0"



403-542-1513



PROJECT NAME
RN3416

PROJECT INFO
ADDRESS
3416
2 ST NE
CALGARY, AB.
ADDRESS LEGAL
LOT 32 & 33
PLAN 5042AD
BLOCK 6
COMPANY
HIGHLAND PARK
ZONING
R-CG

AREA	AREA
UPPER UNIT #1	100 SF
UPPER UNIT #2	150 SF
UPPER UNIT #3	162 SF
UPPER UNIT #4	675 SF
UNIT #1	553 SF
SUITE #1 ENTRANCE	65 SF
UNIT #2	613 SF
UNIT #3	589 SF
SUITE #3 ENTRANCE	61 SF
UNIT #4	521 SF
SUITE #4 ENTRANCE	44 SF
SUITE #1 ENTRANCE	44 SF
ABOVE GRADE DEVELOPED TOTAL	5389 SF
SUITE #1	550 SF
SUITE #2	582 SF
STORAGE SUITE #2	43 SF
STORAGE SUITE #3	41 SF
SUITE #3	609 SF
SUITE #4	534 SF
BELOW GRADE DEVELOPED TOTAL	2350 SF
MECH RM SUITE #4	30 SF
UNIT #1 MECH RM	32 SF
UNIT #2 MECH RM	21 SF
UNIT #3 MECH RM	53 SF
UNIT #4 MECH RM	43 SF
ABOVE GRADE UNDEVELOPED TOTAL	184 SF
MECH RM SUITE #1	30 SF
MECH RM SUITE #2	48 SF
MECH RM SUITE #3	32 SF
BELOW GRADE UNDEVELOPED TOTAL	110 SF
GARAGE #1	400 SF
GARAGE #2	400 SF
GARAGE TOTAL	800 SF
PORCH UNIT#1	31 SF
PORCH UNIT#2	11 SF
PORCH UNIT#3	11 SF
PORCH UNIT#4	16 SF
DECKS & PATIOS COVERED TOTAL	81 SF

PERMIT INFORMATION
DEVELOPMENT PERMIT NUMBER
DP2016-00003
BUILDING PERMIT NUMBER
BP NUMBER

DRAWING VERSION
CONSTRUCTION DRAWINGS

SET ISSUE DATE
ISSUE DATE
DEVELOPMENT PERMIT 11 FEB 2016
DP REVISED 11 MAY 2016

DRAWING TITLE
REAR & RIGHT ELEVATION

SHEET NO.
A302

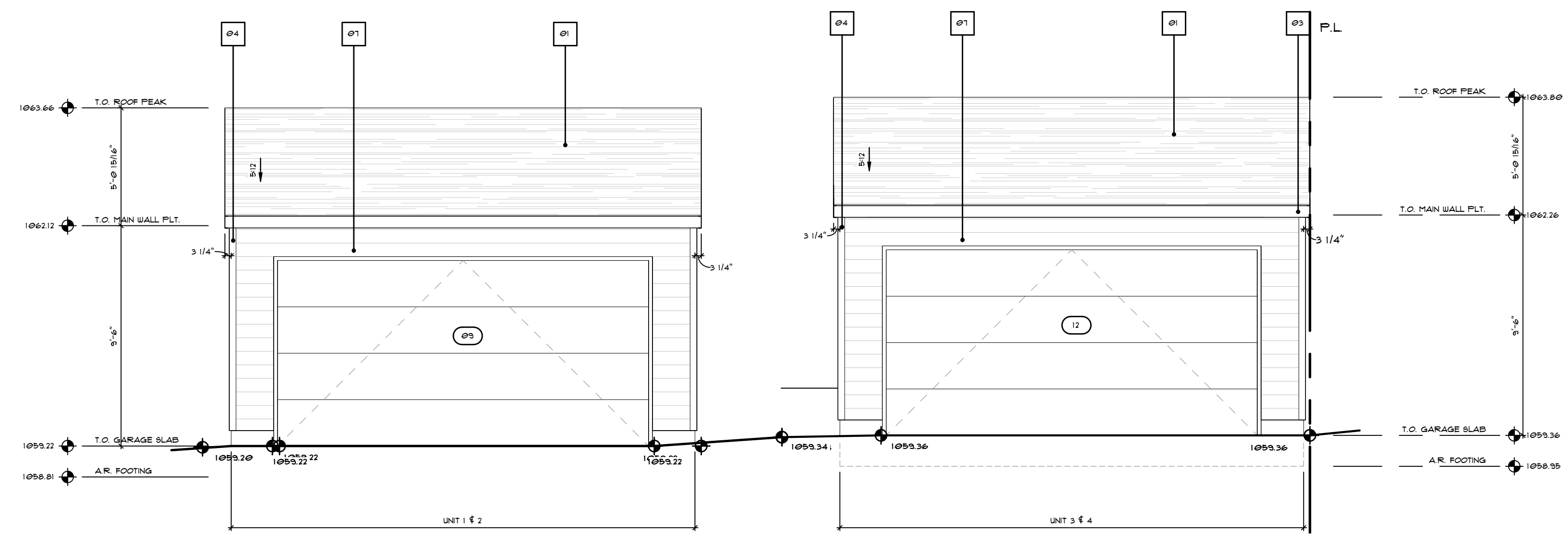
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N O T A R Y R E G I S T E R E D

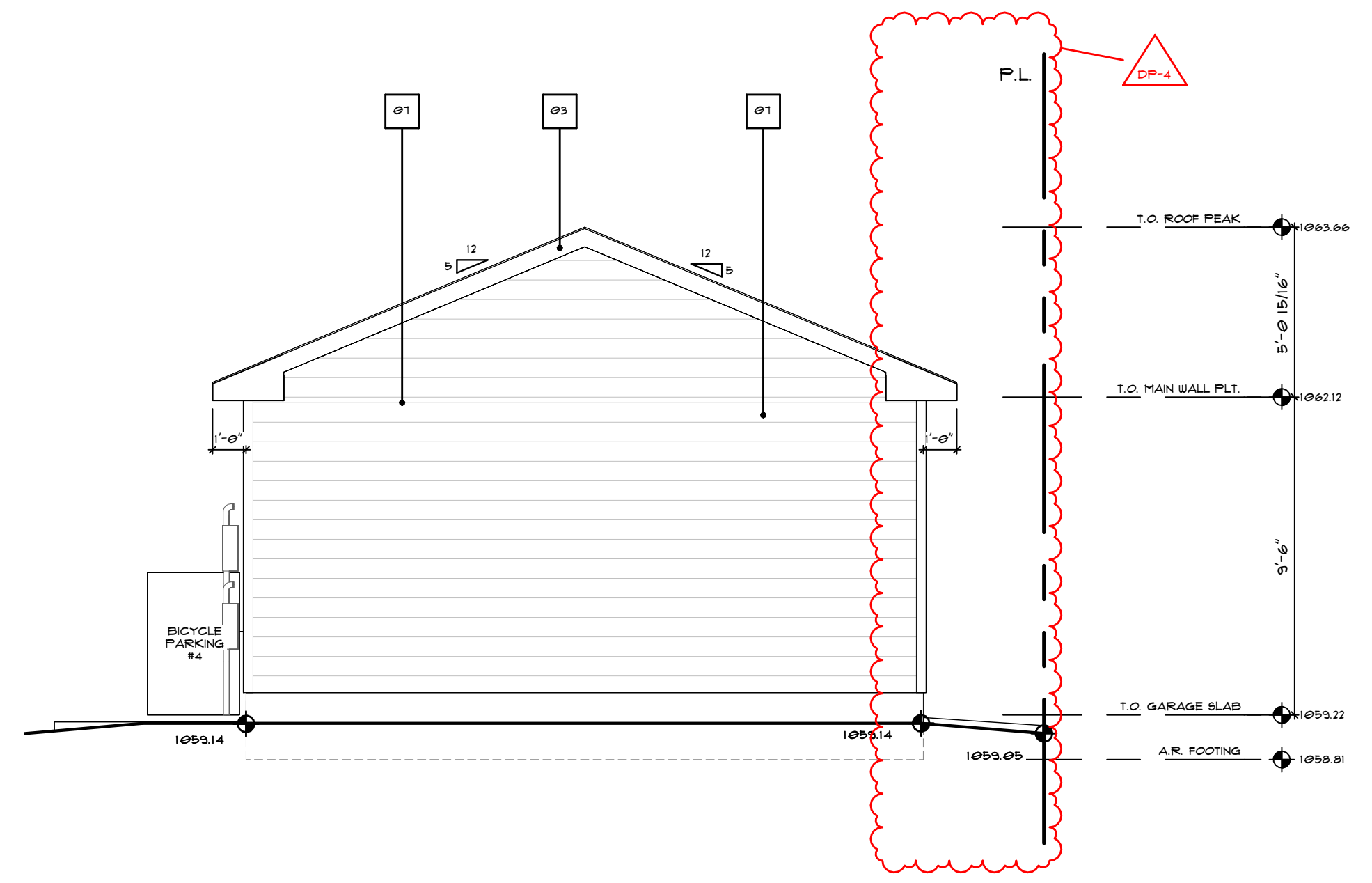
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AREA	AREA
UPPER UNIT #1	100 SF
UPPER UNIT #2	150 SF
UPPER UNIT #3	162 SF
UPPER UNIT #4	675 SF
UNIT #1	553 SF
SUITE #2 ENTRANCE	65 SF
UNIT #2	613 SF
UNIT #3	589 SF
SUITE #3 ENTRANCE	61 SF
UNIT #4	521 SF
SUITE #4 ENTRANCE	44 SF
SUITE #1 ENTRANCE	44 SF
ABOVE GRADE DEVELOPED TOTAL	5393 SF
SUITE #1	550 SF
SUITE #2	582 SF
STORAGE SUITE #2	43 SF
STORAGE SUITE #3	41 SF
SUITE #3	600 SF
SUITE #4	534 SF
BELOW GRADE DEVELOPED TOTAL	2350 SF
MECH RM SUITE #4	30 SF
UNIT #1 MECH RM	32 SF
UNIT #2 MECH RM	21 SF
UNIT #3 MECH RM	53 SF
UNIT #4 MECH RM	43 SF
ABOVE GRADE UNDEVELOPED TOTAL	184 SF
MECH RM SUITE #1	30 SF
MECH RM SUITE #2	48 SF
MECH RM SUITE #3	32 SF
BELOW GRADE UNDEVELOPED TOTAL	110 SF
GARAGE #1	400 SF
GARAGE #2	400 SF
GARAGE TOTAL	800 SF
PORCH UNIT#1	31 SF
PORCH UNIT#2	11 SF
PORCH UNIT#3	11 SF
PORCH UNIT#4	16 SF
DECKS & PATIOS COVERED TOTAL	81 SF

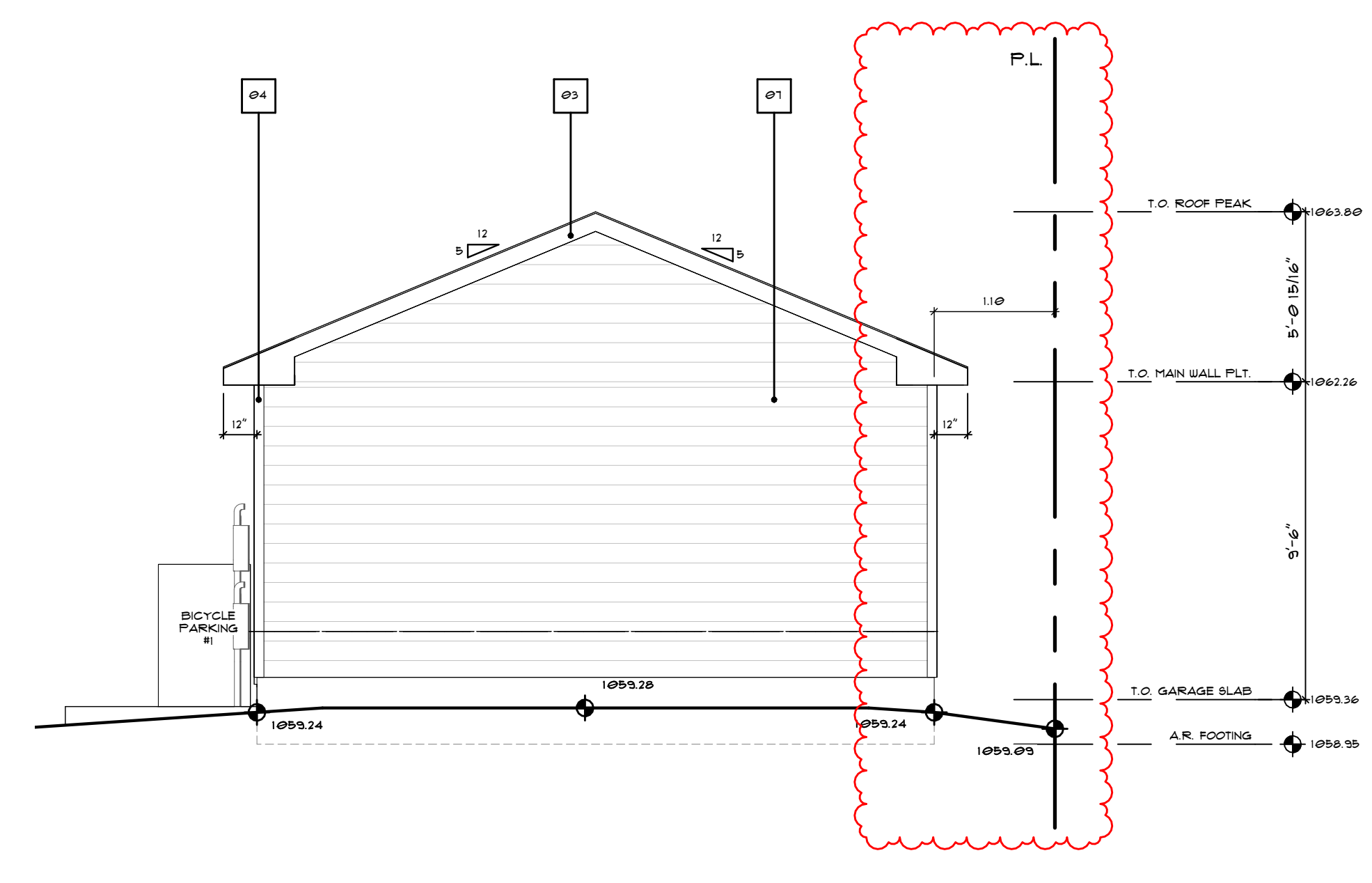
PERMIT INFORMATION
 DEVELOPMENT PERMIT NUMBER
DP2016-00003
 BUILDING PERMIT NUMBER
BP NUMBER



1 GARAGE - FRONT ELEVATION
 A102 1/4" = 1'-0"



2 GARAGE - LEFT ELEVATION UNIT 3 & 4
 A102 1/4" = 1'-0"



5 GARAGE - LEFT ELEVATION UNIT 1 & 2
 A102 1/4" = 1'-0"

MATERIAL LEGEND	
NO.	DESCRIPTION
01	ASPHALT SHINGLE
02	STANDING SEAM METAL ROOF
03	6" SMART TRIM FASCIA (BLACK)
04	4" CORNER TRIM (PEARL GRAY)
05	4" CORNER TRIM (KONA LUX)
06	4" SMART BOARD TRIM (PEARL GRAY)
07	FIBER CEMENT BOARD LAP SIDING (PEARL GRAY)
08	STUCCO (1330-4C DARK GRAY)
09	STUCCO (1330-2C LIGHT GRAY)
10	LUX HORIZONTAL PANEL (KONA)
11	FARGING

CONSTRUCTION DRAWINGS

SET ISSUE DATE	DATE
ISSUE	DATE
DEVELOPMENT PERMIT	11 FEB 2016
DP REVISED	11 MAY 2016

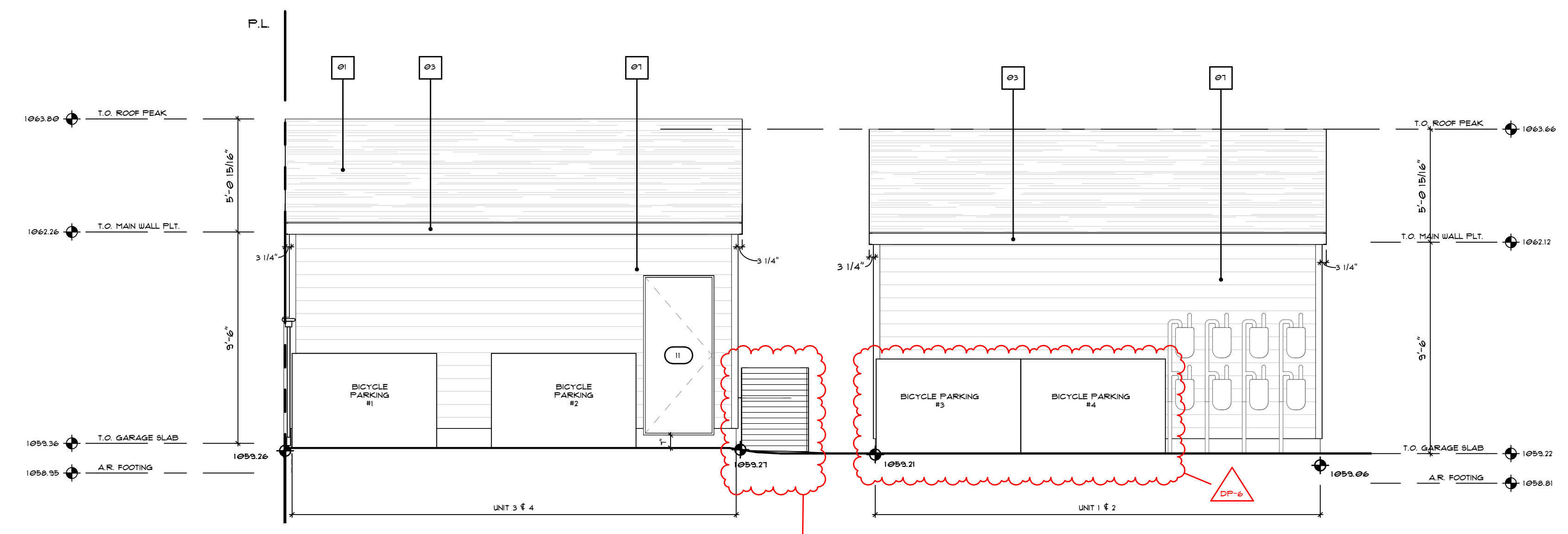
DRAWING TITLE
GARAGE ELEVATIONS

SHEET NO.
A102

SCALE 1/4" = 1'-0"
 DRAWN BY: FA

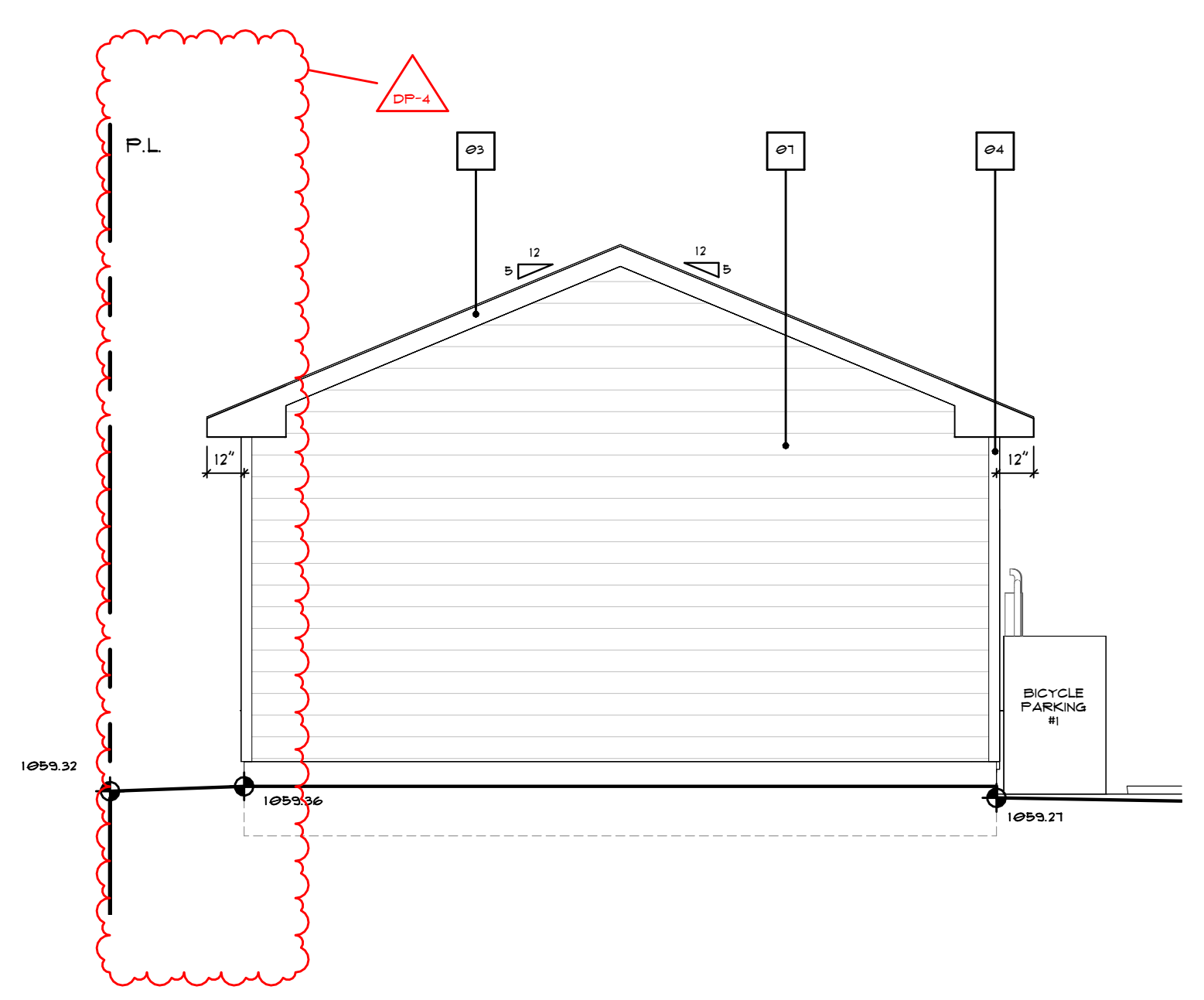
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AREA	AREA
UPPER UNIT #1	100 SF
UPPER UNIT #2	150 SF
UPPER UNIT #3	162 SF
UPPER UNIT #4	675 SF
UNIT #1	553 SF
SUITE #2 ENTRANCE	65 SF
UNIT #2	613 SF
UNIT #3	589 SF
SUITE #3 ENTRANCE	61 SF
UNIT #4	521 SF
SUITE #4 ENTRANCE	44 SF
SUITE #1 ENTRANCE	44 SF
ABOVE GRADE DEVELOPED TOTAL	5393 SF
SUITE #1	550 SF
SUITE #2	582 SF
STORAGE SUITE #2	43 SF
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MECH RM SUITE #3	32 SF
BELOW GRADE UNDEVELOPED TOTAL	110 SF
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PORCH UNIT#1	31 SF
PORCH UNIT#2	11 SF
PORCH UNIT#3	11 SF
PORCH UNIT#4	16 SF
DECKS & PATIOS COVERED TOTAL	81 SF
PERMIT INFORMATION	
DEVELOPMENT PERMIT NUMBER	DP2016-00003
BUILDING PERMIT NUMBER	BP NUMBER

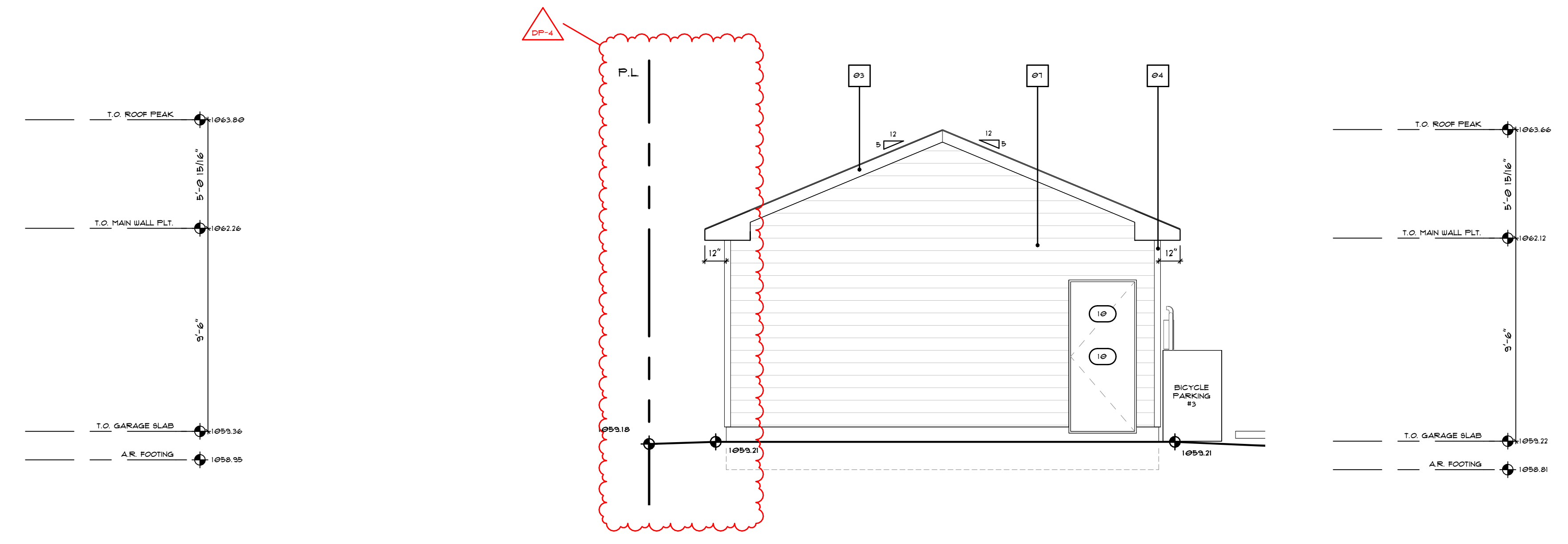


1 GARAGE - REAR ELEVATION
 1/4" = 1'-0"

NO.	DESCRIPTION
01	ASPHALT SHINGLE
02	STANDING SEAM METAL ROOF
03	6" SMART TRIM FASCIA (BLACK)
04	4" CORNER TRIM (PEARL GRAY)
05	4" CORNER TRIM (KONA LUX)
06	4" SMART BOARD TRIM (PEARL GRAY)
07	FIBER CEMENT BOARD LAP SIDING (PEARL GRAY)
08	STUCCO (1330-4C DARK GRAY)
09	STUCCO (1330-2C LIGHT GRAY)
10	LUX HORIZONTAL PANEL (KONA)
11	FARGING



2 GARAGE - RIGHT ELEVATION UNIT 1 & 2
 1/4" = 1'-0"



3 GARAGE - RIGHT ELEVATION UNIT 3 & 4
 1/4" = 1'-0"

CONSTRUCTION DRAWINGS

SET ISSUE DATE	DATE
ISSUE	

DEVELOPMENT PERMIT 11 FEB 2016
 DP REVISED 11 MAY 2016

GARAGE ELEVATIONS

SHEET NO.
A103

SCALE 1/4" = 1'-0"
 DRAWN BY: FA

NOT FOR CONSTRUCTION