



This is a **contextual** application

What's the difference?

The information below came from the Land Use Bylaw, please visit calgary.ca/development for more information.



VS.



Contextual Single Detached Dwelling

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

- ☒ The City
- ☒ The public

Single Detached Dwelling

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

- ☒ The City
- ☒ The public

Tip: Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

Contextual Single Detached dwelling applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

What if the application does not meet the rules?

If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Single Detached** dwelling which would allow The City and the public to comment.

The City has reviewed this application and determined that it meets the contextual rules.

These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.

Learn more at:
Calgary.ca/development



1643 EAST

ISSUED FOR DEVELOPMENT PERMIT

2026/02/06

PROJECT NUMBER:

25.060_1643 EAST

PARCEL ADDRESS:

LEGAL: LOT: 11, BLOCK: 22, PLAN: 5301 GP

MUNICIPAL: 1643 ALTADORE AVENUE S.W.,
CALGARY, AB

DRAWING LIST: INDEX: ARCHITECTURE

FAAS

601 - 1812 4 ST SW, CALGARY, AB T2S 1W

DP.000 TITLE SHEET
DP.100 BLOCK PLAN
DP.101 SITE PLAN
L.100 LANDSCAPE PLAN

DP.200 BASEMENT FLOOR PLAN
DP.201 MAIN & SECOND FLOOR PLAN
DP.202 ROOF PLAN & GARAGE PLAN

DP.400 ELEVATIONS
DP.401 GARAGE ELEVATIONS

S.01 SITE SURVEY

PROJECT INFORMATION:

PARCEL ADDRESS:

LEGAL: L: 11, B: 22, P: 5301 GP
MUNICIPAL: 1643 ALTADORE AVE. SW, CALGARY, AB
COMMUNITY: ALTADORE

BYLAW REGULATIONS:

LAND USE DISTRICT: R-CG

PROPOSED USES: CONTEXTUAL SINGLE DETACHED DWELLING (PERMITTED USE)
SECONDARY SUITE (PERMITTED USE)

BUILDING SETBACKS:

FRONT (NORTH) PERMITTED
SIDE (EAST) 3.0 m
REAR (SOUTH) 1.2 m
SIDE (WEST) 1.2 m
0.6 m

ACCESSORY SETBACKS:

SIDE (EAST) PERMITTED
REAR (SOUTH) 0.6 m
SIDE (WEST) 0.6 m
0.6 m

PARCEL COVERAGE:

PARCEL AREA: 376.3 SQ.M. / 4,060 SQ.FT.
PARCEL COVERAGE ALLOWED: 45.0%
COVERAGE PROPOSED: 156.26 SQ.M. / 1,682 SQ.FT. (42%)

DENSITY:

MAXIMUM ALLOWED: 75 UNITS PER HECTARE
PROPOSED: 1 UNIT / 0.0376 HA
PROPOSED DENSITY: 27 UNITS PER HECTARE

VEHICULAR PARKING:

REQUIRED RESIDENTIAL STALLS
0.5 STALLS / UNIT
REQUIRED VISITOR STALLS
0 STALLS / UNIT
TOTAL PARKING STALLS REQUIRED: 1 STALL
1 STALL REQUIRED
0 STALLS REQUIRED
1 STALL

WASTE & RECYCLING:

MINIMUM CAPACITY REQUIRED: 0.24 m³ PER UNIT / WEEK
WASTE CAPACITY FOR THIS PROJECT:
(1 UNIT + 1 SUITE) x 0.24 m³ = 0.48 m³ / WEEK
PROVIDED:
WASTE: 1 x 0.24 m³ BINS = 0.24 m³
RECYCLING: 1 x 0.24 m³ BINS = 0.24 m³
ORGANICS: 1 x 0.24 m³ BINS = 0.24 m³
TOTAL PROVIDED: = 0.72 m³

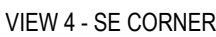
PLANTING REQUIREMENTS:

MINIMUM PLANTING REQUIRED: 1.0 TREE AND 3.0 SHRUBS FOR EACH 110.0 SQ.M. PARCEL AREA
= 4 TREES AND 11 SHRUBS



(ARTISTIC REPRESENTATION ONLY)

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION



☐ CONSTRUCTION	YYYY-MM-DD
☐ TENDER	YYYY-MM-DD
☐ BUILDING PERMIT	YYYY-MM-DD
PROJECT NAME	

MUNICIPAL ADDRESS
1643 ALTADORE AVE SW
CALGARY, AB

LEGAL ADDRESS		
L: 11	B: 22	P: 5301 GP

PROJECT NO.
25 060 ECC 1643 EAST

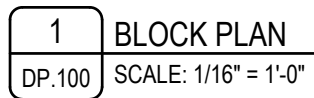
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DATE	SCALE
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2026-02-06	AS NOTED
DRAWING TITLE	
BLOCK PLAN	

DRAWING NUMBER

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YYYY.MM.DD

N.01	ENTRY: MAIN FLOOR LEVEL
N.02	ENTRY: BASEMENT LEVEL
N.03	EXISTING FENCE TO BE MAINTAINED ALONG SIDE PROPERTY LINE
N.04	PROPOSED GAS & ELECTRIC METER LOCATION
	EXISTING GEODETTIC ELEVATION
	PROPOSED GEODETTIC ELEVATION

- A. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
- B. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
- C. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
- D. EXTERIOR LIGHTING IN FRONT ENTRY AREA, WALL MOUNTED. MOUNTING HEIGHT @ 7'-6" ABOVE ADJACENT FLOOR.
- E. HOUSING NUMBER MOUNTED ON EXTERIOR WALL @ 5FT ABOVE ADJACENT FLOOR.

1. MUST HAVE A PORTION FOR THE FRONT FACADE, WITH AN AREA LESS THAN OR EQUAL TO 50% OF THE AREA OF ALL FRONT FACADES, RECESSED OR PROJECTING FORWARD FROM THE REMAINING FACADE THAT IS MIN. 2.0m IN WIDTH, 0.6M IN DEPTH, AND 2.4M IN HEIGHT, OR A PORCH PROJECTING FROM THE FRONT FACADE WITH A MINIMUM DIMENSION OF 2.0M IN WIDTH AND 1.2M IN DEPTH.
2. MUST NOT HAVE VEHICULAR ACCESS FROM LANE TO AN ATTACHED PRIVATE GARAGE.
3. MUST NOT HAVE WINDOWS THAT ARE LOCATED BEYOND THE REAR FACADE OF A MAIN RESIDENTIAL BUILDING ON AN ADJOINING PARCEL.
4. MUST NOT HAVE A ROOF SLOPE LESS THAN 4:12 WITHIN 1.5 METRES OF THE HORIZONTAL PLANE FORMING THE MAXIMUM BUILDING HEIGHT.

PARCEL AREA:	376.3 SQ.M. / 4,050 SQ.FT.
PARCEL COVERAGE ALLOWED:	45.0%
COVERAGE PROPOSED :	156.26 SQ.M. / 1,682 SQ.FT. (42%)

FLOOR	
LOWER	119.3 SQ.M. / 1,284 SQ.FT.
MAIN	119.3 SQ.M. / 1,284 SQ.FT.
SECOND	131.9 SQ.M. / 1,420 SQ.FT.
TOTAL ABOVE GRADE:	251.2 SQ.M. / 2,704 SQ.FT.

☐ CONSTRUCTION	YYYY-MM-DD
☐ TENDER	YYYY-MM-DD
☐ BUILDING PERMIT	YYYY-MM-DD
PROJECT NAME	

**1643 EAST
SINGLE FAMILY**

MUNICIPAL ADDRESS
1643 ALTADORE AVE SW
CALGARY, AB

LEGAL ADDRESS		
L: 11	B: 22	P: 5301 GP

PROJECT NO.	25.060 ECC 1643 EAST
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DRAWN	CHECKED
SM	SM

DATE	SCALE
2026-02-06	AS NOTED

DRAWING TITLE	
SITE PLAN	

DRAWING NUMBER

DP.101

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EXISTING TREE INFORMATION					LOCATION	TO REMAIN OR BE REMOVED
Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)		
T1	Coniferous Tree	0.60	10.00	17.00	IN CITY PROPERTY	TO REMAIN
T2	Bush	—	1.00	1.50	IN SUBJECT PROPERTY	TO REMAIN
T3	Bush	—	1.00	1.50	IN CITY PROPERTY	TO REMAIN
T4	Coniferous Tree	0.70	10.00	18.00	IN SUBJECT PROPERTY	TO BE REMOVED
T5	Deciduous Tree	0.70	15.00	14.00	IN CITY PROPERTY	TO REMAIN
T6	Coniferous Tree	0.12	1.80	3.50	IN CITY PROPERTY	TO REMAIN
T7	Coniferous Tree	0.10	1.80	4.00	IN CITY PROPERTY	TO REMAIN
T8	Coniferous Tree	0.15	1.80	5.50	IN CITY PROPERTY	TO REMAIN
T9	Coniferous Tree	0.10	1.50	4.00	IN CITY PROPERTY	TO REMAIN
T10	Coniferous Tree	0.07	1.20	2.50	IN CITY PROPERTY	TO REMAIN
T11	Deciduous Tree	0.30	7.50	14.00	IN ADJACENT PROP	TO REMAIN
T12	Coniferous Tree	0.10	2.40	4.00	IN CITY PROPERTY	TO REMAIN
T13	Deciduous Tree	0.50	14.00	15.00	IN ADJACENT PROP	TO REMAIN
T14	Bush	—	3.00	2.50	IN ADJACENT PROP	TO REMAIN
T15	Coniferous Tree	0.20	3.00	2.50	IN ADJACENT PROP	TO REMAIN
T16	Bush	—	5.00	4.50	IN ADJACENT PROP	TO REMAIN
T17	Bush	—	2.50	2.50	IN CITY PROPERTY	TO REMAIN
T18	Deciduous Tree	0.25	6.00	6.00	IN ADJACENT PROP	TO REMAIN
T19	Deciduous Tree	0.25	6.50	6.50	IN CITY PROPERTY	TO REMAIN
T20	Deciduous Tree	0.20	4.50	5.00	IN ADJACENT PROP	TO REMAIN
T21	Deciduous Tree	0.35	5.50	4.00	IN ADJACENT PROP	TO REMAIN
T22	Deciduous Tree	0.12	1.30	5.00	IN ADJACENT PROP	TO REMAIN
T23	Deciduous Tree	0.10	3.00	2.20	IN ADJACENT PROP	TO REMAIN
T24	Coniferous Tree	0.08	1.40	5.00	IN SUBJECT PROPERTY	TO BE REMOVED
T25	Deciduous Tree	0.10	1.40	3.00	IN ADJACENT PROP	TO REMAIN
T26	Deciduous Tree	0.15	3.00	4.50	IN SUBJECT PROPERTY	TO BE REMOVED
T27	Deciduous Tree	0.25	7.00	10.00	IN SUBJECT PROPERTY	TO REMAIN
T28	Deciduous Tree	0.10	1.20	4.50	IN SUBJECT PROPERTY	TO BE REMOVED
T29	Deciduous Tree	0.20	7.00	6.00	IN SUBJECT PROPERTY	TO REMAIN
T30	Deciduous Tree	1.00	22.00	15.00	IN SUBJECT PROPERTY	TO REMAIN
T31	Deciduous Tree	0.15	5.50	5.00	IN SUBJECT PROPERTY	TO REMAIN
T32	Deciduous Tree	0.18	2.00	3.00	IN ADJACENT PROP	TO REMAIN
T33	Coniferous Tree	0.10	1.40	2.20	IN ADJACENT PROP	TO REMAIN
T34	Coniferous Tree	0.08	1.20	1.50	IN ADJACENT PROP	TO REMAIN
T35	Deciduous Tree	0.28	7.00	3.00	IN ADJACENT PROP	TO REMAIN
T36	Deciduous Tree	0.18	3.00	3.00	IN ADJACENT PROP	TO REMAIN

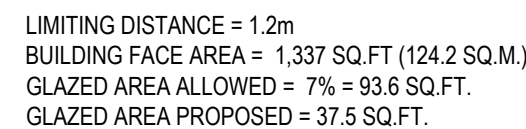
DWARF MUGO PINE

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M1.1 SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND
COLOUR = TO MATCH ADJACENT FINISH



SITE PLAN

MUNICIPAL ADDRESS:
1643 Altadore Avenue S.W.
Calgary, Alberta

LEGAL DESCRIPTION:
Lot 11
Block 22
Plan 5301 GP

PREPARED FOR: Eagle Crest Construction

DATE OF SURVEY: December 6th, 2023

SCALE: 1:200

LEGEND:

- Property Line
- Right of Way Line
- Eave Line
- X-X-X-X-Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Electrical Line
- A.G.T. Line
- Door
- Main Floor Window
- Second Floor Window
- Basement Floor Window
- Third Floor Window
- Power Pole
- Manhole
- Catch Basin
- Sign
- Tree
- Calculation points
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch
- Elevation (Geodetic)

'L'-Length of Arc
'BC'-Back of Curb
'BW'-Bottom of Wall
'BW'-Back of Walkway
'Cont.'-Cantilever
'Conc.'-Concrete
'Elev.'-Elevation
'Enc.'-Encroach(es)
'LOG'-Lip of Gutter
'R'-Radius
'R/W'-Right of Way
'Ret.'-Retaining
'TOW'-Top of Wall

NOTE:

- Distances are in Ground and Are Shown in Metres and Decimals Thereof.
- Distances Along Curves are Arc Distances.
- Elevations are Derived From ASOM 163246
- The Certificate of Title 911 187 284 was searched on the 30th day of November, 2023, and includes the following instruments:
Caveat No. 615 HA, 221 127 187
Mortgage No. 151 108 890
- The Utilities Information is Acquired From 'The City Of Calgary Engineering Department' Drawing No. 94, 104 & 152 In Sec.05-Twp.24-Rge1-W5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the Developer and Excavator to have all Utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)	Location
T1	Coniferous Tree	0.60	10.00	17.00	In City Property
T2	Bush	1.00	1.50	1.50	In Subject Property
T3	Bush	1.00	1.50	1.50	In City Property
T4	Coniferous Tree	0.70	10.00	18.00	In Subject Property
T5	Deciduous Tree	0.70	15.00	14.00	In City Property
T6	Coniferous Tree	0.12	1.80	3.50	In City Property
T7	Coniferous Tree	0.10	1.80	4.00	In City Property
T8	Coniferous Tree	0.15	1.80	5.50	In City Property
T9	Coniferous Tree	0.10	1.50	4.50	In City Property
T10	Coniferous Tree	0.07	1.20	2.50	In City Property
T11	Deciduous Tree	0.30	7.50	14.00	In Subject Property
T12	Coniferous Tree	0.10	2.40	4.00	In City Property
T13	Deciduous Tree	0.50	14.00	15.00	In Subject Property
T14	Bush	3.00	2.50	2.50	In Subject Property
T15	Coniferous Tree	0.20	3.00	2.50	In Subject Property
T16	Bush	5.00	4.50	4.50	In Subject Property
T17	Bush	2.50	2.50	2.50	In City Property
T18	Deciduous Tree	0.25	6.00	6.00	In Subject Property
T19	Deciduous Tree	0.25	6.50	6.50	In City Property
T20	Deciduous Tree	0.20	4.50	5.00	In Subject Property
T21	Deciduous Tree	0.35	5.50	4.00	In Subject Property
T22	Deciduous Tree	0.12	1.30	5.00	In Subject Property
T23	Deciduous Tree	0.10	3.00	2.20	In Subject Property
T24	Coniferous Tree	0.08	1.40	5.00	In Subject Property
T25	Deciduous Tree	0.10	1.40	3.00	In Subject Property
T26	Deciduous Tree	0.15	3.00	4.50	In Subject Property
T27	Deciduous Tree	0.25	7.00	10.00	In Subject Property
T28	Deciduous Tree	0.10	1.20	4.50	In Subject Property
T29	Deciduous Tree	0.20	7.00	6.00	In Subject Property
T30	Deciduous Tree	1.00	22.00	15.00	In Subject Property
T31	Deciduous Tree	0.15	5.50	5.00	In Subject Property
T32	Deciduous Tree	0.18	2.00	3.00	In Subject Property
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T34	Coniferous Tree	0.08	1.20	1.50	In Subject Property
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T36	Deciduous Tree	0.18	3.00	3.00	In Subject Property

