



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Right Elevation
A-2.2	Left Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevation 1
A-4.2	Garage Elevation 2
A-4.3	Garage Section

FLOOR AREA	
BASEMENT	= 1028.00 SQ.FT.
MAIN	= 1075.05 SQ. FT.
UPPER	= 1131.69 SQ. FT.
TOTAL	= 2206.74 SQ. FT



AMENDED DRAWINGS
DP No Date Received
DP2026-00868 July 6, 2026
**THESE DRAWINGS REFER TO THE
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PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/26	CONCEPT	S.W.
02.	09/02/26	DP PLAN	S.W.
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GOVERNING AUTHORITIES.

PROJECT: **NEW HOME**

STATUS: -

SIGNATURES:

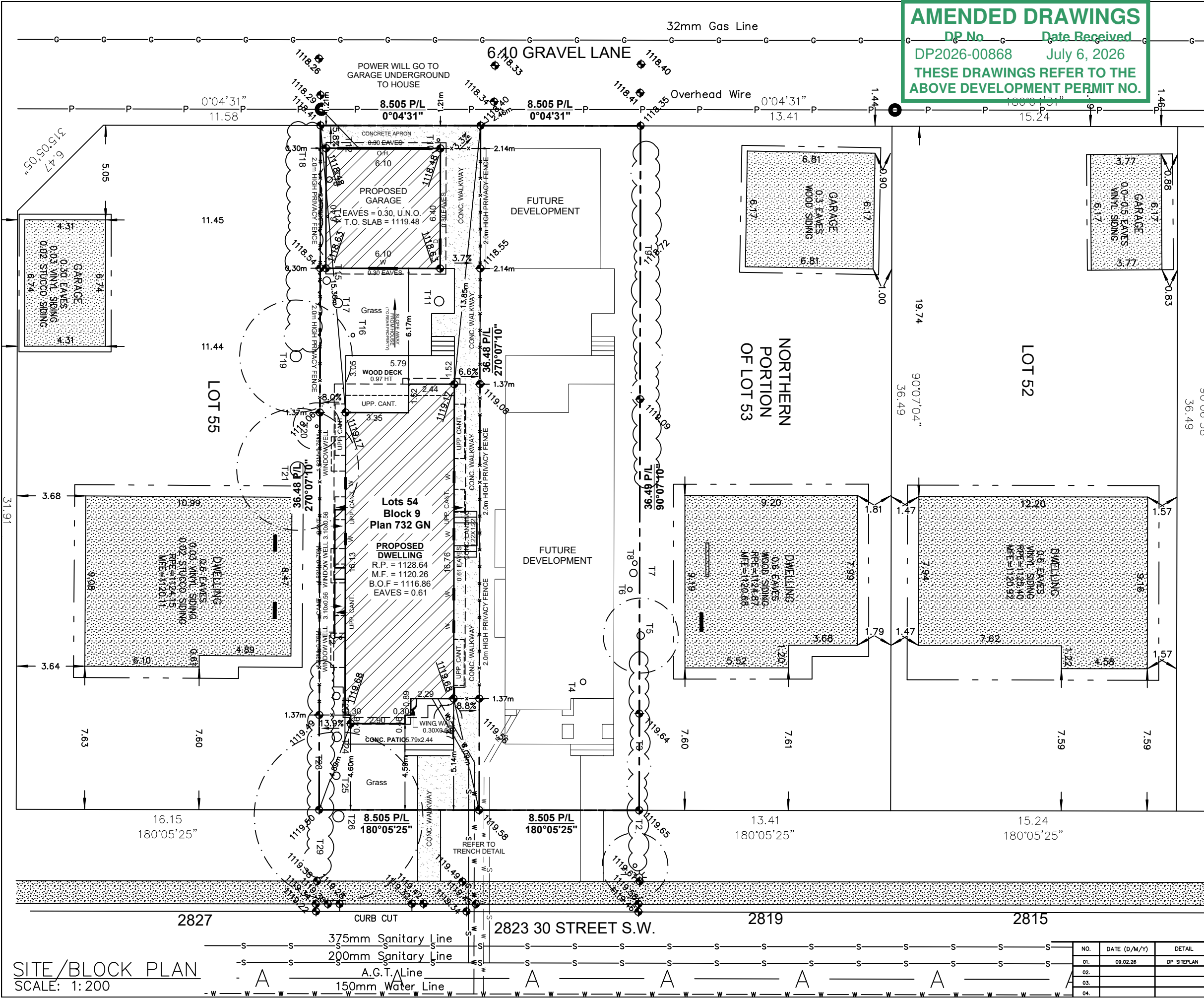
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PROJECT NAME:
**2823 30 ST SW (SOUTH)
CALGARY, ALBERTA**

DESIGNER:	JOB #:
JT	94-26

SCALE:	SHEET:
AS SHOWN	A-0.0



AMENDED DRAWINGS
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SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\blacksquare$ ----- denotes Calculation points
- $\boxtimes$ ----- denotes Water Valve
- $\blacklozenge$ ----- denotes Gas Valve
- $\bullet$ ----- denotes Manhole
- $\odot$ ----- denotes Tree
- $\bullet$ ----- denotes Power Pole
- $\triangle$ ----- denotes Sign
- $\odot$ ----- denotes Light Standard
- $-X-X-$ ----- denotes Fence
- $-S-$ ----- denotes Sanitary Line
- $-ST-$ ----- denotes Storm Line
- $-W-$ ----- denotes Water Line
- $-G-$ ----- denotes Gas Line
- $-E-$ ----- denotes Electrical Line
- $-A.G.T-$ ----- denotes A.G.T Line
- $-$ ----- denotes Utility Right of Way Line
- $-$ ----- denotes Property Line
- $\square$ ----- denotes Door
- $\square$ ----- denotes Main Floor Windows
- $\square$ ----- denotes Second Floor Windows
- $\square$ ----- denotes Basement Floor Windows
- $\square$ ----- denotes Shed Hatch
- $\square$ ----- denotes Detached Garage Hatch
- $\square$ ----- denotes Main Building Hatch
- $\square$ ----- denotes Concrete and Asphalt Hatch
- $\square$ ----- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-C2 Residential
Contextual One/Two

The rezoning file number is
LOC2026-0009

SCALE 1:200

LEGAL DESCRIPTION:

Lots 54
Block 9
Plan 732 GN
MUNICIPAL ADDRESS:
2823 30 ST S.W. (South)
Calgary, Alberta



LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 311.384 SQ M
HOUSE SIZE: 96.414 SQ M
COVERED PORCH: 0.573 SQ M
CANT: 3.463 SQ M
GARAGE: 39.019 SQ M
WING WALL: 0.166 SQ M

TOTAL: 139.635/311.384
= 44.84%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	09.02.26	DP SITEPLAN	S.W.	2823 30 ST S.W. (South) Calgary, Alberta	SINGLE FAMILY	1: 200
02.				Lots 54 Block 9 Plan 732 GN	DATE:	DIVISION NUMBER
03.						S 01
04.						

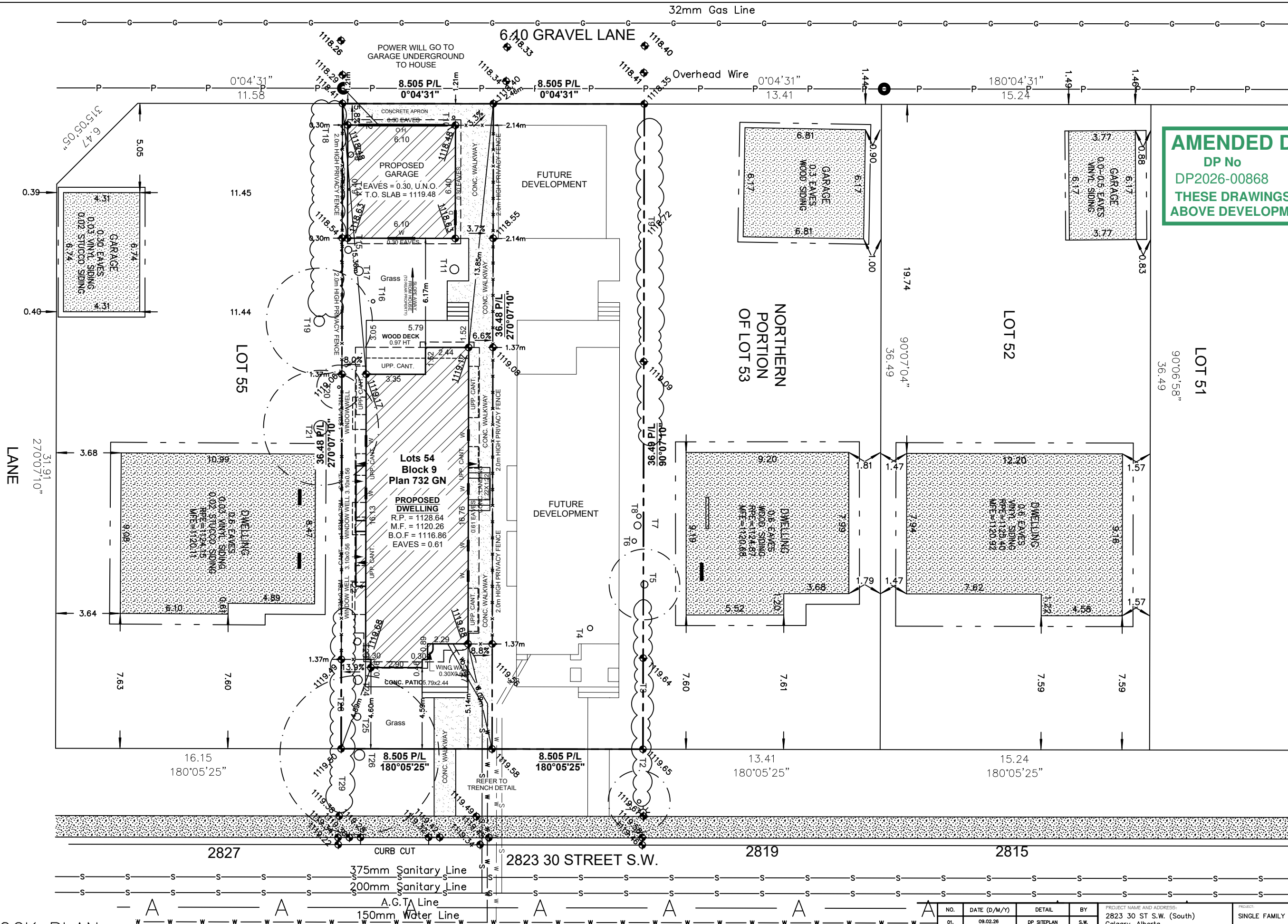
SITE/BLOCK PLAN
SCALE: 1:200

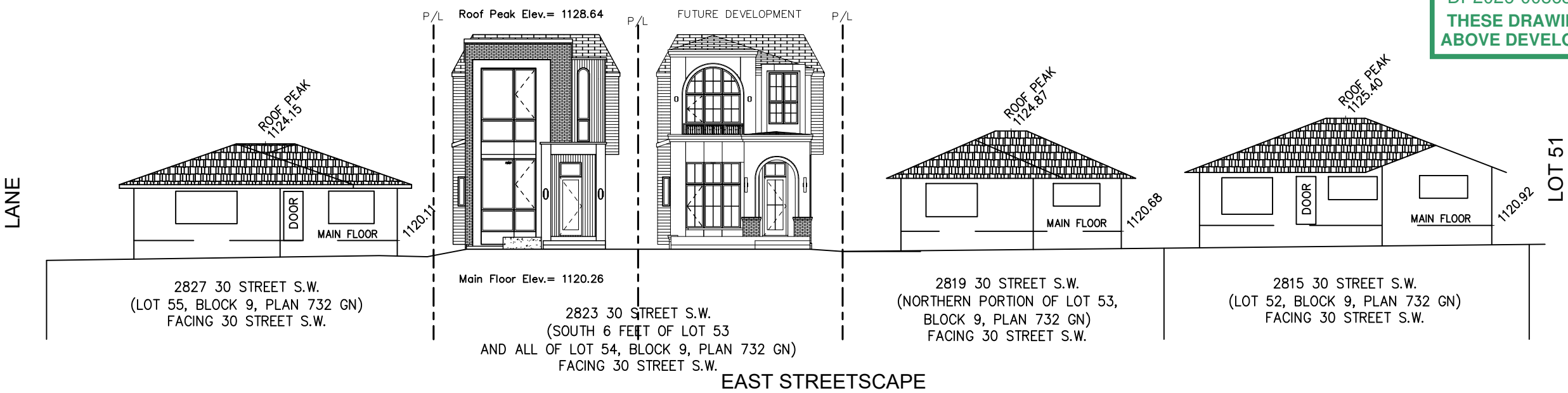
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SITE/BLOCK PLAN
SCALE: 1:200

PROJECT NAME AND ADDRESS:				PROJECT:		SCALE:	
2823 30 ST S.W. (South) Calgary, Alberta				SINGLE FAMILY		1: 200	
Lots 54 Block 9 Plan 732 GN				DATE:		DIVISION NUMBER	
						S 01	

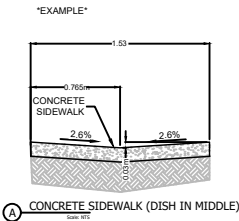
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02.			
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SINGLE FAMILY SQFT.

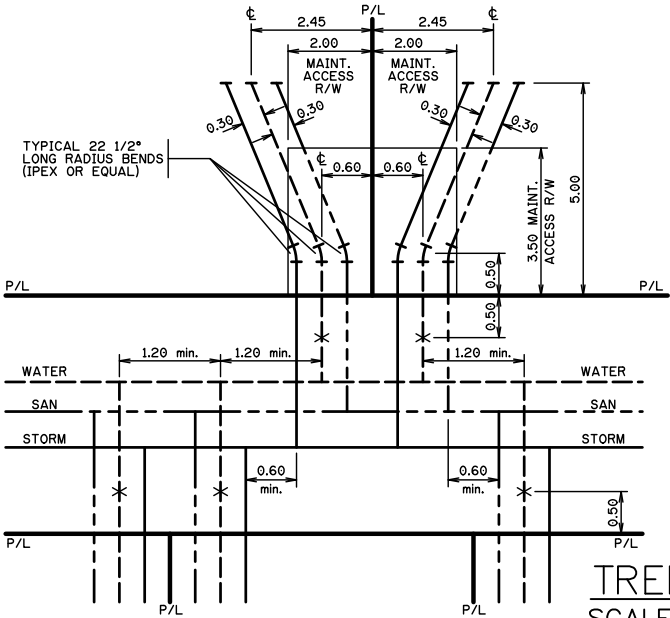
	NEW HOME
BASEMENT	1028.00 SQ FT
MAIN FLOOR	1075.05 SQ FT
UPPER FLOOR	1131.69 SQ FT
TOTAL AREA	2206.74 SQ FT



FENCE SECTION DETAIL
SCALE: NTS

NOTES:

- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
- DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
- SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
- THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
- DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
- WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.20	3.50	5.00	In City Property	To Stay
T2	Bush	—	1.00	2.00	In City Property	To Stay
T3	Bush	—	1.00	2.00	On Property Line	To be Removed
T4	Deciduous	0.30	4.00	4.50	In Subject Property	To be Removed
T5	Deciduous	0.40	4.00	7.00	On Property Line	To be Removed
T6	Deciduous	0.25	2.00	7.00	In Subject Property	To be Removed
T7	Deciduous	0.40	3.50	7.00	In Subject Property	To be Removed
T8	Deciduous	0.25	4.00	7.00	In Subject Property	To be Removed
T9	Bush	—	1.20	2.70	On Property Line	To be Removed
T10	Deciduous	0.15	2.00	7.00	In Subject Property	To be Removed
T11	Deciduous	0.50	7.50	10.00	In Subject Property	To be Removed
T12	Bush	—	1.10	3.00	In Subject Property	To be Removed
T13	Bush	—	0.30	2.00	In Subject Property	To be Removed
T14	Deciduous	0.10	4.00	5.00	In Subject Property	To be Removed
T15	Deciduous	0.40	4.00	7.00	In Subject Property	To be Removed
T16	Deciduous	0.20	3.50	2.00	In Subject Property	To be Removed
T17	Deciduous	0.50	4.50	8.00	In Subject Property	To be Removed
T18	Bush	—	2.00	3.00	In Adjacent Property	To Stay
T19	Deciduous	0.60	6.00	8.00	In Adjacent Property	To Stay
T20	Deciduous	0.15	2.50	2.50	In Adjacent Property	To Stay
T21	Coniferous	0.80	6.50	13.00	In Adjacent Property	To Stay
T22	Deciduous	0.15	4.00	5.00	In Subject Property	To be Removed
T23	Deciduous	0.40	4.50	6.00	In Subject Property	To be Removed
T24	Deciduous	0.50	7.50	8.00	In Subject Property	To be Removed
T25	Deciduous	0.40	6.00	8.00	In Subject Property	To be Removed
T26	Deciduous	0.60	9.00	9.00	In City Property	To Stay
T27	Deciduous	0.20	1.50	2.00	In Subject Property	To be Removed
T28	Bush	—	1.10	2.00	On Property Line	To be Removed
T29	Bush	—	1.10	2.00	In City Property	To Stay

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	09.02.26	DP SITEPLAN	S.W.	2823 30 ST S.W. (South) Calgary, Alberta	SINGLE FAMILY	AS SHOWN
02.				Lots 54 Block 9 Plan 732 GN	DATE:	DIVISION NUMBER
03.						S 02
04.						

1	ASPHALT SHINGLE	4	HARDIE FINISH - WHITE	7	CONCRETE PARGING
2	6" ALUMINUM FASCIA	5	SMOOTH STUCCO FINISH - BLACK	8	CAST-IN-PLACE CONCRETE
3	ALUMINUM SOFFIT	6	WOOD SLATS - BLACK	9	BRICK FINISH

DP No	Date Received
DP2026-00868	July 6, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.	

This architectural elevation drawing shows the front facade of a building. The drawing includes numerous dimensions for height and width, as well as annotations for materials and features. The facade is divided into several sections, including a large central window unit, a smaller window to the right, and a door at the bottom center. The roofline is indicated by a dashed line with a 22" / 12" pitch. The drawing also shows the relationship between the roof peak, top plate, top of upper floor, top of main floor, and top of foundation. The ground level is marked as GRADE.

Dimensions and Annotations:

- Roof:** 22" / 12" pitch.
- Height Markers (Right Side):**
 - 1128.64 ROOF PEAK
 - 1126.79 TOP PLATE
 - 1124.02 TOP OF UPPER FLOOR
 - 1123.64
 - 1120.26 TOP OF MAIN FLOOR
 - 1119.89 TOP OF FOUNDATION
 - GRADE
- Window and Door Details:**
 - RECESSED CEILING HT
 - 46"x70"P
 - 30"x70"C
 - 46"x30"P
 - 30"x30"P
 - 18"x30"P
 - CUSTOM
 - 10"
 - 10' - 7 1/2"
 - 30"x70"C
 - 30"x30"P
 - 30"x20"P
 - 30" French
 - POT
 - 6' - 2"
 - 10' - 0"
- Other Dimensions:**
 - 1' - 0"
 - 2' - 3 1/2"
 - 10' - 8"
 - 2' - 10"
 - 1' - 2"
 - 7' - 6"
 - 2' - 0"
 - 11' - 6"
 - 10' - 6"
 - 11' - 6"
 - 10' - 6"
 - 3' - 6"
 - 3' - 6"
 - 1' - 3 1/2"
 - 6' - 2"
 - 4' - 3 1/2"
 - 1' - 2 7/8"
 - 1' - 9"
 - 10' - 0"
 - 11' - 1 1/8"
 - 29' - 4 3/4"
 - 9' - 1 1/8"
 - 6' - 1"
 - 8" - 2 3/4"
 - 1119.68
 - 1119.68
 - 1119.68

This architectural elevation drawing shows the front facade of a two-story house. The roof is gabled with a 4" / 12" pitch. The upper floor features two windows, each composed of a 26" x 50" center pane and two 26" x 50" side panes. The lower floor includes a 2' 8" French door on the left and an 8'0" patio door on the right, which is flanked by two 4'0" x 1'0" planters (POT). A railing is shown in front of the patio door. The drawing includes various material callouts (1, 2, 4) and dimensions for heights and widths. On the right side, a vertical scale indicates structural levels: Roof Peak (1128.64), Top Plate (1126.79), Top of Upper Floor (1124.02), Top of Main Floor (1120.26), Top of Foundation (1119.89), and Grade (1119.17). The overall height from grade to the roof peak is 31' - 0 3/4".

Dimensions and Materials:

- Roof:** 4" / 12" pitch.
- Upper Floor:** Two windows, each 26" x 50" center pane and 26" x 50" side panes. Height: 9' - 1 1/8".
- Lower Floor:** 2' 8" French door, 8'0" patio door, two 4'0" x 1'0" planters (POT). Height: 11' - 1 1/8".
- Foundation:** 2' - 4" 1' - 2 3/4" height.
- Materials:** 1 (Siding), 2 (Trim), 4 (Foundation/Wall).

Structural Levels (Right Side):

- 1128.64 ROOF PEAK
- 1126.79 TOP PLATE
- 1124.02 TOP OF UPPER FLOOR
- 1123.64
- 1120.26 TOP OF MAIN FLOOR
- 1119.89 TOP OF FOUNDATION
- 1119.17 GRADE

Overall Dimensions:

- 6' - 1" (Roof height)
- 9' - 1 1/8" (Upper floor height)
- 11' - 1 1/8" (Lower floor height)
- 2' - 4" 1' - 2 3/4" (Foundation height)
- 31' - 0 3/4" (Total height from grade)

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02.	09/02/26	DP PLAN	S.W
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04.	--	--	--
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EXTERIOR FINISHES:

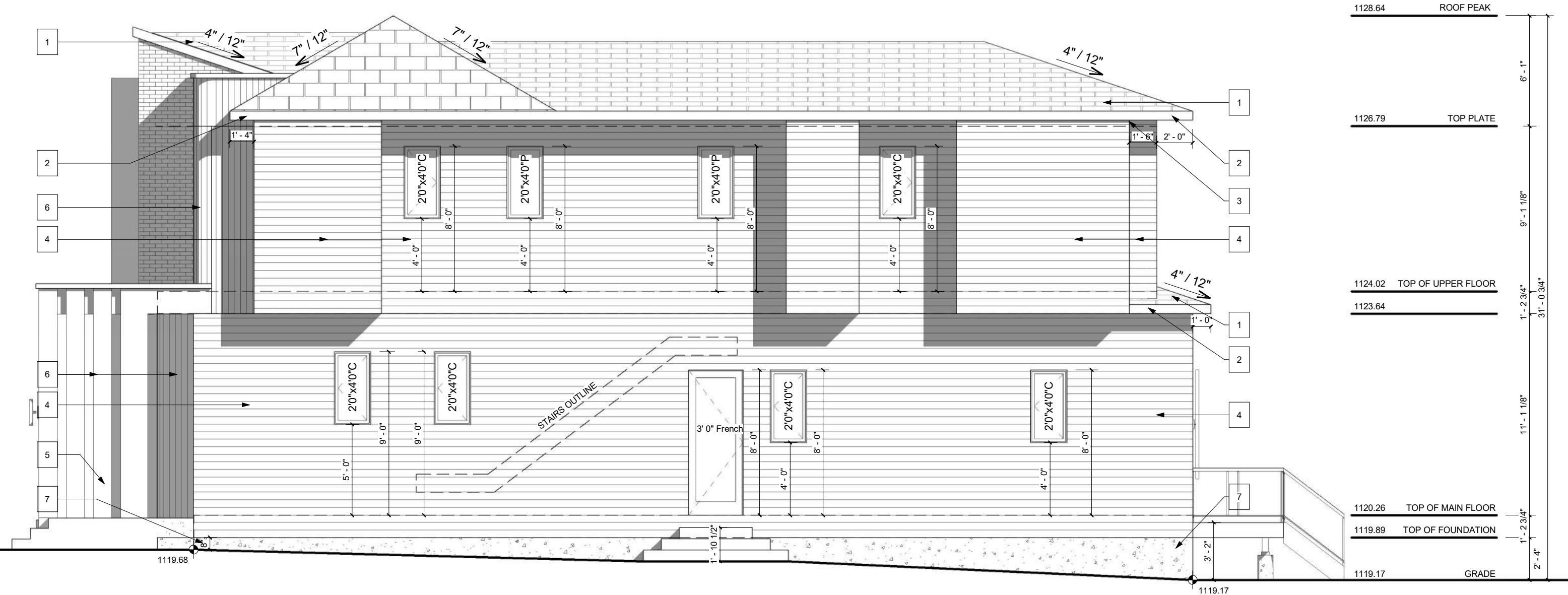
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3	ALUMINUM SOFFIT	6	WOOD SLATS - BLACK	9	BRICK FINISH

WINDOW CALCULATION
WALL AREA = 1354.80 SQ. FT.
WINDOW AREA = 82.86 SQ. FT.
TOTAL: 82.86/1354.80 = 6.12%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

AMENDED DRAWINGS

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RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

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1104.96

PROJECT NAME:

2823 30 ST SW (SOUTH)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

94-26

SCALE:

AS SHOWN

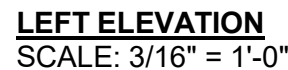
SHEET:

A-2.1

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VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

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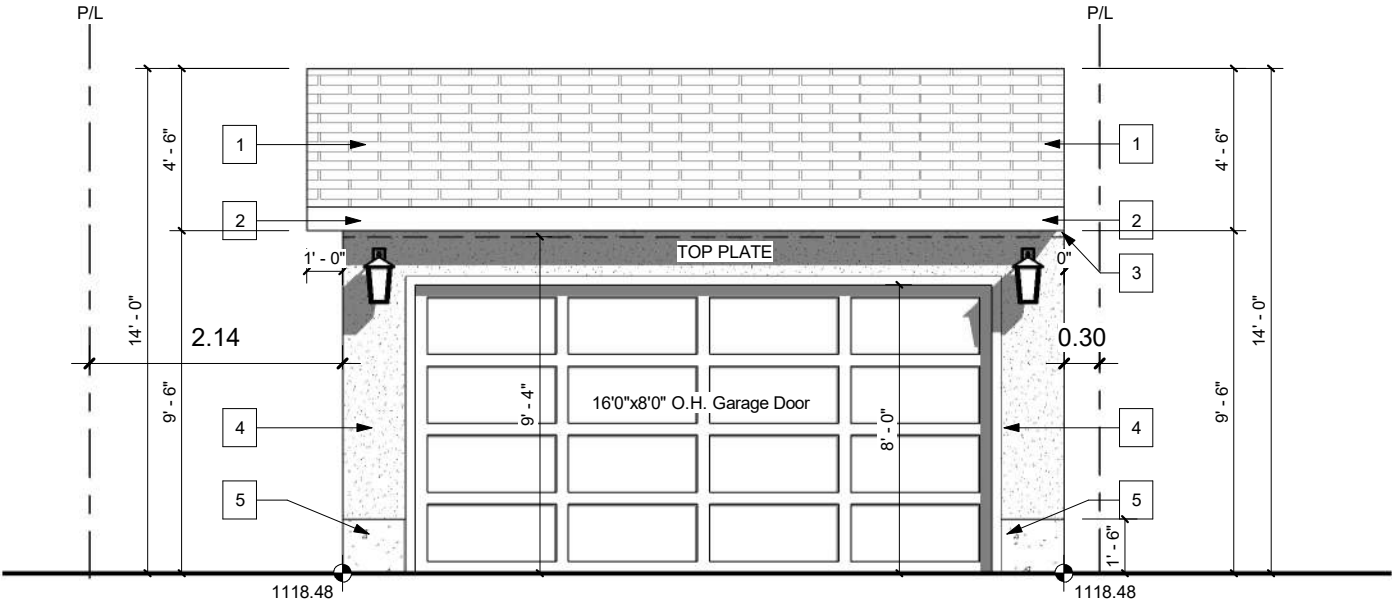


SHEET: A-2.2

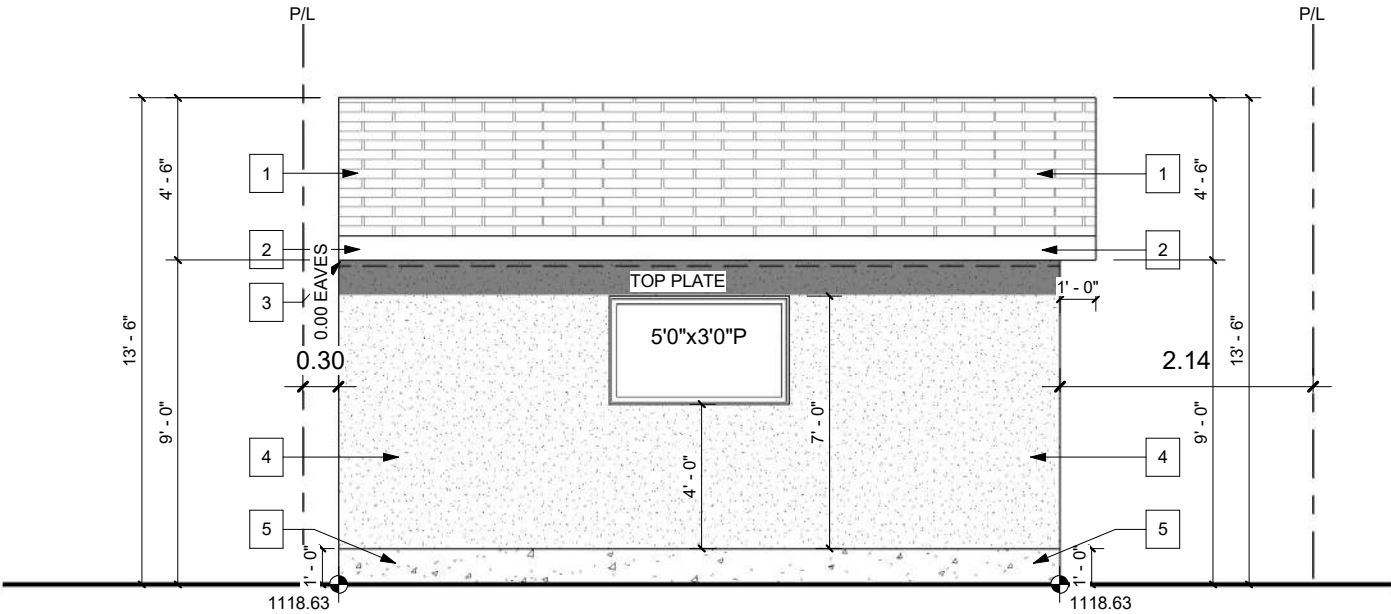
EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 ALUMINUM SOFFIT
- 4 STUCCO FINISH
- 5 CONC. PARGING

AMENDED DRAWINGS
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GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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PROJECT: NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-05-06 3:29:55 PM

PROJECT NAME:
2823 30 ST SW (SOUTH)
CALGARY, ALBERTA

DESIGNER: JT JOB #: 94-26

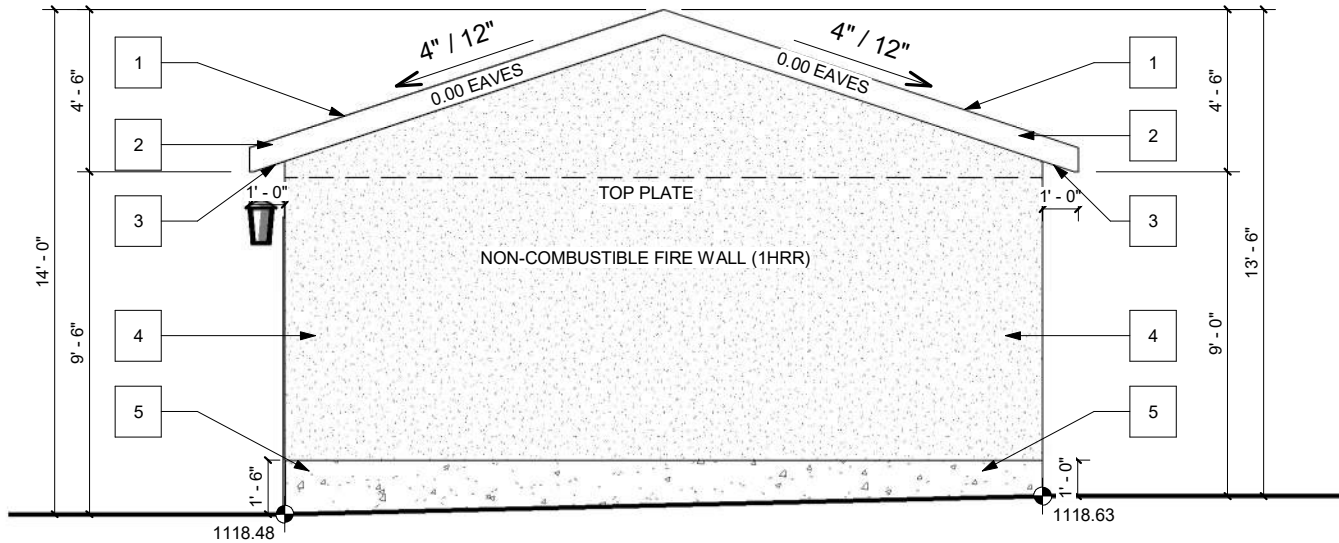
SCALE: AS SHOWN SHEET: A-4.1

EXTERIOR FINISHES:

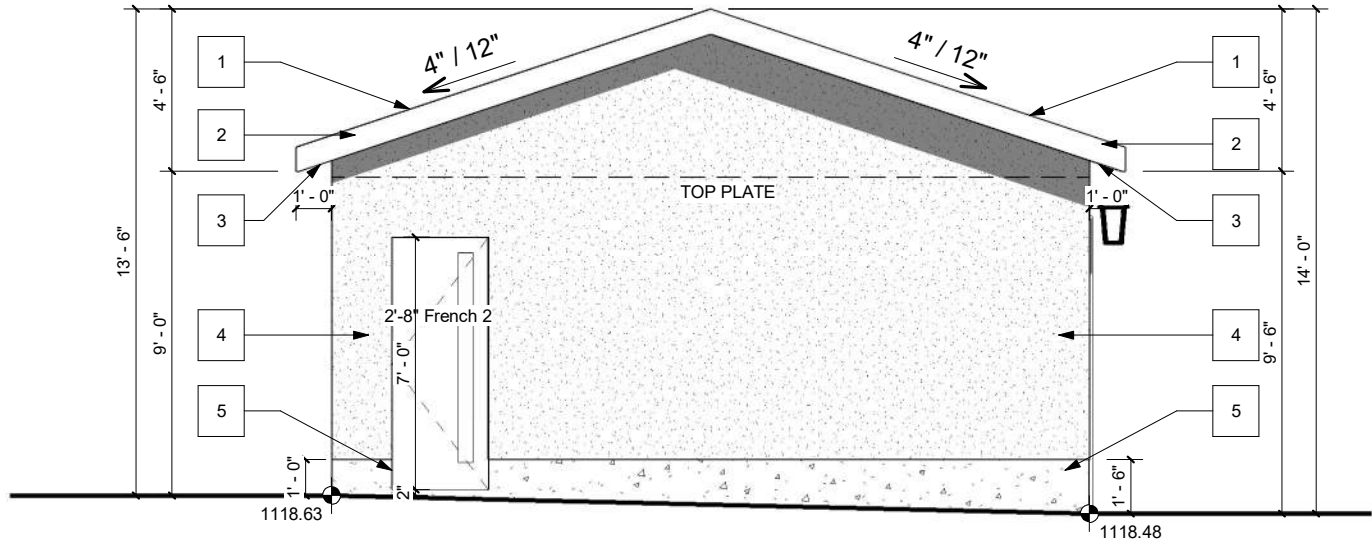
- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
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ABOVE DEVELOPMENT PERMIT NO.

GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"



PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN
AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/26	CONCEPT	S.W.
02.	09/02/26	DP PLAN	S.W.
03.	--	--	--
04.	--	--	--
05.	--	--	--



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USED BY, OR DISCLOSED TO, ANY OTHER
PERSON OR ORGANIZATION FOR ANY
PURPOSE WITHOUT THE WRITTEN
PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-05-06 3:29:55 PM

PROJECT NAME:

2823 30 ST SW (SOUTH)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

94-26

SCALE:

AS SHOWN

SHEET:

A-4.2