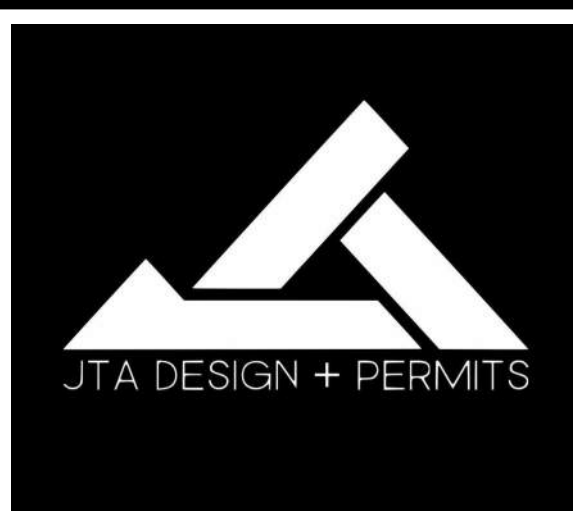




LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement & Main Floor Plan
A-1.2	Upper Floor & Roof Plan
A-2.0	Front Elevation & Rear Elevation
A-2.1	Left Elevation
A-2.2	Right Elevation

FLOOR AREA	
BASEMENT	= 1202.00 SQ. FT.
ATTACHED GARAGE	= 638.00 SQ. FT.
MAIN FLOOR	= 1352.50 SQ. FT.
UPPER FLOOR	= 1457.44 SQ. FT.
TOTAL	= 2809.94 SQ. FT.



GENERAL NOTES:

MUNICIPAL ADDRESS:
**1512 Child Ave N.E. -
SOUTH UNIT
CALGARY, ALBERTA**
PROJECT:
NEW HOME

PROJECT NUMBER:
363-25
STATUS:
DP PLANS

LEGAL LAND DISCRPTION:
LOT: BLOCK: PLAN:
-- -- --

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER
CONSULTANT DRAWINGS PRIOR TO STARTING
CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/01/2026	DP PLANS	K.G.
02.	27/02/2026	REVISED	K.C.
03.	07/05/2026	DTR	K.C.
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE IN
A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER PERSON
OR ORGANIZATION FOR ANY PURPOSE WITHOUT
THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:	
MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-07-21 5:17:36 PM

SCALE:

PAGE:

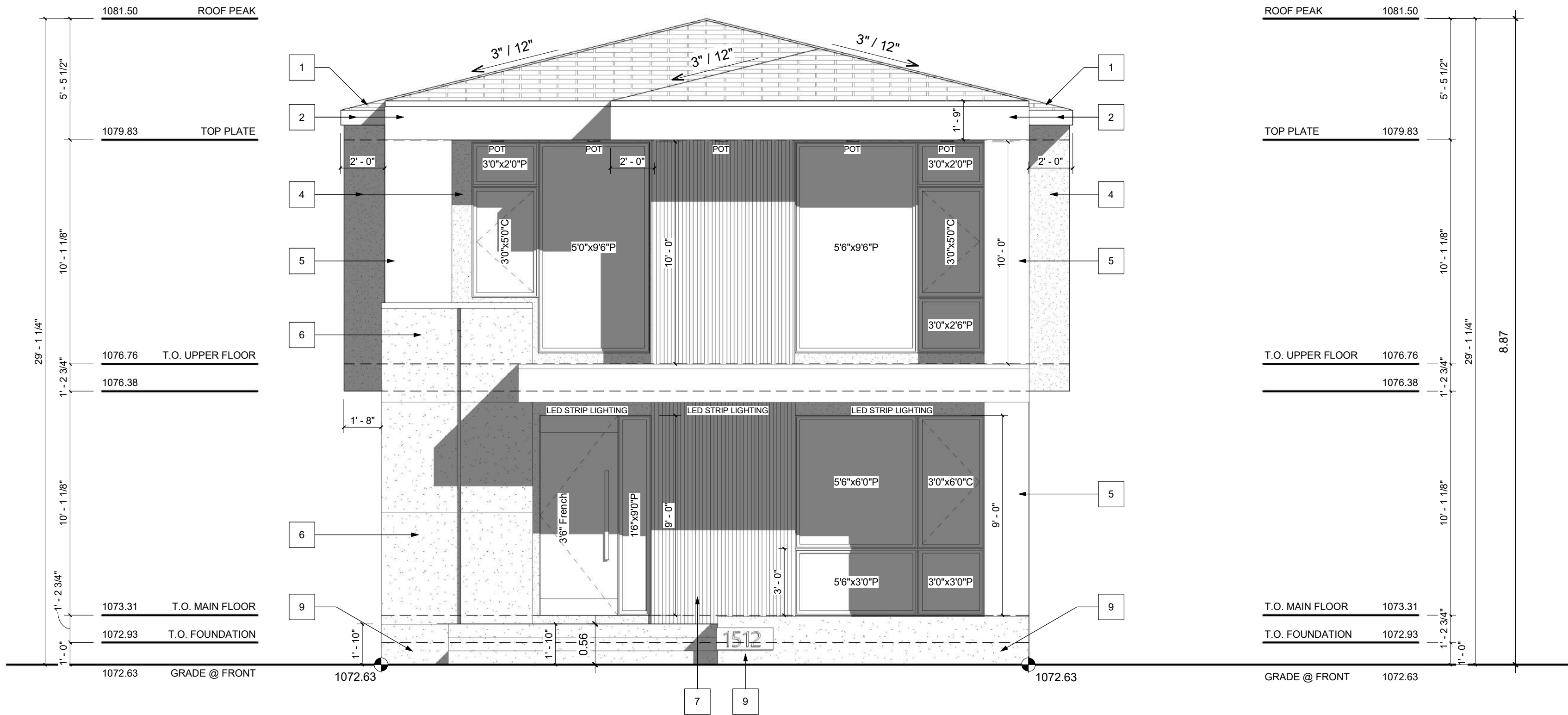
A-0.0



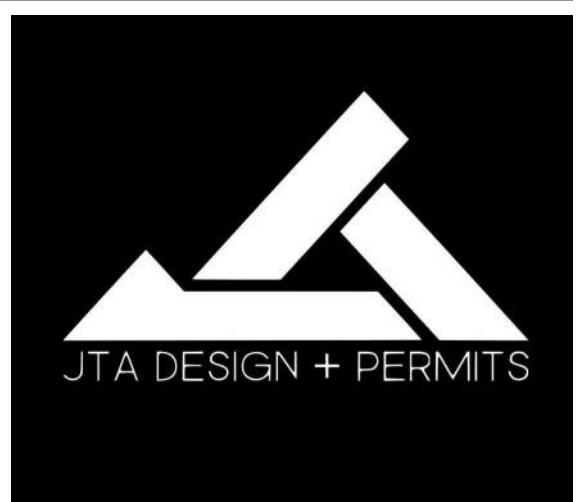
EXTERIOR FINISHES:

1	ASPHALT SHINGLES	6	CONC. TILE CLADDING AS SPEC'D
2	ALUMINUM FASCIA - BLACK	7	COMPOSITE WOOD SLAT FINISH
3	TORCH ON ROOF	8	CONCRETE PARGING
4	STUCCO FINISH - DARK GREY / BLACK	9	CAST-IN-PLACE CONCRETE
5	SMOOTH STUCCO FINISH - DARK GREY / BLACK		

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
**1512 Child Ave N.E. -
SOUTH UNIT
CALGARY, ALBERTA**
PROJECT:
NEW HOME

PROJECT NUMBER:
363-25
STATUS:
DP PLANS

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:
-- -- --

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER
CONSULTANT DRAWINGS PRIOR TO STARTING
CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/01/2026	DP PLANS	K.G.
02.	27/02/2026	REVISED	K.C.
03.	07/05/2026	DTR	K.C.
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE IN
A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER PERSON
OR ORGANIZATION FOR ANY PURPOSE WITHOUT
THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:

**Front Elevation & Rear
Elevation**

DESIGN BY: JT

DRAWN BY: JT

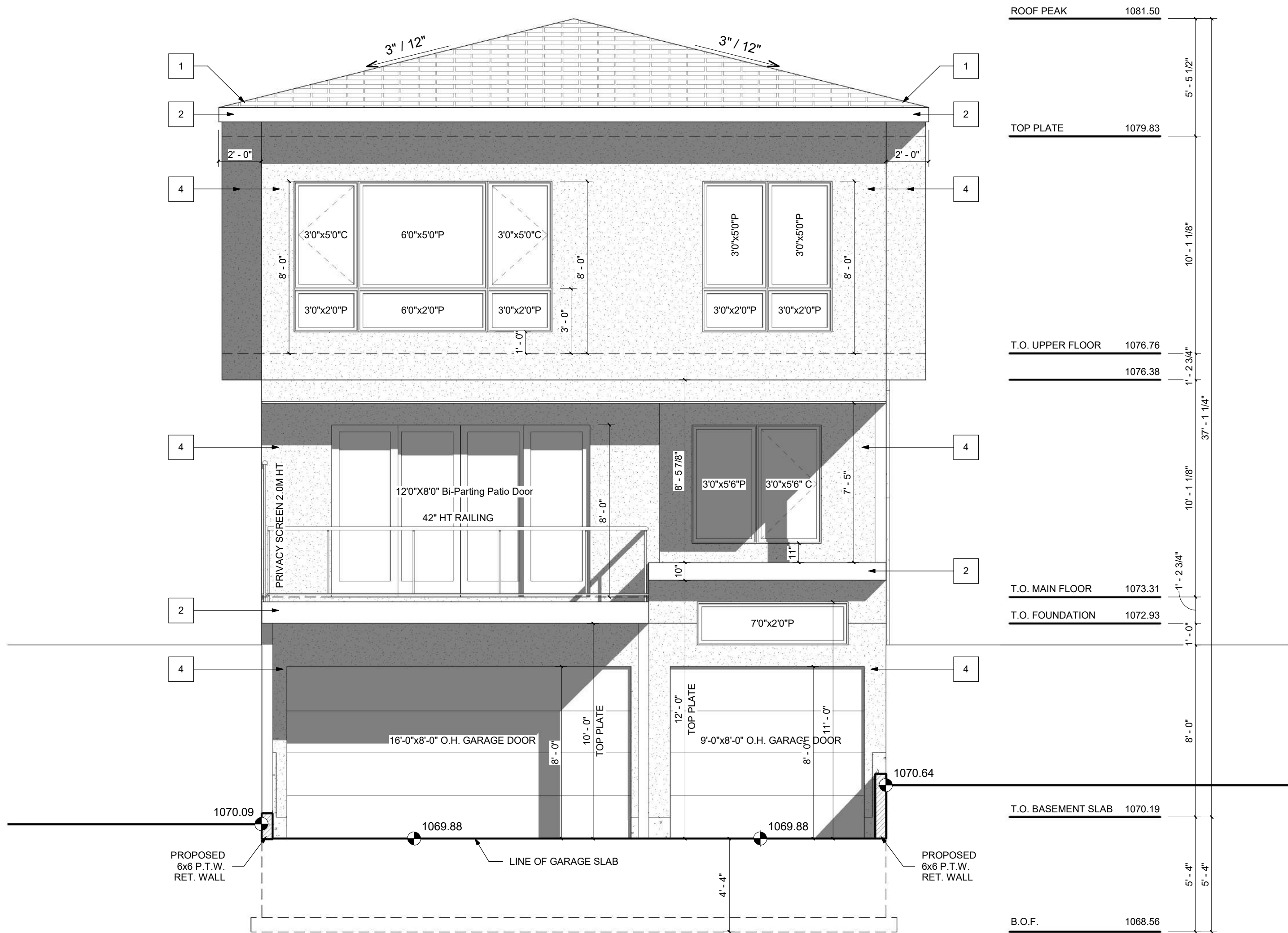
LAST REVISION BY:

PRINTED: 2026-07-21 5:17:49 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXTERIOR FINISHES:

1	ASPHALT SHINGLES	6	CONC. TILE CLADDING AS SPEC'D
2	ALUMINUM FASCIA - BLACK	7	COMPOSITE WOOD SLAT FINISH
3	TORCH ON ROOF	8	CONCRETE PARGING
4	STUCCO FINISH - DARK GREY / BLACK	9	CAST-IN-PLACE CONCRETE
5	SMOOTH STUCCO FINISH - DARK GREY / BLACK		

WINDOW CALCULATION :
@ 1.22m LIMITING DISTANCE

WALL AREA = 1439.77 SQ. FT.
WINDOW AREA = 45.04 SQ. FT.
TOTAL: 45.04 / 1439.77 = 3.13%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
1512 Child Ave N.E. -
SOUTH UNIT
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
363-25

STATUS:
DP PLANS

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER
CONSULTANT DRAWINGS PRIOR TO STARTING
CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/01/2026	DP PLANS	K.G.
02.	27/02/2026	REVISED	K.C.
03.	07/05/2026	DTR	K.C.
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE IN
A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER PERSON
OR ORGANIZATION FOR ANY PURPOSE WITHOUT
THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:
Left Elevation

DESIGN BY: JT

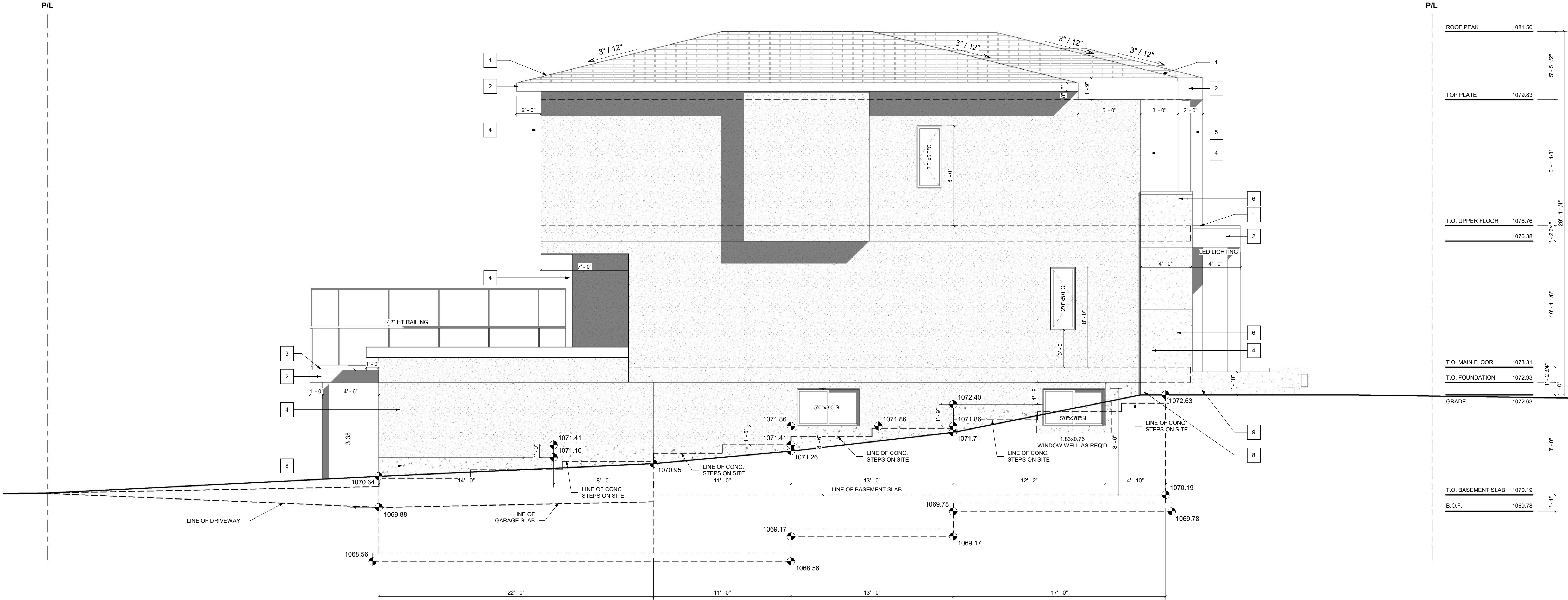
DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-07-21 5:17:52 PM

SCALE: 1/4" = 1'-0"

PAGE: A-2.1



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

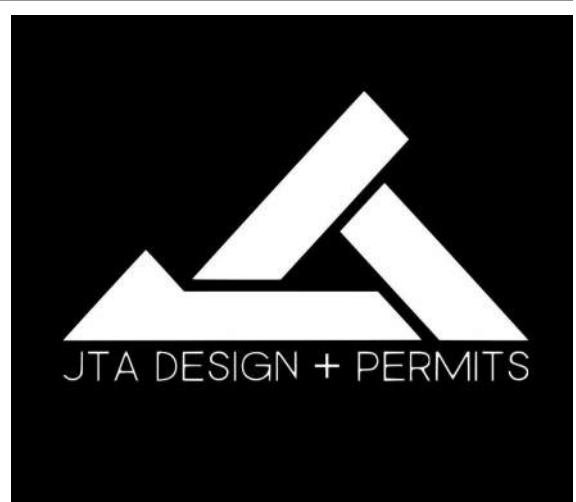
1	ASPHALT SHINGLES	6	CONC. TILE CLADDING AS SPEC'D
2	ALUMINUM FASCIA - BLACK	7	COMPOSITE WOOD SLAT FINISH
3	TORCH ON ROOF	8	CONCRETE PARGING
4	STUCCO FINISH - DARK GREY / BLACK	9	CAST-IN-PLACE CONCRETE
5	SMOOTH STUCCO FINISH - DARK GREY / BLACK		

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :

(LIMITING DISTANCE TO
CENTER OF LANE)
WALL AREA = 1478.19 SQ. FT.
WINDOW AREA = 88.40 SQ. FT.
TOTAL: 88.40 / 1478.19 = 5.98%



GENERAL NOTES:

MUNICIPAL ADDRESS:

1512 Child Ave N.E. -
SOUTH UNIT
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:

363-25

STATUS:

DP PLANS

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER
CONSULTANT DRAWINGS PRIOR TO STARTING
CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/01/2026	DP PLANS	K.G.
02.	27/02/2026	REVISED	K.C.
03.	07/05/2026	DTR	K.C.
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE IN
A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER PERSON
OR ORGANIZATION FOR ANY PURPOSE WITHOUT
THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Right Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

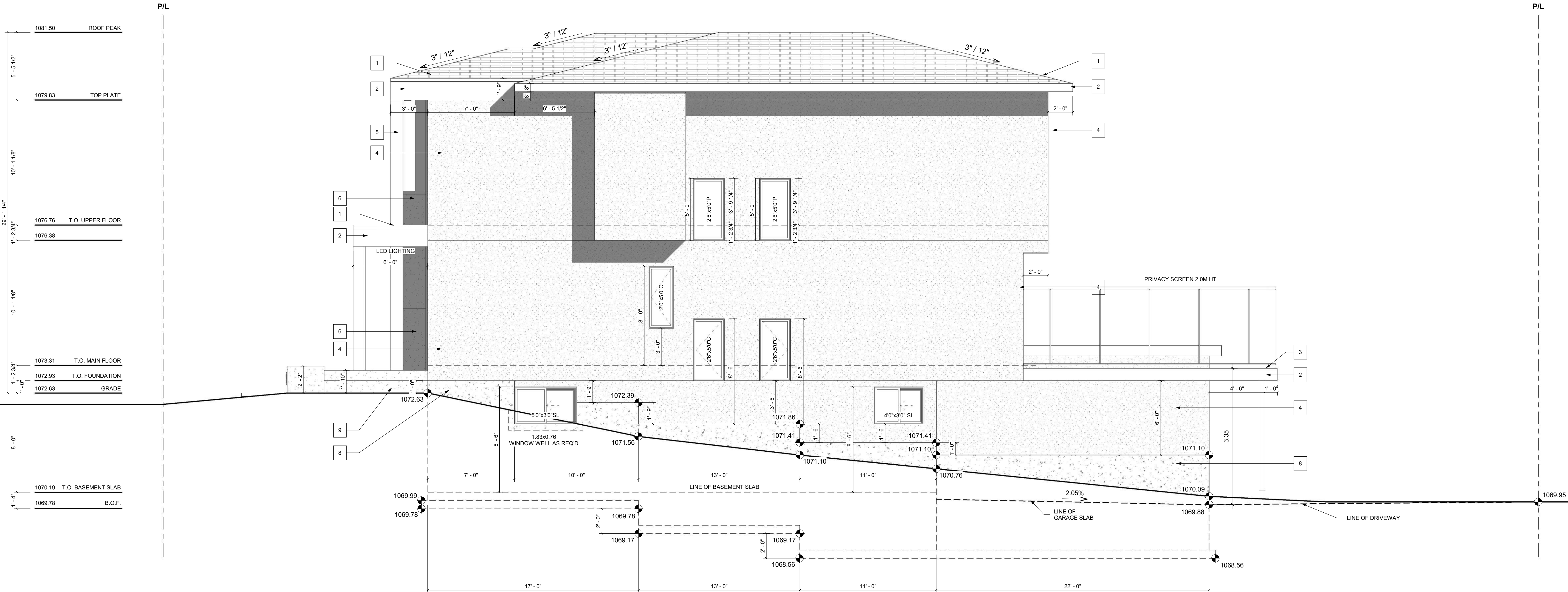
PRINTED: 2026-07-21 5:17:56 PM

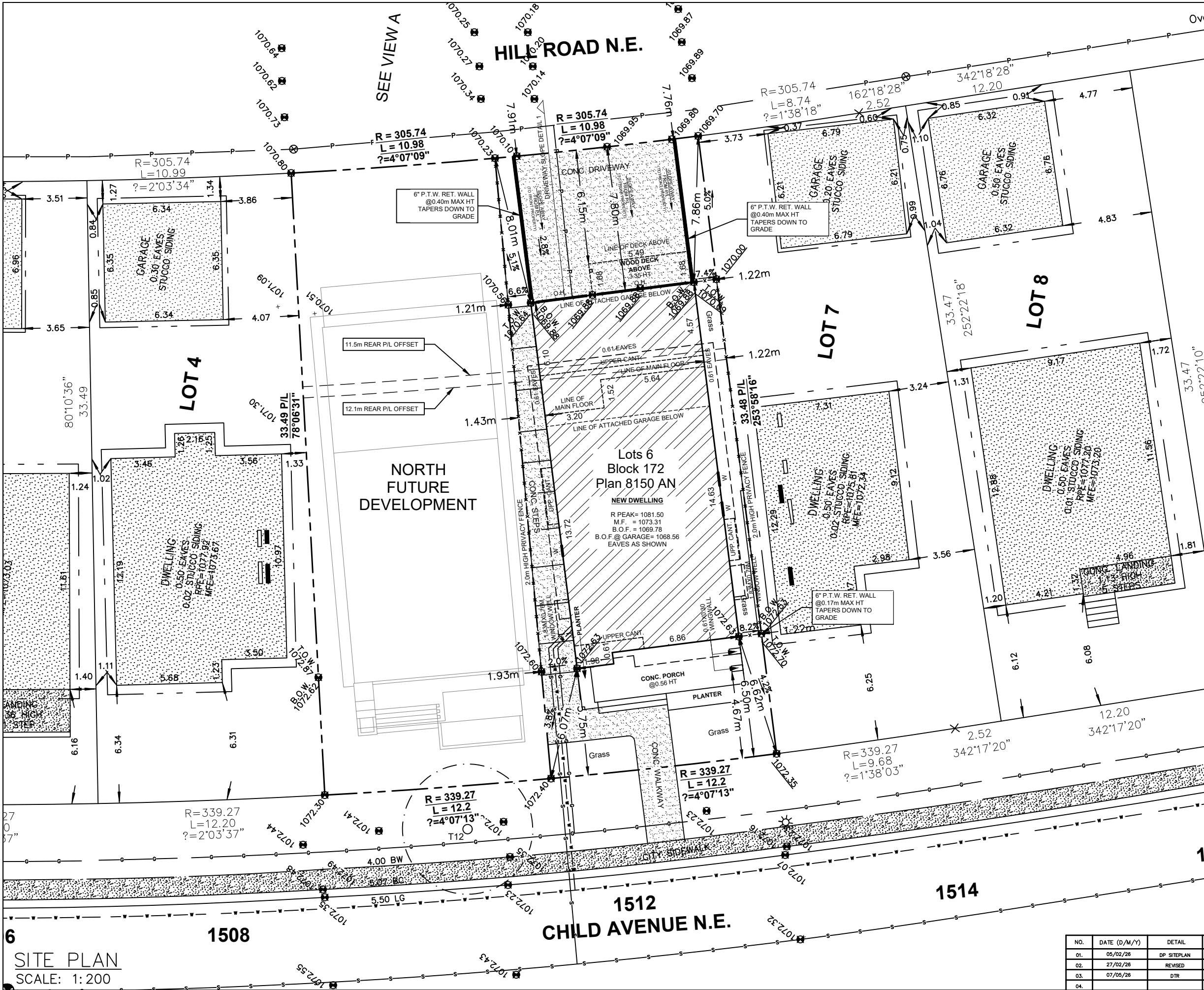
SCALE: 1/4" = 1'-0"

PAGE: A-2.2

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"





SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- X--- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- E--- denotes Electrical Line
- A.G.T--- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG RESIDENTIAL
GRADE - ORIENTED INFILL

SCALE 1:200

LEGAL DESCRIPTION:
Lots 5 & 6
Block 172
Plan 8150 AN

MUNICIPAL ADDRESS:
1512 Child Ave. N.E.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 387.985 SQ M
HOUSE SIZE: 111.669 SQ M
GARAGE: 59.272 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 0.000 SQ M
WING WALL: 0.372 SQ M
TOTAL: 171.313/387.985
= 44.15%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	05/02/26	DP SITEPLAN	K.G.	1512 Child Ave. N.E. Calgary, Alberta	NEW HOME	1: 200
02.	27/02/26	REVISED	K.C.			
03.	07/05/26	DTR	K.C.	Lots 5 & 6 Block 172 Plan 8150 AN	DATE: MAR. 07, 2026	DIVISION NUMBER: S 01
04.						

