

2026/05/15

25.038

FAAS

601 - 1812 4 ST SW, CALGARY, AB T2S 1W	
DP 000	TITLE SHEET
DP 001	BLOCK PLAN
DP 002	SITE DETAILS
DP 100	SITE PLAN
L 100	LANDSCAPE PLAN
DP 200	BUILDING A AND B : LOWER FLOOR AND GARAGE PLAN
DP 201	BUILDING A AND B : MAIN FLOOR PLAN
DP 202	BUILDING A AND B : SECOND FLOOR PLAN
DP 203	BUILDING A AND B : ROOF PLAN
DP 300	BUILDING A AND B : SECTION
DP 301	BUILDING A AND B : SECTION
DP 302	BOULEVARD SECTION
DP 400	BUILDING A ELEVATION
DP 401	BUILDING A AND B ELEVATION
DP 402	BUILDING B ELEVATIONS
DP 403	BUILDING A AND B ELEVATION
DP 500	RENDERING
S 100	SURVEY

PARCEL ADDRESS:

LEGAL: L: 3+4, B: 4, P: 5150
MUNICIPAL: 1906 WESTMOUNT RD N.W.,
CALGARY, AB
COMMUNITY: WEST HILLHURST

<u>PROPOSED GROSS BUILDING A AREA:</u>	
FLOOR	AREA
LOWER (GARAGE)	149.00 SQ.M. / 1603.90 SQ.FT.
MAIN	77.66 SQ.M. / 835.96 SQ.FT.
SECOND	136.72 SQ.M. / 1471.66 SQ.FT.
SUBTOTAL:	128.57 SQ.M. / 1383.93 SQ.FT.
	414.29 SQ.M. / 4459.49 SQ.FT.

FLOOR	AREA
MAIN	38.14 SQ.M. / 410.52 SQ.FT.
SECOND	39.11 SQ.M. / 421.03 SQ.FT.
SUBTOTAL:	77.25 SQ.M. / 831.55 SQ.FT.

BUILDING SETBACKS:

FRONT (SOUTH, WESTMOUNT RD NW)	3.0m
SIDE (WEST, R-CG)	1.2m
REAR (NORTH, KENSINGTON RD NW)	3.0m
SIDE (EAST, R-CG)	1.2m

	PERMITTED
FRONT (EAST)	1.2m
SIDE (SOUTH)	0.0m
REAR (WEST)	1.2m
SIDE (NORTH)	0.0m

PARCEL AREA:	372.50 SQ.M. / 4007.50 SQ.FT.
PARCEL COVERAGE ALLOWED:	60%
BUILDING FOOT PRINT A+B:	187.14 SQ.M. / 2014.42 SQ.FT.
TOTAL PROPOSED:	50.27%

ALLOWED UPH:	7.5
ALLOWED # UNITS:	2.79 UNITS
PROPOSED:	5 DWELLINGS (2 PRIMARY UNITS + 2 SECONDARY SUITES + 1 BACKYARD SUITE)

REQUIRED RESIDENTIAL STALLS	
0.5 STALLS / UNIT AND SUITE	2.5 STALLS REQUIRED
TOTAL PARKING STALLS PROPOSED:	3 STALLS

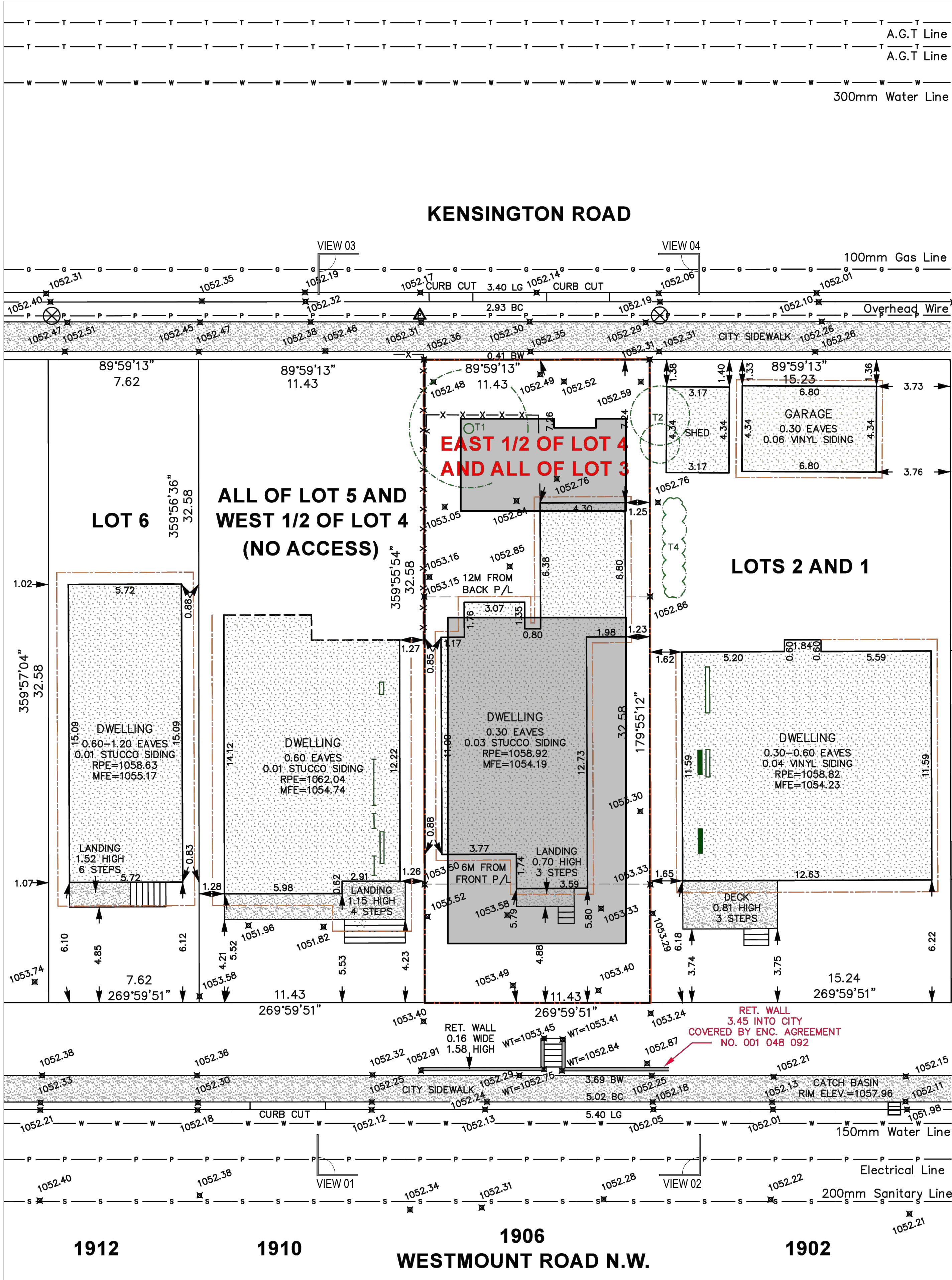
MINIMUM REQUIRED CLASS 1 BICYCLE PER DWELLING WITHOUT VEHICULAR PARKING STALL:	2 UNIT/SUITES x 1.0 = 2 STALLS REQUIRED 2 STALLS PROVIDED
--	--

MINIMUM REQUIRED:	0.24 m³ PER UNIT/ WEEK (5 UNITS AND SUITES x 0.24 m³ = 1.20 m³ /WEEK)
PROVIDED:	1.44 m³
WASTE:	$2 \times 0.24 \text{ m}^3 = 0.48 \text{ m}^3$
RECYCLING:	$2 \times 0.24 \text{ m}^3 = 0.48 \text{ m}^3$
ORGANICS:	$2 \times 0.24 \text{ m}^3 = 0.48 \text{ m}^3$



AMENDED DRAWINGS
 DP No Date Received
 DP2026-00825 May 19, 2026
**THESE DRAWINGS REFER TO THE
 ABOVE DEVELOPMENT PERMIT NO.**





1 BLOCK PLAN
DP.001 SCALE: 3/32" = 1'-0"



VIEW 01 : SOUTH WEST



VIEW 02 : SOUTH EAST

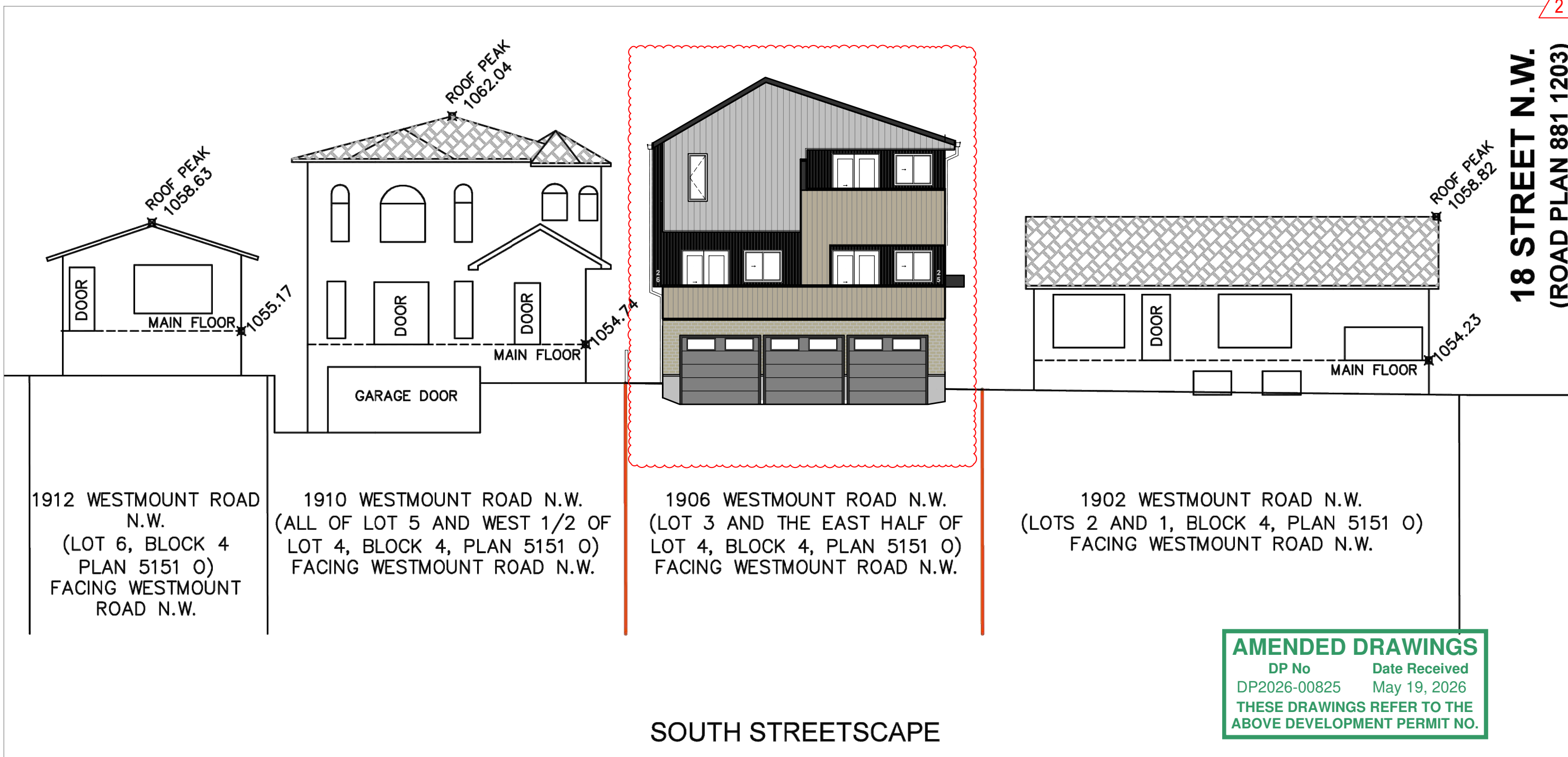


VIEW 03 : NORTH WEST



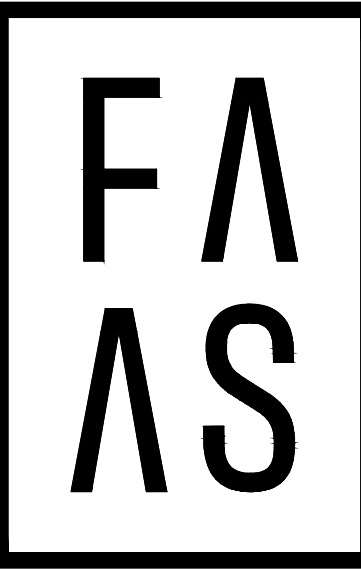
VIEW 04 : NORTH EAST

2 SITE EXISTING VIEW
DP.001 NTS



SOUTH STREETSCAPE

3 STREETVIEW
DP.001 SCALE: 3/32" = 1'-0"



FORMED ALLIANCE ARCHITECTURE STUDIO

SEAL

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION

YYYY.MM.DD



NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	2026.02.09
02	ISSUED FOR DR1	2026.05.15

☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT
PROJECT NAME

NB 1906

MUNICIPAL ADDRESS
1906 WESTMOUNT ROAD NW
LEGAL ADDRESS
L: 344 B: 4 P: 515 O

PROJECT NO.
25.038

DRAWN
NP

CHECKED
LKOR

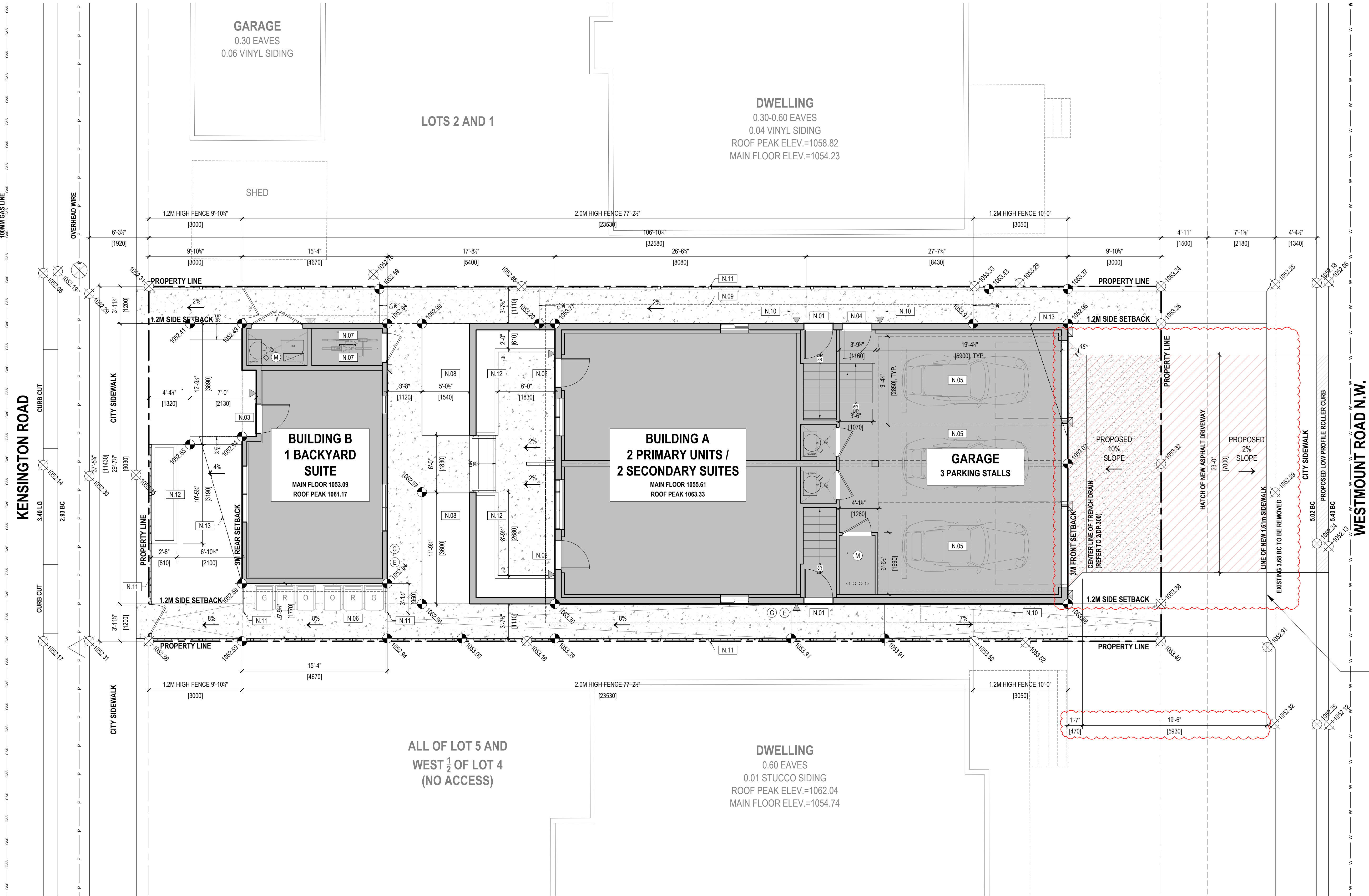
DATE
2026-02-09

SCALE
AS NOTED

DRAWING TITLE
BLOCK PLAN

DRAWING NUMBER

DP.001



1 SITE PLAN
DP.100 SCALE: 3/16" = 1'-0"

- GENERAL NOTES
- ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
 - REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
 - REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
 - ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
 - PROVIDE EXTERIOR LIGHTING AT ALL FRONT ENTRY AREAS. WALL MOUNTED.
 - HOUSING NUMBER MOUNTED ON EXTERIOR WALL. SITE CONFIRM HEIGHT W/ ARCHITECT PRIOR TO ROUGH-IN & INSTALL.

- SHEET NOTES
- N.01 ENTRY TO PRIMARY UNIT ABOVE
 - N.02 ENTRY TO SECONDARY SUITE
 - N.03 ENTRY TO BACKYARD SUITE
 - N.04 ENTRY TO GARAGE
 - N.05 PROPOSED ENCLOSED PARKING STALL
 - N.06 PROPOSED WASTE AND RECYCLING LOCATION
 - N.07 PROPOSED CLASS-1 BICYCLE STALL
 - N.08 PROPOSED COMMON SPACE
 - N.09 LINE OF ROOF ABOVE
 - N.10 LINE OF CANOPY ABOVE
 - N.11 PROPOSED LANDSCAPE FENCE
 - N.12 PROPOSED PLANTER WALL
 - N.13 LINE OF BALCONY ABOVE
 - PROPOSED ENTRYWAY LIGHTING
 - PROPOSED SECURITY LIGHTING
 - PROPOSED SOFFIT MOUNT ENTRY LIGHTING
 - EXISTING GEODETIC ELEVATION
 - PROPOSED GEODETIC ELEVATION
 - E ELECTRICAL METER LOCATION
 - G GAS METER LOCATION
 - M WATER METER LOCATION
 - PROPOSED WOOD FENCE

LINE OF NEW 1.61m SIDEWALK TO BE REMOVED THE EXISTING SIDE WALK AND REPLACE WITH.

AMENDED DRAWINGS
DP No Date Received
DP2026-00825 May 19, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION

YYYY.MM.DD



NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	2026.02.09
02	ISSUED FOR DR1	2026.05.15

CONSTRUCTION
TENDER
BUILDING PERMIT
PROJECT NAME

NB 1906

MUNICIPAL ADDRESS
1906 WESTMOUNT ROAD NW
LEGAL ADDRESS
L: 344 B: 4 P: 515 O

PROJECT NO.
25.038

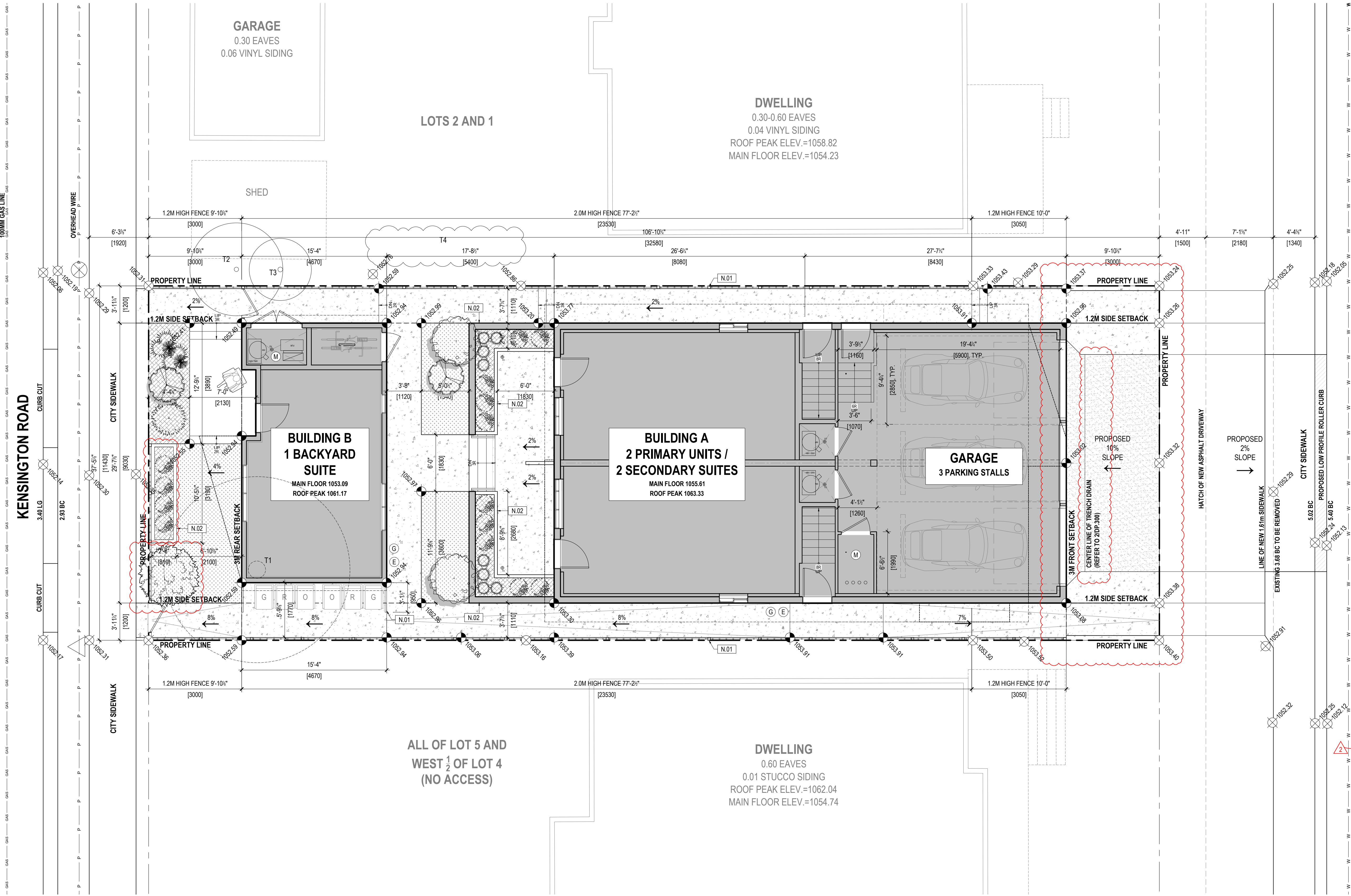
DRAWN CHECKED
NP LKOR

DATE SCALE
2026-02-09 AS NOTED

DRAWING TITLE
SITE PLAN

DRAWING NUMBER

DP.100



1 LANDSCAPE PLAN
L.100 SCALE: 3/16" = 1'-0"

AMENDED DRAWINGS
DP No DP2026-00825 Date Received May 19, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

GENERAL NOTES

- LANDSCAPED AREA = 109.71 SQ.M / 1180.89 SQ.FT PROVIDED
- BYLAW 542 (7) MINIMUM 30% OF LANDSCAPED AREA MUST ME SOFT SURFACED LANDSCAPING
= 43.39 SQ.M / 467.04 SQ.FT = 39.55% PROVIDED
- BYLAW 542.2 (2) 1 TREE AND 3 SHRUBS REQUIRED PER 110 sq.m OF PARCEL AREA = 4 TREES & 11 SHRUBS.
PROVIDED 6 TREES & 26 SHRUBS
- LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT.
- ALL SOFT SURFACE LANDSCAPED AREA WILL HAVE AN UNDERGROUND IRRIGATION SYSTEM.
- ALL SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- MINIMUM SOIL DEPTH OF 1200mm FOR TREES, 600mm FOR PLANTING BEDS WITH SHRUBS & 300mm IN ALL OTHER AREAS.

SHEET NOTES

- N.01 PROPOSED LANDSCAPE FENCE
N.02 PROPOSED PLANTER

- EXISTING GEODETIC ELEVATION
PROPOSED GEODETIC ELEVATION

LANDSCAPING LEGEND

CODE	ITEM
[Symbol]	MULCH GROUND COVER
[Symbol]	LAWN (GRASS)
[Symbol]	CONCRETE (APRON)
[Symbol]	BROOM FINISHED CONCRETE (WALKWAY)

EXISTING TREES

	TO REMAIN
	TO BE REMOVED

EXISTING TREE SCHEDULE

TREE NO.	VARIETY	TRUNK (±)	CANOPY (±)	HEIGHT (±)	LOCATION
T1	DECIDUOUS	0.50	6.00	7.00	IN SUBJECT PROPERTY
T2	BUSH	-	3.00	5.50	IN ADJACENT PROPERTY
T3	BUSH	-	2.00	6.00	IN ADJACENT PROPERTY
T4	BUSH	-	1.00	1.60	IN ADJACENT PROPERTY

PLANTING LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @ PLANTING	TYP. SPREAD	TYP. HEIGHT	REQ.	QTY.
CONIFEROUS TREES							
[Symbol]	DWARF SPRUCE	PICEA GLAUCA	2 m HIGH	7'-10'	2.0m	LOW WATER	1
DECIDUOUS TREES							
[Symbol]	TOBA HAWTHORN	CRATAEGUS MODERNENSIS	50mm CALIPER (B&B)	min 800mm WIDE	MIN 550mm DEEP ROOT BALL		1
[Symbol]	AMUR MAPLE	ACER GINNALA	60 mm CALLIPER			LOW WATER	2
[Symbol]	USSURIAN PEAR	PYRUS USSURIENSIS	60 mm CALLIPER			LOW WATER	2
DECIDUOUS SHRUBS							
[Symbol]	BOOMERANG LILAC	SYRINGA SPP.	0.60m SPREAD			LOW WATER	14
[Symbol]	EMERALD CAIETY WINTERCREEPER	EUONYMUS FORTUNEI	300mm ROOT SPREAD		600mm		12
ORNAMENTAL GRASSES							
[Symbol]	KARL FORESTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA	0.60m SPREAD		200mm		2

SEAL

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

YYYY.MM.DD



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	2026.02.09
02	ISSUED FOR DR1	2026.05.15

- ☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

PROJECT NAME

NB 1906

MUNICIPAL ADDRESS

1906 WESTMOUNT ROAD NW

LEGAL ADDRESS

L: 344 B: 4 P: 515 O

PROJECT NO.

25.038

DRAWN

NP

CHECKED

NP

DATE

2026-02-09

SCALE

AS NOTED

DRAWING TITLE

LANDSCAPE PLAN

DRAWING NUMBER

L.100

GENERAL NOTES

- REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

SHEET NOTES

- N.01

EXISTING GRADING AT PROPERTY LINE
- N.02

PROPOSED GRADING AT BUILDING EDGE
- N.03

CONCRETE SIDEWALK
- N.04

CONCRETE APRON
- N.05

LAWN (GRASS)
- N.06

2m HIGH BLACK HARDIE PANEL WALL W/ 2" BLACK METAL CAP

EXTERIOR FINISH LEGEND

A - FIBER CEMENT

- A1.1

VERTICAL SIDING PANEL / SIERRA / COLOUR = ARCTIC WHITE
- A2.1

VERTICAL SIDING PANEL / SIERRA / COLOUR = MONTEREY TAUPE

B - MASONRY

- B1.1

BRICK / COLOUR = ADELAIDE

C - METAL

- C1.1

METAL PANEL / COLOUR = BLACK
- C2.1

CORRUGATED PANEL / FINISH = GALVANIZED / COLOUR = BLACK
- C3.1

ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK
- C4.1

METAL FLASHING / COLOUR = BLACK

D - TRIM

- D1.1

ENGINEERED WOOD TRIM / COLOUR = BLACK
- D2.1

ENGINEERED WOOD TRIM / COLOUR = WHITE

E - PARGING

- E1.1

PARGING / COLOUR = NATURAL GRAY

F - ROOFING

- F1.1

ASPHALT ROOF SHINGLES / COLOUR = BLACK

G - WINDOWS

- G1.1

WINDOW / COLOUR = BLACK

H - DOORS

- H1.1

METAL DOOR / COLOUR = BLACK
- H2.1

METAL GARAGE DOOR / COLOUR = BLACK

J - GUARDS & RAILINGS

- J1.1

ALUMINUM GUARDRAIL W/ PICKETS / COLOUR = BLACK

K - SIGNAGE

- K1.1

ADDRESS NUMBER / COLOUR = BLACK

L - LIGHTS

- L1.1

WALL MOUNTED / COLOUR = BLACK

M - METER SERVICE

- M1.1

SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND
COLOUR = TO MATCH ADJACENT FINISH

- ⊗

EXISTING GEODETIC ELEVATION
- ⊙

PROPOSED GEODETIC ELEVATION

AMENDED DRAWINGS

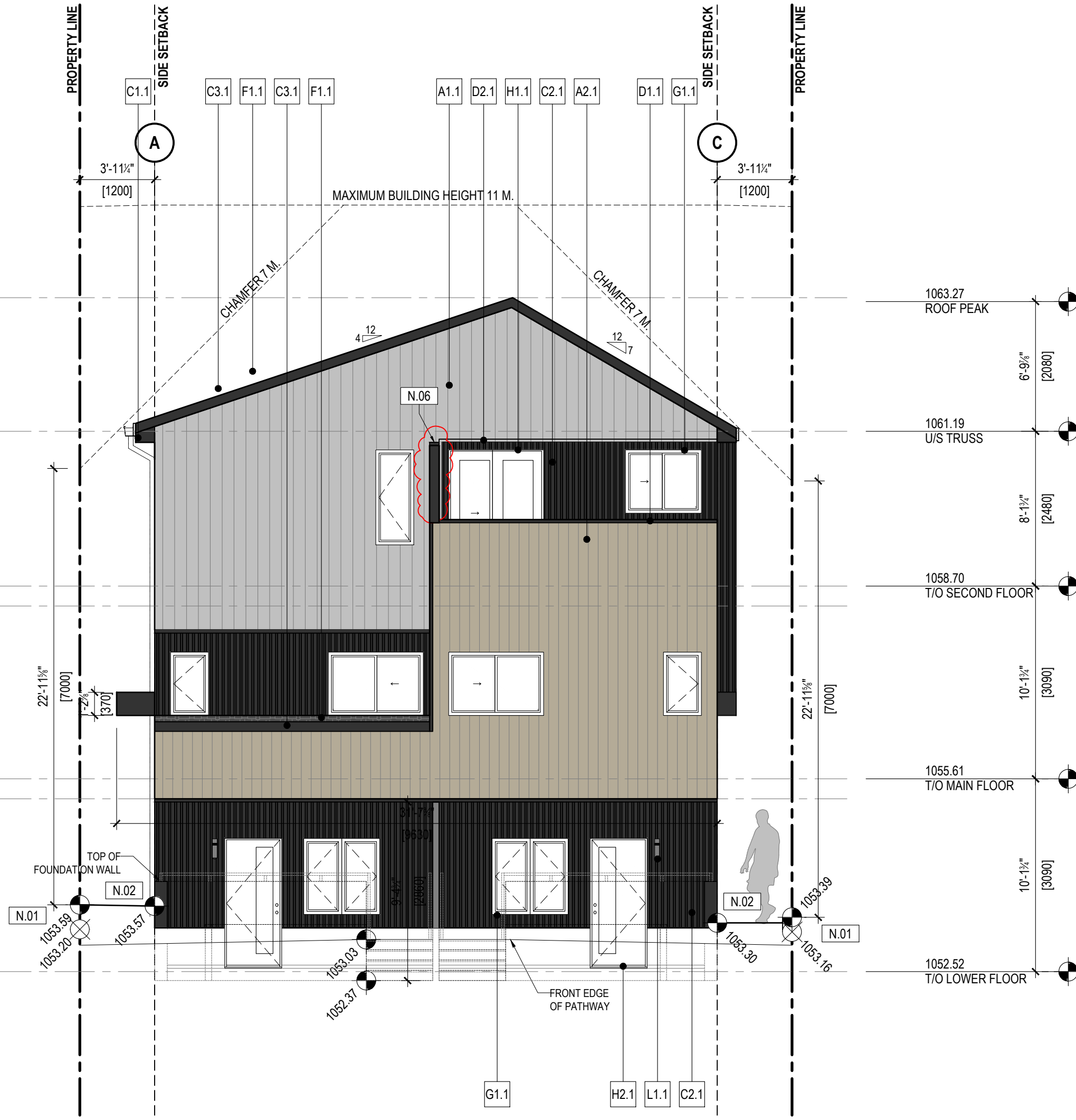
DP No

Date Received

DP2026-00825

May 19, 2026

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

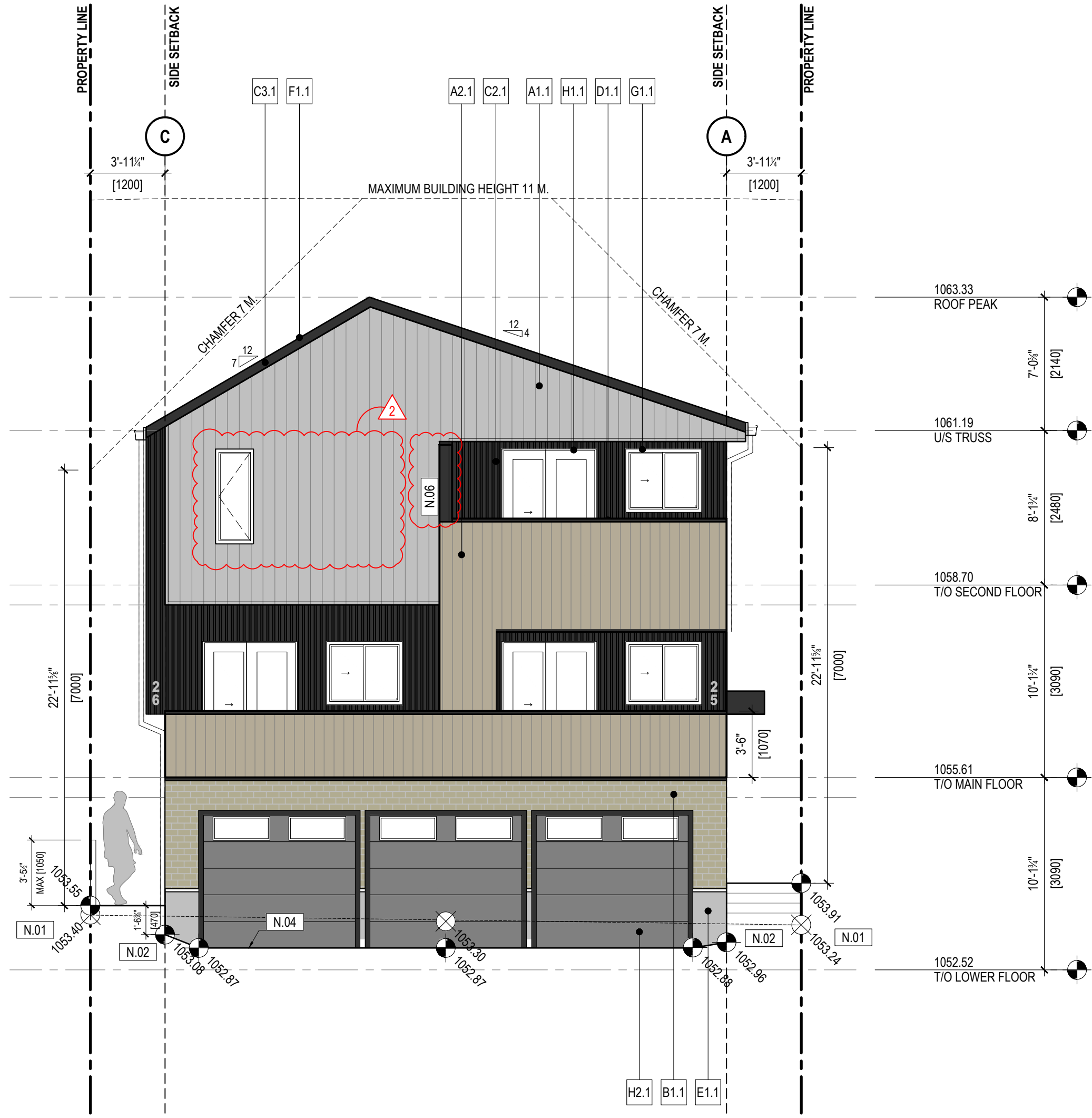


1

BUILDING A - NORTH ELEVATION

DP.400

SCALE: 3/16" = 1'-0"



2

BUILDING A - SOUTH ELEVATION

DP.400

SCALE: 3/16" = 1'-0"

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION

YYY.MM.DD

GENERAL NOTES

1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

SHEET NOTES

- | | |
|------|---|
| N.01 | EXISTING GRADING AT PROPERTY LINE |
| N.02 | PROPOSED GRADING AT BUILDING EDGE |
| N.03 | CONCRETE SIDEWALK |
| N.04 | CONCRETE APRON |
| N.05 | LAWN (GRASS) |
| N.06 | 2m HIGH BLACK HARDIE PANEL WALL W/ 2" BLACK METAL CAP |

EXTERIOR FINISH LEGEND

A - FIBER CEMENT

- | | |
|------|---|
| A1.1 | VERTICAL SIDING PANEL / SIERRA / COLOUR = ARCTIC WHITE |
| A2.1 | VERTICAL SIDING PANEL / SIERRA / COLOUR = MONTEREY TAUP |

B - MASONRY

- B1.1 BRICK / COLOUR = ADELAIDE

C - METAL

- | | |
|------|---|
| C1.1 | METAL PANEL / COLOUR = BLACK |
| C2.1 | CORRUGATED PANEL / FINISH = GALVANIZED / COLOUR = BLACK |
| C3.1 | ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK |
| C4.1 | METAL FLASHING / COLOUR = BLACK |

D - TRIM

- | | |
|------|---------------------------------------|
| D1.1 | ENGINEERED WOOD TRIM / COLOUR = BLACK |
| D2.1 | ENGINEERED WOOD TRIM / COLOUR = WHITE |

E - PARGING

- E1.1 PARGING / COLOUR = NATURAL GRAY

F - ROOFING

- F1.1** ASPHALT ROOF SHINGLES / COLOUR = BLACK

G - WINDOWS

- G1.1** WINDOW / COLOUR = BLACK

H - DOORS

- | | |
|------|------------------------------------|
| H1.1 | METAL DOOR / COLOUR = BLACK |
| H2.1 | METAL GARAGE DOOR / COLOUR = BLACK |

J - GUARDS & RAILINGS

- J1.1 ALUMINUM GUARDRAIL W/ PICKETS / COLOUR = BLACK

K - SIGNAGE

- K1.1** ADDRESS NUMBER / COLOUR = BLACK

L - LIGHTS

- L1.1** WALL MOUNTED / COLOUR = BLACK

M - METER SERVICE

- M1.1** SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND
COLOUR = TO MATCH ADJACENT FINISH

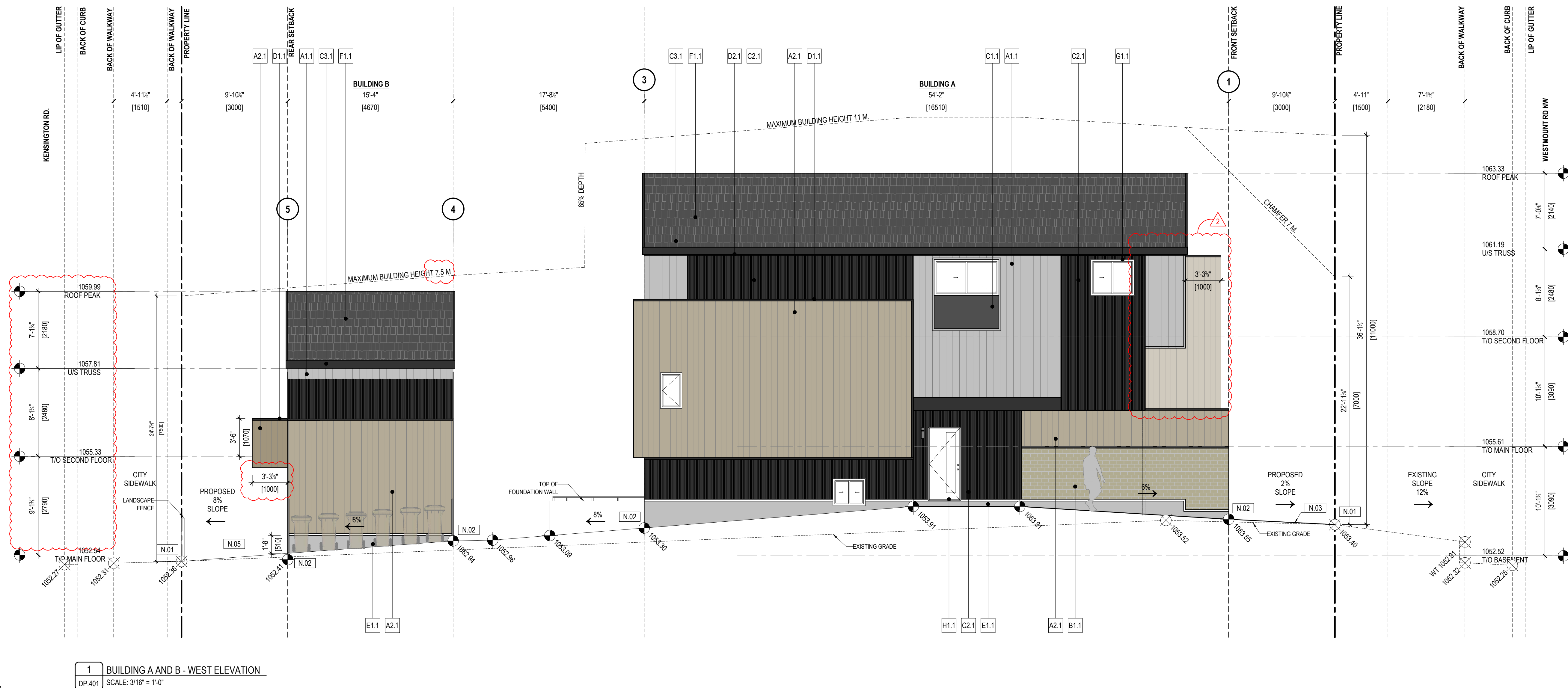
-  EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

AMENDED DRAWINGS

DP No **Date Received**
DP2026-00825 May 19, 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DP.401

Copyright reserved. This drawing and all copyright therein are sole and exclusive property of the consultant. Reproduction of this drawing in whole or in part is prohibited and may be used without the written consent of FAAS Architecture.



GENERAL NOTES

- REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

SHEET NOTES

- N.01** EXISTING GRADING AT PROPERTY LINE
N.02 PROPOSED GRADING AT BUILDING EDGE
N.03 CONCRETE SIDEWALK
N.04 CONCRETE APRON
N.05 LAWN (GRASS)
N.06 2m HIGH BLACK HARDIE PANEL WALL W/ 2" BLACK METAL CAP

EXTERIOR FINISH LEGEND

A - FIBER CEMENT

- A1.1** VERTICAL SIDING PANEL / SIERRA / COLOUR = ARCTIC WHITE
A2.1 VERTICAL SIDING PANEL / SIERRA / COLOUR = MONTEREY TAUPE

B - MASONRY

- B1.1** BRICK / COLOUR = ADELAIDE

C - METAL

- C1.1** METAL PANEL / COLOUR = BLACK
C2.1 CORRUGATED PANEL / FINISH = GALVANIZED / COLOUR = BLACK
C3.1 ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK
C4.1 METAL FLASHING / COLOUR = BLACK

D - TRIM

- D1.1** ENGINEERED WOOD TRIM / COLOUR = BLACK
D2.1 ENGINEERED WOOD TRIM / COLOUR = WHITE

E - PARGING

- E1.1** PARGING / COLOUR = NATURAL GRAY

F - ROOFING

- F1.1** ASPHALT ROOF SHINGLES / COLOUR = BLACK

G - WINDOWS

- G1.1** WINDOW / COLOUR = BLACK

H - DOORS

- H1.1** METAL DOOR / COLOUR = BLACK
H2.1 METAL GARAGE DOOR / COLOUR = BLACK

J - GUARDS & RAILINGS

- J1.1** ALUMINUM GUARDRAIL W/ PICKETS / COLOUR = BLACK

K - SIGNAGE

- K1.1** ADDRESS NUMBER / COLOUR = BLACK

L - LIGHTS

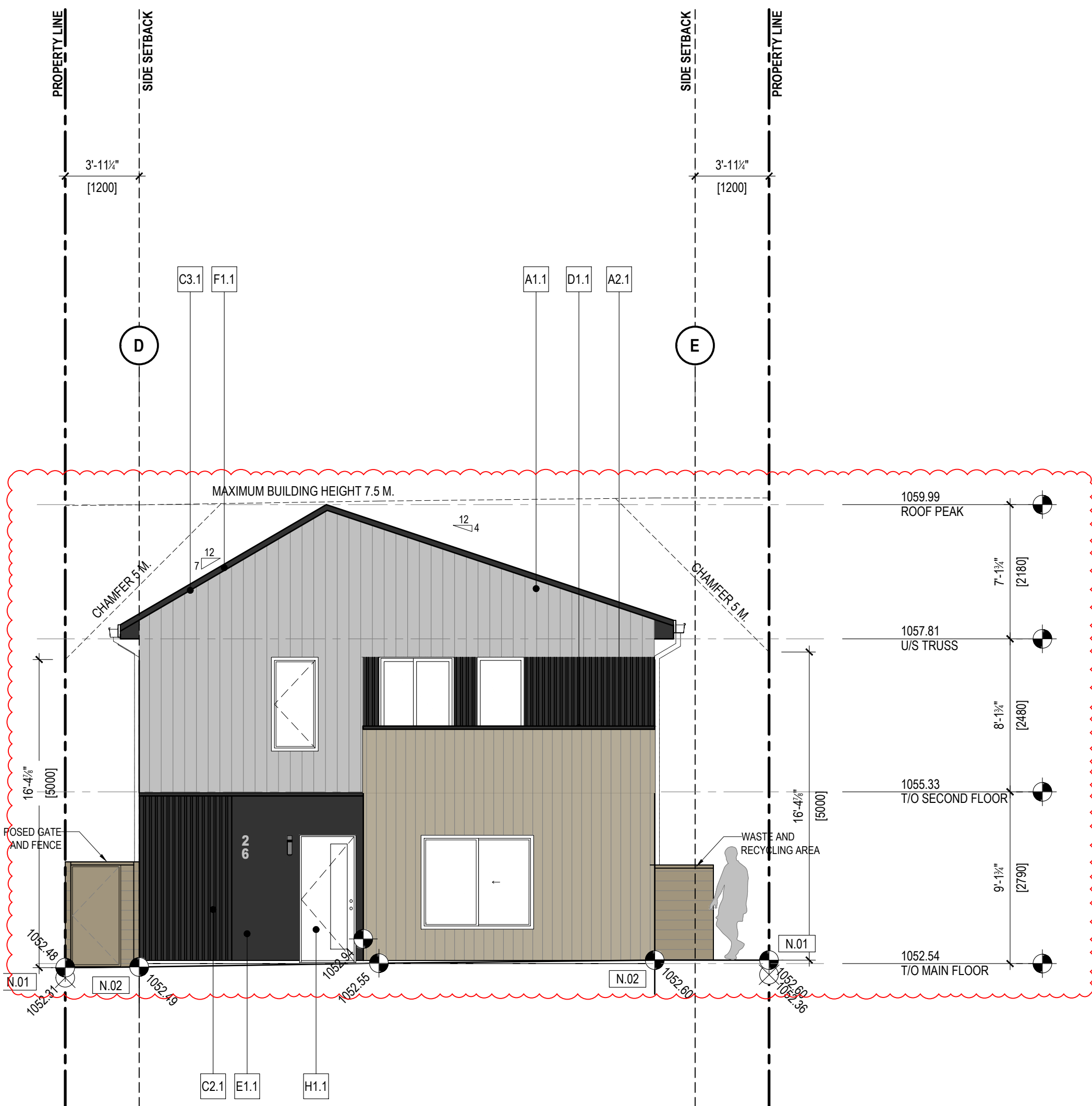
- L1.1** WALL MOUNTED / COLOUR = BLACK

M - METER SERVICE

- M1.1** SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND
COLOUR = TO MATCH ADJACENT FINISH

-  EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

AMENDED DRAWINGS
DP No Date Received
DP2026-00825 May 19, 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



SEAL

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

YYYY.MM.DD

GENERAL NOTES

- REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

SHEET NOTES

- N.01

EXISTING GRADING AT PROPERTY LINE
- N.02

PROPOSED GRADING AT BUILDING EDGE
- N.03

CONCRETE SIDEWALK
- N.04

CONCRETE APRON
- N.05

LAWN (GRASS)
- N.06

2m HIGH BLACK HARDIE PANEL WALL W/ 2" BLACK METAL CAP

EXTERIOR FINISH LEGEND

A - FIBER CEMENT

- A1.1

VERTICAL SIDING PANEL / SIERRA / COLOUR = ARCTIC WHITE
- A2.1

VERTICAL SIDING PANEL / SIERRA / COLOUR = MONTEREY TAUPE

B - MASONRY

- B1.1

BRICK / COLOUR = ADELAIDE

C - METAL

- C1.1

METAL PANEL / COLOUR = BLACK
- C2.1

CORRUGATED PANEL / FINISH = GALVANIZED / COLOUR = BLACK
- C3.1

ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK
- C4.1

METAL FLASHING / COLOUR = BLACK

D - TRIM

- D1.1

ENGINEERED WOOD TRIM / COLOUR = BLACK
- D2.1

ENGINEERED WOOD TRIM / COLOUR = WHITE

E - PARGING

- E1.1

PARGING / COLOUR = NATURAL GRAY

F - ROOFING

- F1.1

ASPHALT ROOF SHINGLES / COLOUR = BLACK

G - WINDOWS

- G1.1

WINDOW / COLOUR = BLACK

H - DOORS

- H1.1

METAL DOOR / COLOUR = BLACK
- H2.1

METAL GARAGE DOOR / COLOUR = BLACK

J - GUARDS & RAILINGS

- J1.1

ALUMINUM GUARDRAIL W/ PICKETS / COLOUR = BLACK

K - SIGNAGE

- K1.1

ADDRESS NUMBER / COLOUR = BLACK

L - LIGHTS

- L1.1

WALL MOUNTED / COLOUR = BLACK

M - METER SERVICE

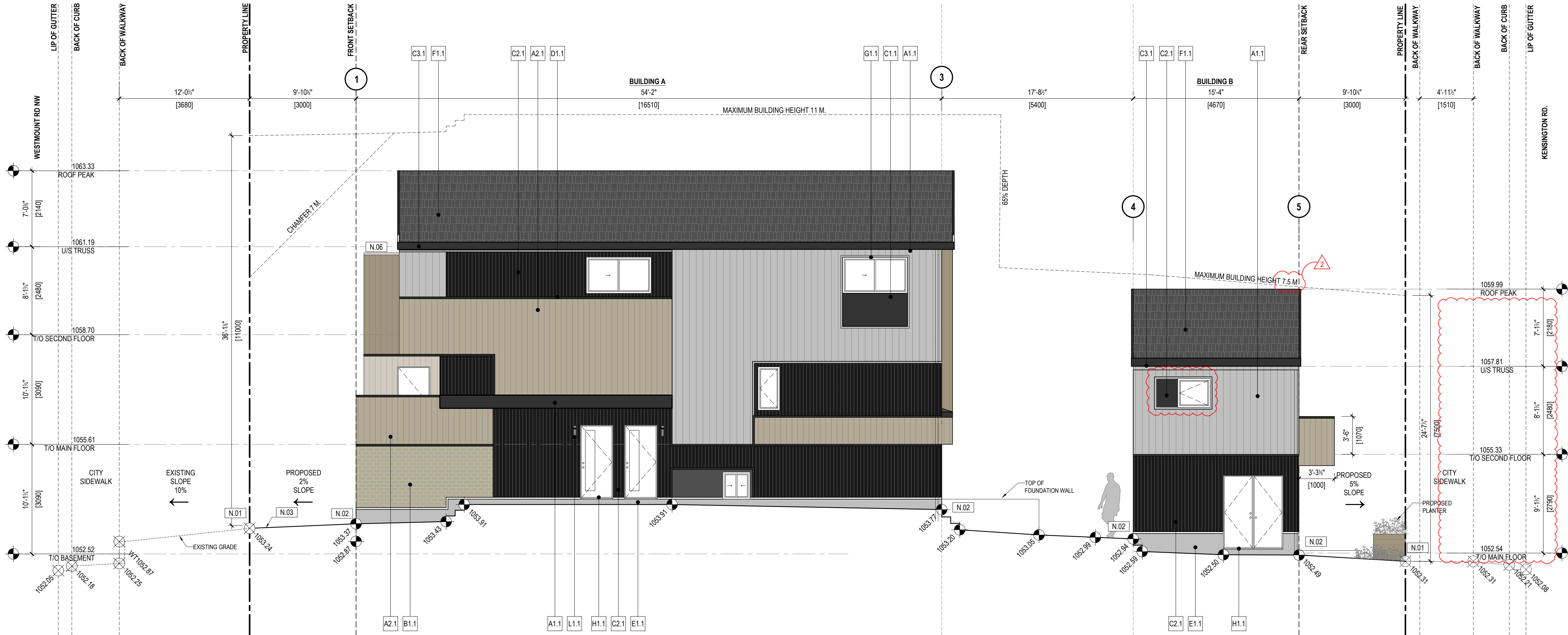
- M1.1

SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND
COLOUR = TO MATCH ADJACENT FINISH

- ⊗

EXISTING GEODETIC ELEVATION
- ⊙

PROPOSED GEODETIC ELEVATION



1

BUILDING A AND B - EAST ELEVATION

DP.403

SCALE: 3/16" = 1'-0"

AMENDED DRAWINGS

DP No Date Received

DP2026-00825 May 19, 2026

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



ARTISTIC VISUALIZATION

1 BUILDING A VIEW FROM WESTMOUNT RD
DP.500 NTS

2



ARTISTIC VISUALIZATION

2 BUILDING A VIEW FROM WESTMOUNT RD
DP.500 NTS

2



ARTISTIC VISUALIZATION

3 BUILDING B VIEW FROM KENSINGTON
DP.500 NTS

2

AMENDED DRAWINGS
DP No DP2026-00825 Date Received May 19, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



FORMED ALLIANCE ARCHITECTURE STUDIO

SEAL

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION

YYYY.MM.DD

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	2026.02.09
02	ISSUED FOR DR1	2026.05.15

☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

PROJECT NAME

NB 1906

MUNICIPAL ADDRESS
1906 WESTMOUNT ROAD NW

LEGAL ADDRESS
L: 344 B: 4 P: 515 O

PROJECT NO.
25.038

DRAWN
NP

CHECKED
LK/GR

DATE
2026-02-09

SCALE
AS NOTED

DRAWING TITLE
RENDERING

DRAWING NUMBER

DP.500

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may result in legal action without the written consent of F&AS Architecture. Do not scale this drawing.

SEAL

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION

YYYY.MM.DD

MUNICIPAL ADDRESS:
1906 WESTMOUNT ROAD N.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 3 AND THE EAST HALF OF LOT 4
BLOCK 4
PLAN 5151 O

PREPARED FOR: [REDACTED]

DATE OF SURVEY: September 5th, 2025



SCALE: 1:200

LEGEND:

- | | |
|--|----------------------------|
| | Subject Property Line |
| | Right of Way Line |
| | Eave Line |
| | Fence Line |
| | Sanitary Line |
| | Storm Line |
| | Water Line |
| | Gas Line |
| | Overhead Wire |
| | A.G.T. Line |
| | Door |
| | Second Floor Window |
| | Main Floor Window |
| | Basement Floor Window |
| | Calculation points |
| | Power Pole |
| | Power Anchor |
| | Light Pole |
| | Manhole |
| | Catch Basin |
| | Water Valve |
| | Gas Valve |
| | Sign |
| | Fire Hydrant |
| | Tree |
| | Main Building Hatch |
| | Detached Garage Hatch |
| | Shed Hatch |
| | Concrete and Asphalt Hatch |
| | Wood Hatch |
| | Roof Hatch |
-
- | | | |
|----------------------|----------------------------|---------------------------|
| '2F.'-Second Floor | 'Enc.'-Encroach(es) | 'R/W'-Right of Way |
| 'BC'-Back of Curb | 'L'-Length of Arc | 'Ret.'-Retaining |
| 'BW'-Back of Walkway | 'LG'-Lip of Gutter | 'RPE'-Roof Peak Elevation |
| 'C'-Center | 'MF'-Main Floor | 'WB'-Bottom of Wall |
| 'Conc.'-Concrete | 'MFE'-Main Floor Elevation | 'WT'-Top of Wall |
| 'Elev.'-Elevation | 'R'-Radius | |

NOTE:

1. The basis of this plan is as follows:
 Datum: North American Datum 1983 (original)
 Projection: 3° Transverse Mercator
 Reference Meridian: 114° west longitude
 Combined Scale Factor: 0.999738
2. Distances are in ground and are shown in metres and decimals thereof.
3. Distances along curves are arc distances.
4. Elevations are derived from ASGN 17129 . ⁰⁰⁰⁰⁰
5. Existing spot elevations are shown: ✕
6. The Certificate of Title 191 112 753 which was Searched on the 27th day of August, 2025 and includes the following instruments:
 Caveat No. 001 048 092
 Mortgage No. 191 112 754

7. The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 11, 19 & 90 in Sec.17-Twp.24-Rge.1-W.5M.
And 115 in Sec.20-Twp.24-Rge.1-W.5M.
 (Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer ~~and excavator~~ to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

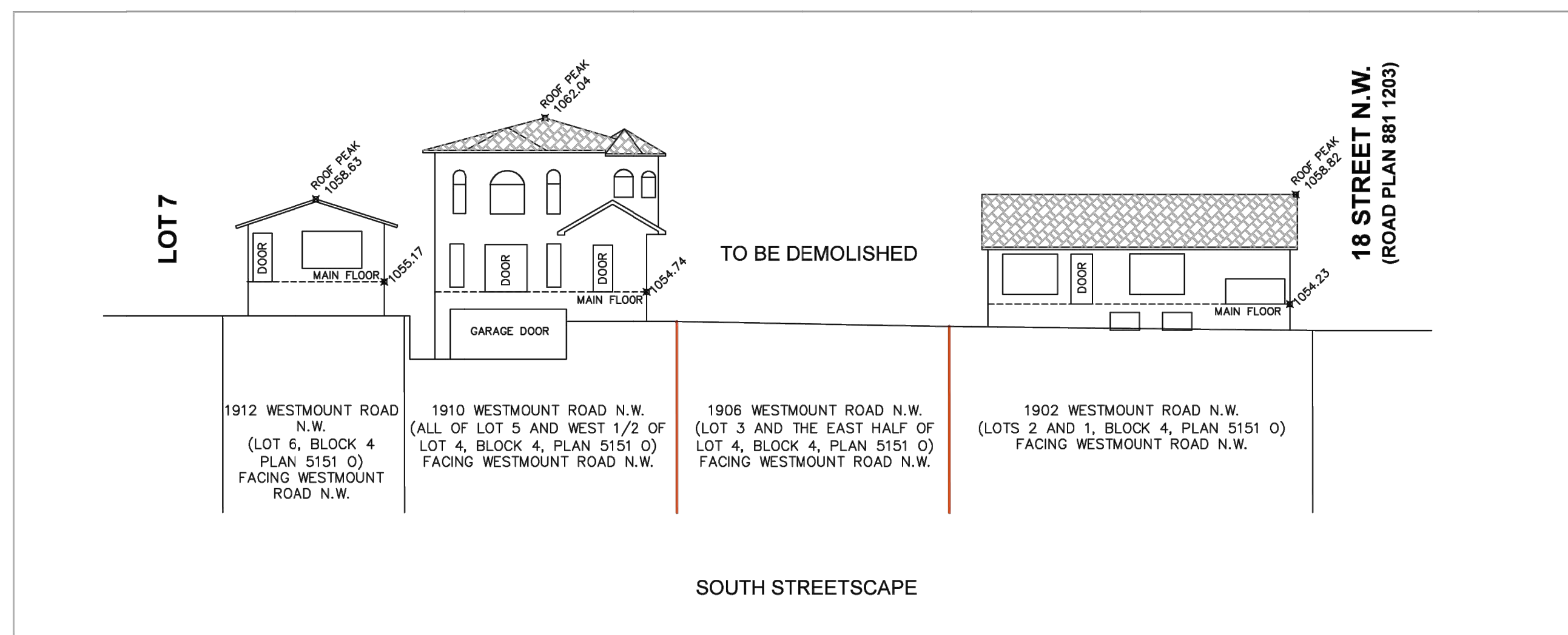
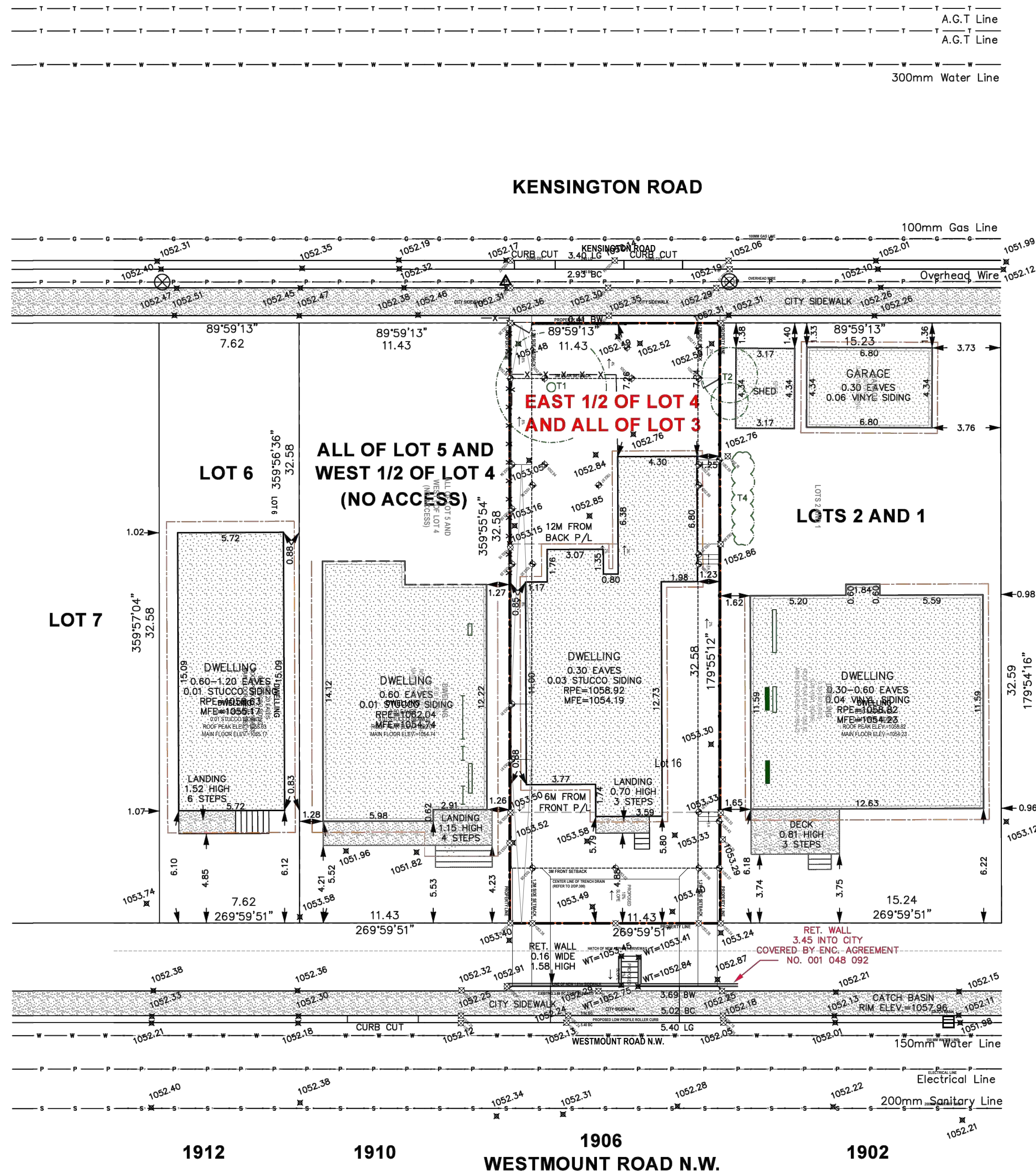
TREE SCHEDULE:

Tree No.	Variety	Trunk (ϕ±)	Canopy (ϕ±)	Height (±)	Location
T1	Deciduous	0.50	6.00	7.00	In Subject Property
T2	Bush	—	3.00	5.50	In Adjacent Property
T3	Bush	—	2.00	6.00	In Adjacent Property
T4	Bush	—	1.00	1.60	In Adjacent Property

AMENDED DRAWINGS
 DP No Date Received
 DP2026-00825 May 19, 2026
**THESE DRAWINGS REFER TO THE
 ABOVE DEVELOPMENT PERMIT NO.**

S.100

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.



1	SURVEY
S.100	NTS