

VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

- EXISTING UTILITIES**
- SANITARY SEWER
 - STORM SEWER
 - WATER LINE
 - - - FENCE
 - TYPE 5A MANHOLE
 - TYPE 1S MANHOLE
 - CATCH BASIN
 - HYDRANT
 - × WATER VALVE
 - U/G ELECTRICAL
 - GAS
- PROPOSED UTILITIES**
- SANITARY SEWER
 - STORM SEWER
 - WATER LINE
 - - - FENCE
 - TYPE 5A MANHOLE
 - CATCHBASIN/MANHOLE
 - TYPE 1S MANHOLE
 - TYPE C CATCH BASIN
 - TYPE K3 CATCH BASIN
 - ROOF DRAIN
 - AREA DRAIN
 - HYDRANT
 - WATER VALVE
 - ⊙ WATER METER LOCATION
 - ⊙ CONCRETE SWALE
 - ⊙ ELECTRICAL METER LOCATION
 - ⊙ GAS METER LOCATION

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1	2026/02/06	ISSUED FOR DP	-	EY
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	2026/02/06
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT



PROJECT

JOB DESCRIPTION

RANGEVIEW

PARCEL SIZE 0.29ha NUM. OF UNITS:
 LOT: 16 BLK: 25 PLAN: 251 1677

DP#: - DSSP: -

ADDRESS: 28 HEIRLOOM STREET SE

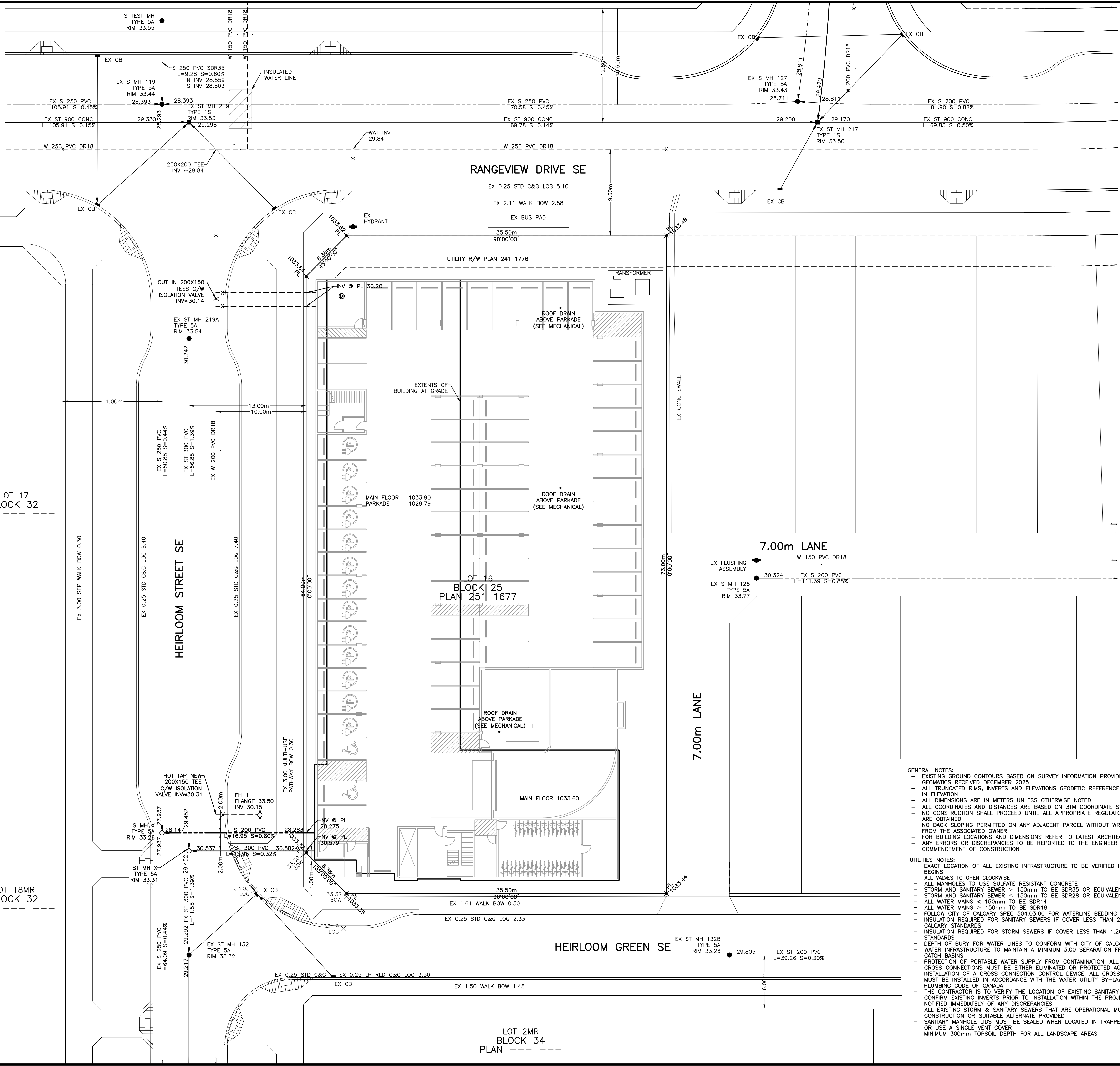
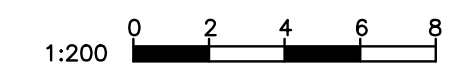
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TITLE

SITE SERVICING PLAN (FOR DP)

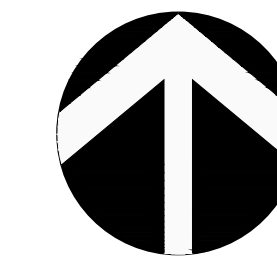
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DWN: JE	
DES: EY	
DATE: FEB 6-26	
CHK: EY	
P. ENG: EY	
PERMIT:	

PROJECT No.	SHEET	OF
245-04	1	2
DRAWING NAME	SECTION	PRIOR TO
245-04 SVC	R	1



- GENERAL NOTES:**
- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY TRONNES GEOMATICS RECEIVED DECEMBER 2025
 - ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION
 - ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED
 - ALL COORDINATES AND DISTANCES ARE BASED ON 31M COORDINATE SYSTEM (NAD 83)
 - NO CONSTRUCTION SHALL PROCEED UNTIL ALL APPROPRIATE REGULATORY APPROVALS ARE OBTAINED
 - NO BACK SLOPING PERMITTED ON ANY ADJACENT PARCEL WITHOUT WRITTEN CONSENT FROM THE ASSOCIATED OWNER
 - FOR BUILDING LOCATIONS AND DIMENSIONS REFER TO LATEST ARCHITECTURAL DRAWINGS
 - ANY ERRORS OR DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION
- UTILITIES NOTES:**
- EXACT LOCATION OF ALL EXISTING INFRASTRUCTURE TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION BEGINS
 - ALL VALVES TO OPEN CLOCKWISE
 - ALL MANHOLES TO USE SULFATE RESISTANT CONCRETE
 - STORM AND SANITARY SEWER > 150mm TO BE SDR35 OR EQUIVALENT
 - STORM AND SANITARY SEWER ≤ 150mm TO BE SDR28 OR EQUIVALENT
 - ALL WATER MAINS < 150mm TO BE SDR14
 - ALL WATER MAINS ≥ 150mm TO BE SDR18
 - FOLLOW CITY OF CALGARY SPEC 504.03.00 FOR WATERLINE BEDDING AND PIPE ZONE BACKFILL
 - INSULATION REQUIRED FOR SANITARY SEWERS IF COVER LESS THAN 2.50m ON MAINS, AS PER CITY OF CALGARY STANDARDS
 - INSULATION REQUIRED FOR STORM SEWERS IF COVER LESS THAN 1.20m AS PER CITY OF CALGARY STANDARDS
 - DEPTH OF BURY FOR WATER LINES TO CONFORM WITH CITY OF CALGARY STANDARDS
 - WATER INFRASTRUCTURE TO MAINTAIN A MINIMUM 3.00 SEPARATION FROM TREES, STREET LIGHTS AND CATCH BASINS
 - PROTECTION OF PORTABLE WATER SUPPLY FROM CONTAMINATION: ALL CROSS CONNECTIONS OR POTENTIAL CROSS CONNECTIONS MUST BE EITHER ELIMINATED OR PROTECTED AGAINST BACKFLOW BY THE INSTALLATION OF A CROSS CONNECTION CONTROL DEVICE. ALL CROSS CONNECTION CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH THE WATER UTILITY BY-LAW 22M82 AND THE NATIONAL PLUMBING CODE OF CANADA
 - THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING SANITARY STORM AND WATER SERVICES AND CONFIRM EXISTING INVERTS PRIOR TO INSTALLATION WITHIN THE PROJECT AREA. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES
 - ALL EXISTING STORM & SANITARY SEWERS THAT ARE OPERATIONAL MUST BE MAINTAINED AS SUCH DURING CONSTRUCTION OR SUITABLE ALTERNATE PROVIDED
 - SANITARY MANHOLE LIDS MUST BE SEALED WHEN LOCATED IN TRAPPED LOW AREAS WITH PLASTIC PLUGS OR USE A SINGLE VENT COVER
 - MINIMUM 300mm TOPSOIL DEPTH FOR ALL LANDSCAPE AREAS

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LEGEND

- GRADING FEATURES**
- PROPOSED CONCRETE SWALE
 - ▭ PROPOSED TYPE C CATCH BASIN
 - PROPOSED TYPE K3 CATCH BASIN
 - PROPOSED MANHOLE
 - PROPOSED CB/MANHOLE
 - ▭ PROPOSED ASPHALT PAVING
 - ▭ PROPOSED CONCRETE
 - ▭ PROPOSED CONCRETE PATIO
 - ▭ PROPOSED RETAINING WALL
 - ▭ PROPOSED CURB WALL
 - ▭ PROPOSED ROLLED CURB
 - ▭ PROPOSED SHALLOW CURB
 - ▭ PROPOSED STANDARD CURB
 - ⊕ # OF INTERIOR/EXTERIOR STEPS
 - ⊕ PROPOSED GRASS SWALE
 - ⊕ PROPOSED CHAINLINK FENCE
 - ⊕ PROPOSED POST & CABLE FENCE
 - ⊕ EXISTING PL GRADE
 - ⊕ PROPOSED FINISHED GRADE

REVISIONS

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1	2026/02/06	ISSUED FOR DP	JE	EY
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SUBMISSIONS

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PROJECT

JOB DESCRIPTION

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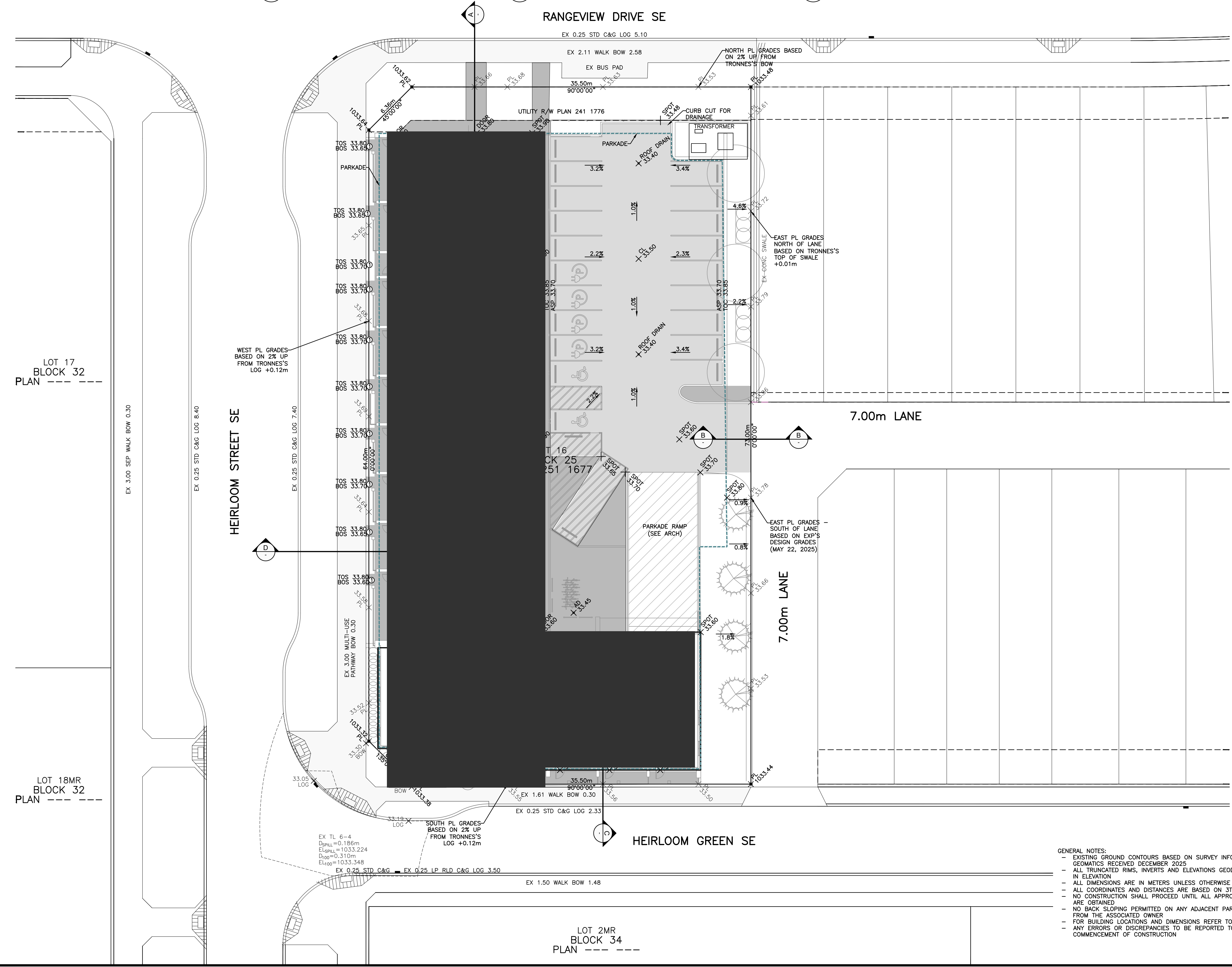
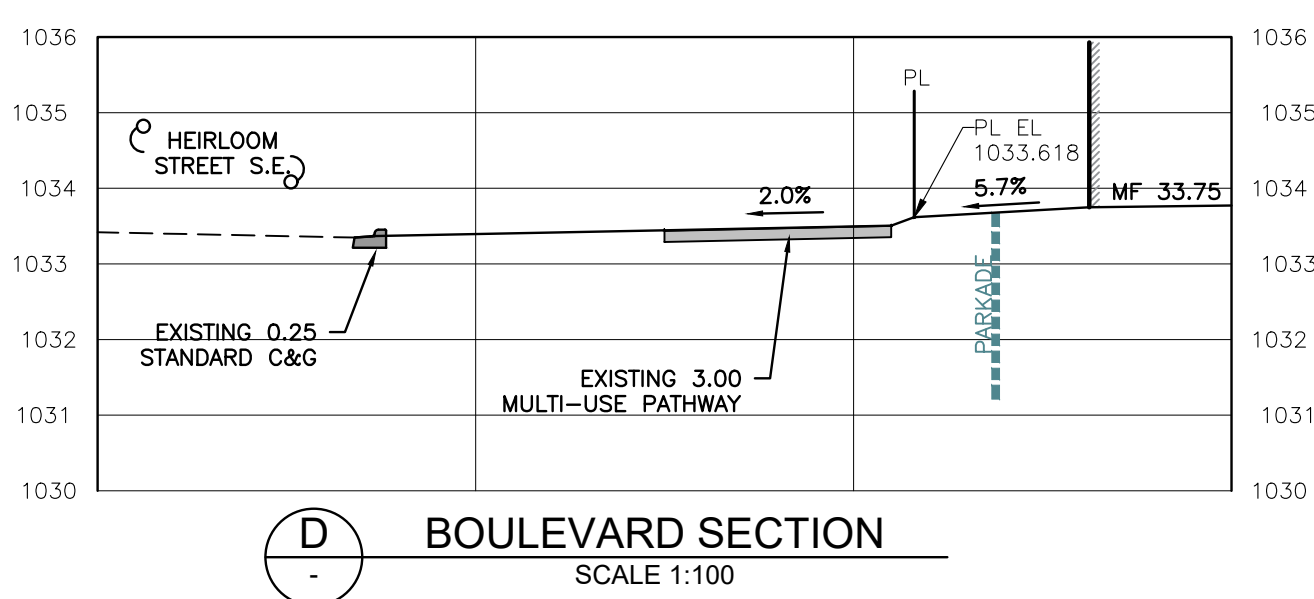
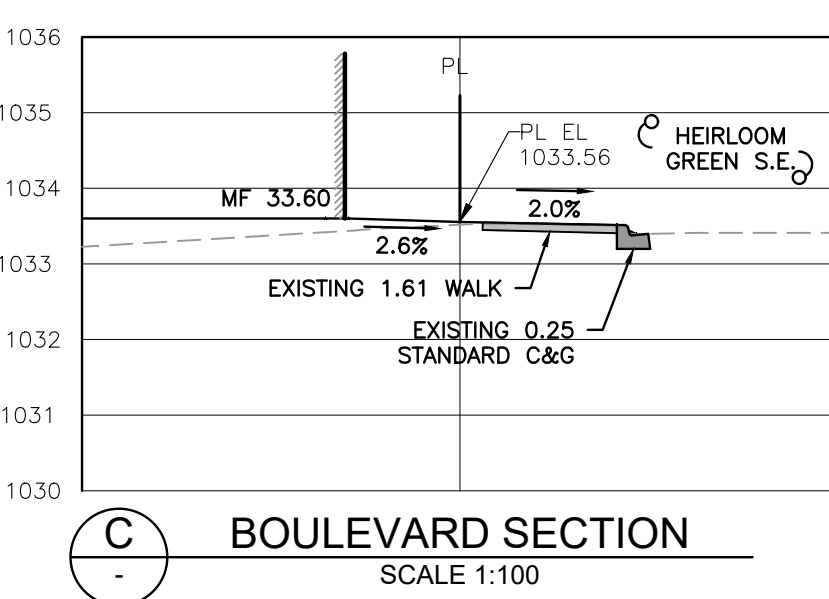
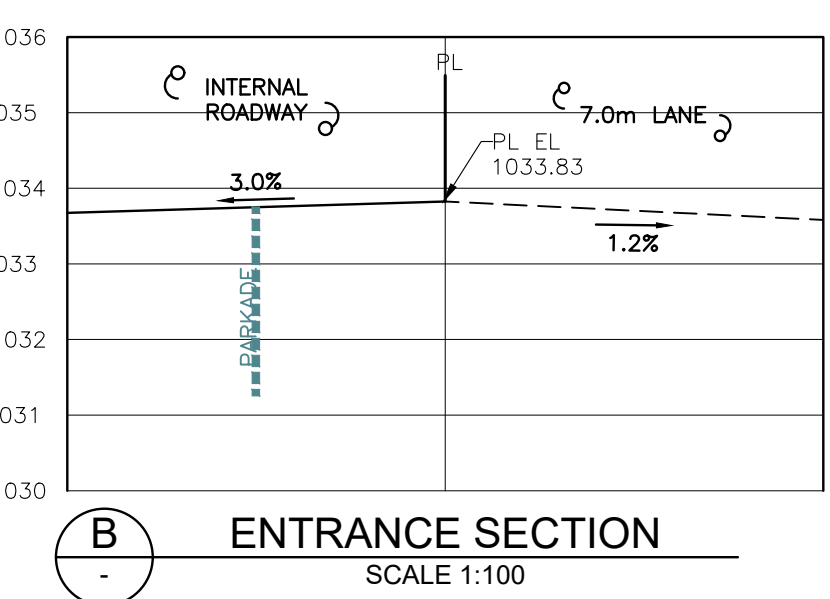
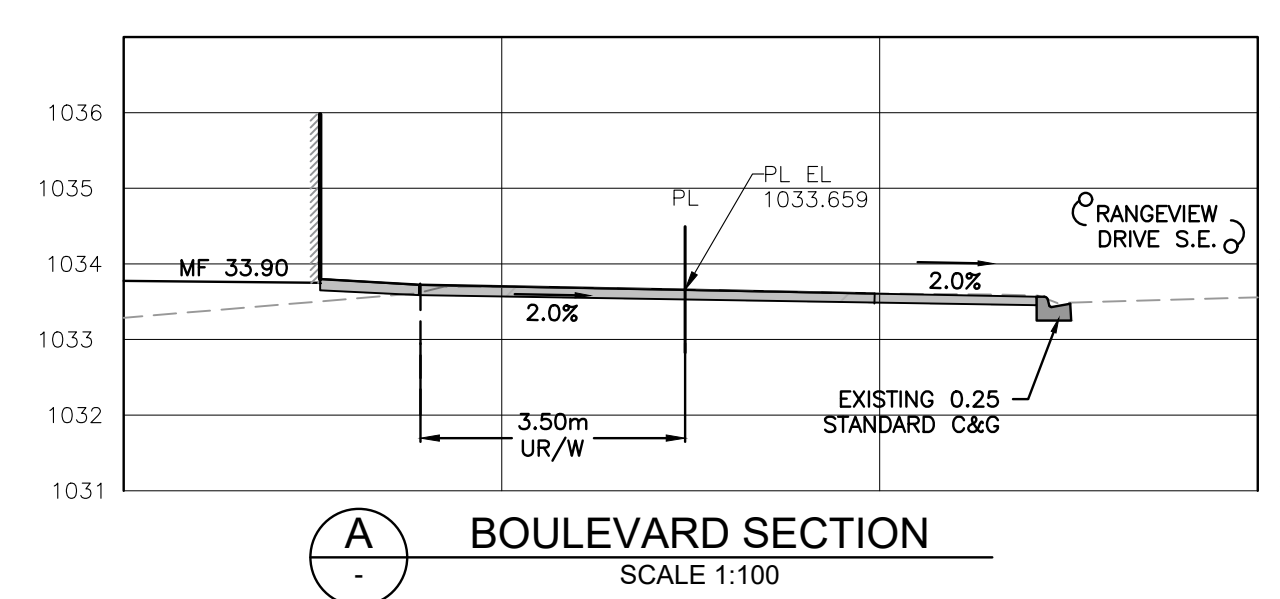
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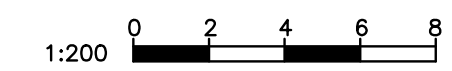
SITE GRADING PLAN (FOR DP)

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PERMIT:	

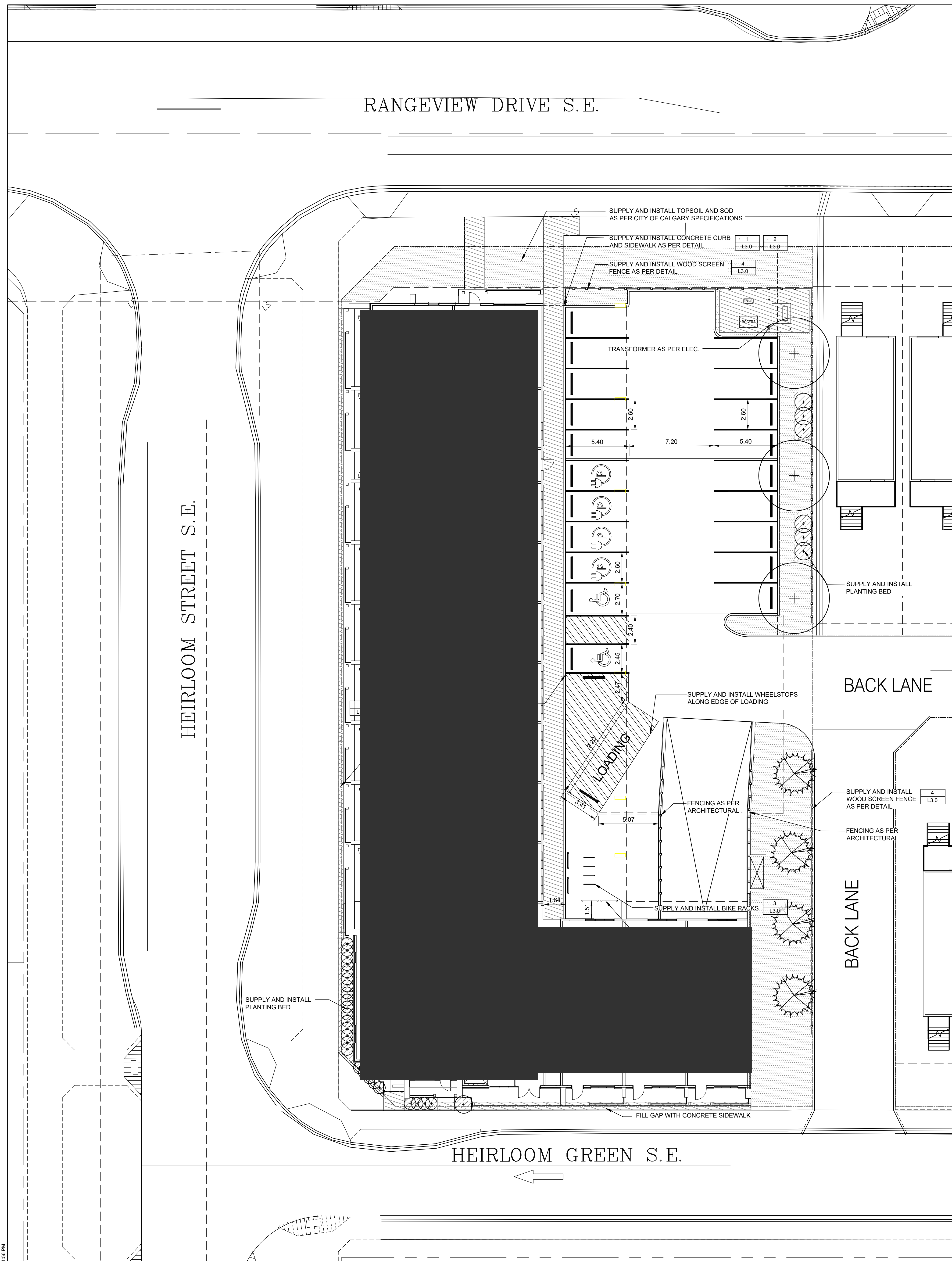
PROJECT No.	SHEET	OF
245-04	2	2
DRAWING NAME	SECTION	PAGE TO
245-04 GRAD	R	1



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LEGEND

- PROPERTY LINE
- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PLANTING BED
- TOPSOIL AND SOD
- CONCRETE SIDEWALK & DRIVEWAY
- DETAIL KEY

GENERAL NOTES

1. CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
2. LAYOUT TO BE APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY OR CONSTRUCTION REMOVALS.
3. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED.
4. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS, REMOVALS, DISPOSALS, AND ROUGH GRADING AS REQUIRED TO CONSTRUCT ALL WORKS AS SHOWN ON ALL PLANS, DETAILS AND SPECIFICATIONS. SAWCUT EXISTING PAVEMENT AND CURBS TO ENSURE CLEAN EDGE ON PAVEMENT AND CURBS TO REMAIN (NO BROKEN EDGES).
5. ALL PAINTED PARKING MARKINGS AND TRAFFIC SIGNALS SHOWN WITHIN LIMIT OF WORK & AS NOTED ON PLANS, TO BE INCLUDED IN WORK UNDER THIS CONTRACT.
6. LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING RULES FOR WORKING IN THE AREA OF THE UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR MUST CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO LAYOUT PARKING AREAS TO ACHIEVE REQUIRED NUMBER OF STALLS IN EACH ROW. CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
8. ALL EXISTING TREES, SIDEWALKS, CURBS, FENCING, SOD AND PAVING TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO REQUIRED SPECIFICATIONS. AREAS DAMAGED DURING CONSTRUCTION TO BE REPAIRED TO REQUIRED SPECIFICATIONS AT THE CONTRACTORS OWN COST.
9. FILL ALL HOLES AND LOW AREAS TO DESIGN SUBGRADE WITH COMPACTED FILL (SUITABLE TO SURFACE FINISH). FOR SODDED/PLANTED AREAS USE COMPACTED CLEAN EARTH FILL SUITABLE FOR PLANT GROWTH. FOR PAVED AREAS USE COMPACTED GRANULAR BASE. REFER TO SPECIFICATIONS.
10. USE SPECIFIED BACKFILL IN ALL TRENCHES RUNNING BELOW ALL STRUCTURES, PAVING, SWALES, ETC.
11. ALL TOPSOIL AND SOD TO REQUIRED SPECIFICATIONS.
12. REFER TO SITE SERVICES DRAWINGS FOR LOCATION OF ALL CATCH BASINS, MANHOLES, FIRE HYDRANTS, ETC.
13. ALL CLAY FILL TO BE PLACED IN MAX 200mm THICK LIFTS AND COMPACTED UNIFORMLY TO A MIN OF 95% STANDARD PROCTOR MAXIMUM DRY DENSITY. AT A MOISTURE CONTENT BETWEEN 5% BELOW AND 5% ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698. REFER ALSO TO WRITTEN SPECIFICATIONS.
14. REFER TO PLANTING PLAN FOR ALL SHRUB BED LAYOUTS.

THIS DRAWING MUST NOT BE SCALED.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, OUTLINE AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED TO NUMBER TEN ARCHITECTURAL GROUP BEFORE PROCEEDING.

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REVISION NO.	DESCRIPTION	REVISED/ISSUED/PLOTTED
DP-0	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2026

number TEN architectural group

Winnipeg Office 204 942.0981
Victoria Office 250 360.2106

architecture • interior design • planning

RANGEVIEW
28 HEIRLOOM ST SE, CALGARY, ALBERTA
Plan: 2511677; Block: 25; Lot: 16

project

sheet title **LAYOUT PLAN**

consultant **McGOWAN-RUSSELL**

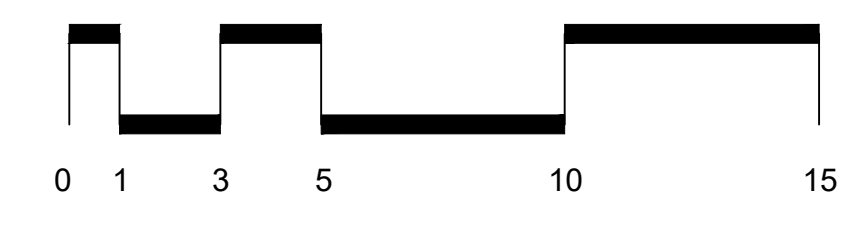
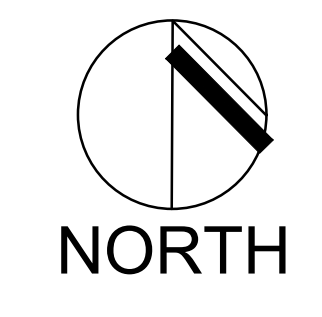
The Alberta Association of Landscape Architects

Jacqueline Wilkie

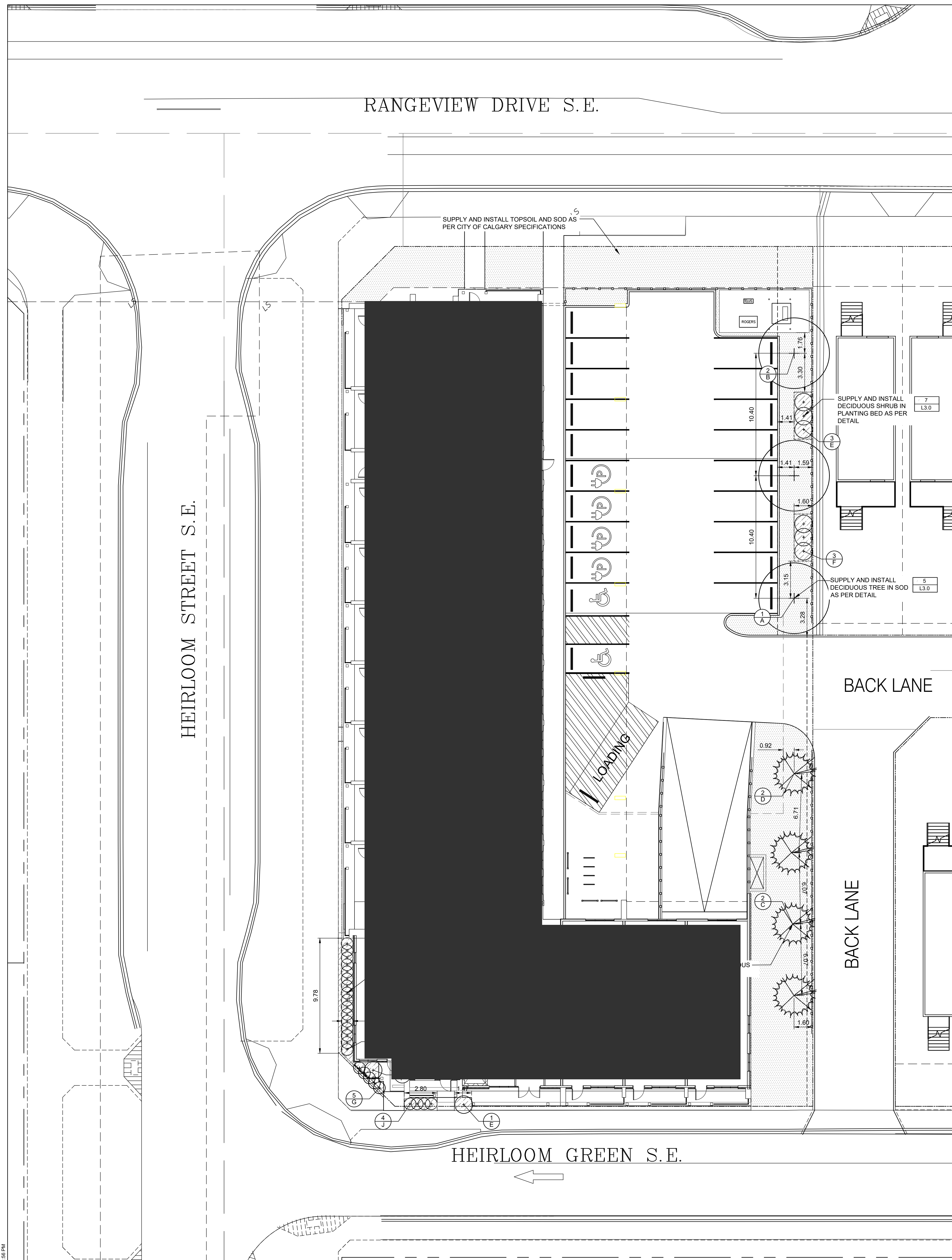
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date: JANUARY 27, 2026

drawn by: NY/JW
checked by: JW
project no. 25-040

sheet no. DP-L1-0



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PLANT KEY

KEY	QTY	COMMON NAME / SCIENTIFIC NAME	SIZE	REMARKS
DECIDUOUS TREES				
A	1	WHITE BIRCH / BETULIA Papyrifera	75 mm cal.	SPECIMEN, W.B. MACHINE DUG WITH MIN. 10 BRANCHES IN WELL BRANCHED HEAD, STRAIGHT TRUNK, MIN. HT. 6.0m BRANCHING HT 1.8m
B	2	AMERICAN ELM / ULMUS AMERICANA	75mm cal	SPECIMEN, W.B. MACHINE DUG WITH MIN. 10 BRANCHES IN WELL BRANCHED HEAD, STRAIGHT TRUNK, MIN. HT. 6.0m BRANCHING HT 1.8m
CONIFEROUS TREES				
C	2	COLORADO BLUE SPRUCE / PICEA GLAUCA 'GLAUCA'	3.0m ht.	SPECIMEN, W.B. MACHINE DUG WITH SINGLE UPRIGHT LEADER, STRAIGHT TRUNK, WELL BRANCHED, FULL FORM.
D	2	MOUNTAIN PINE / PINUS UNCINATA	2.0m ht.	SPECIMEN, W.B. MACHINE DUG WITH SINGLE UPRIGHT LEADER, STRAIGHT TRUNK, WELL BRANCHED, FULL FORM.
DECIDUOUS SHRUBS				
E	4	RED TWIG DOGWOOD / CORNUS ALBA	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN 600mm HT.
F	4	AMERICAN HAZELNUT / CORYLUS AMERICANA	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN 600mm HT.
G	10	WILDROSE / ROSA ACICULARIS	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN 600mm HT.
H	6	GOLD MOUND SPIREA / SPIREA JAPONICA 'GOLDMOUND'	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN 600mm HT.
J	9	COMPACT Highbush CRANBERRY / VIBURNUM TRILOBUM 'COMPACTUM'	#3 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN. 600mm HT.

LEGEND

- PROPERTY LINE
- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS SHRUBS
- PLANTING BED
- TOPSOIL AND SOD
- PLANT KEY
- DETAIL KEY

PLANTING NOTES

- ALL PLANT MATERIAL TO BE BEST QUALITY. PLANT MATERIAL TO BE REVIEWED ON SITE BY CONTRACT ADMINISTRATOR ON SITE PRIOR TO PLANTING. PLANTS NOT ACCEPTABLE ARE TO BE REPLACED AND NEW PLANTS APPROVED PRIOR TO PLANTING. REPLACEMENTS ARE AT THE CONTRACTOR'S OWN COST.
- ALL PLANTING EXCAVATIONS ARE TO BE REVIEWED AND APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO PLACEMENT OF DRAINAGE COURSE, FILTER FABRIC AND/OR SOIL.
- LOCATION OF ALL PLANT MATERIAL TO BE STAKED OUT ON SITE AND APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO EXCAVATION AND PLANTING.
- TOPSOIL AND SOD TO BE INSTALLED TO CITY OF CALGARY STANDARD SPECIFICATIONS.
- TREES TO BE PLANTED MIN. 3.0m FROM HYDRANTS, LIGHT POLES AND OTHER ABOVE GROUND UTILITIES. REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
- PLANT MATERIAL MUST BE NO.1 GRADE NURSERY STOCK, SUPPLIED AND INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION 'CANADIAN STANDARDS FOR NURSERY STOCK'.
- TYPICAL SHRUB SPACING
SMALL DECIDUOUS SHRUBS: 600mm O.C.
MEDIUM DECIDUOUS SHRUBS: 900mm O.C.

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DP-0	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2025

number TEN architectural group
 10
 Winnipeg Office 204 942.0981
 Victoria Office 250 360.2106
 architecture • interior design • planning

RANGEVIEW
 28 HEIRLOOM ST SE, CALGARY, ALBERTA
 Plan: 2511677; Block: 25; Lot: 16

project
 sheet title
 consultant

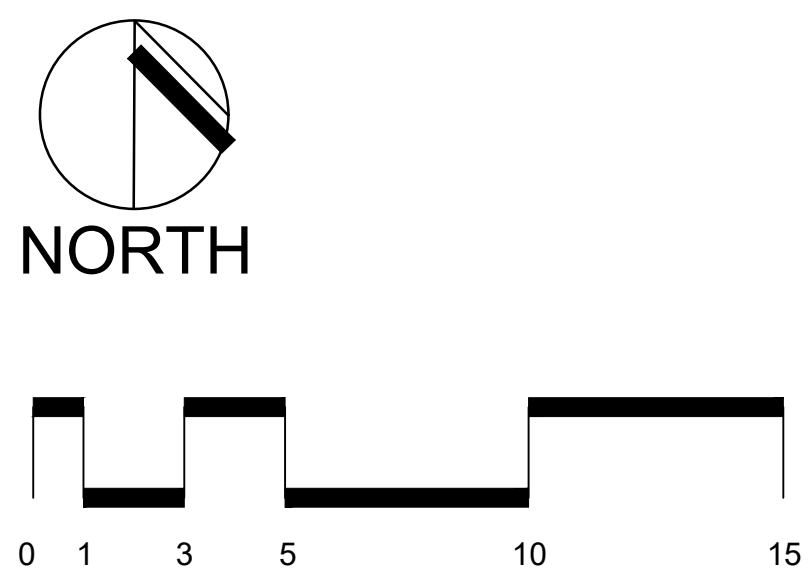
PLANTING PLAN

McGOWAN-RUSSELL

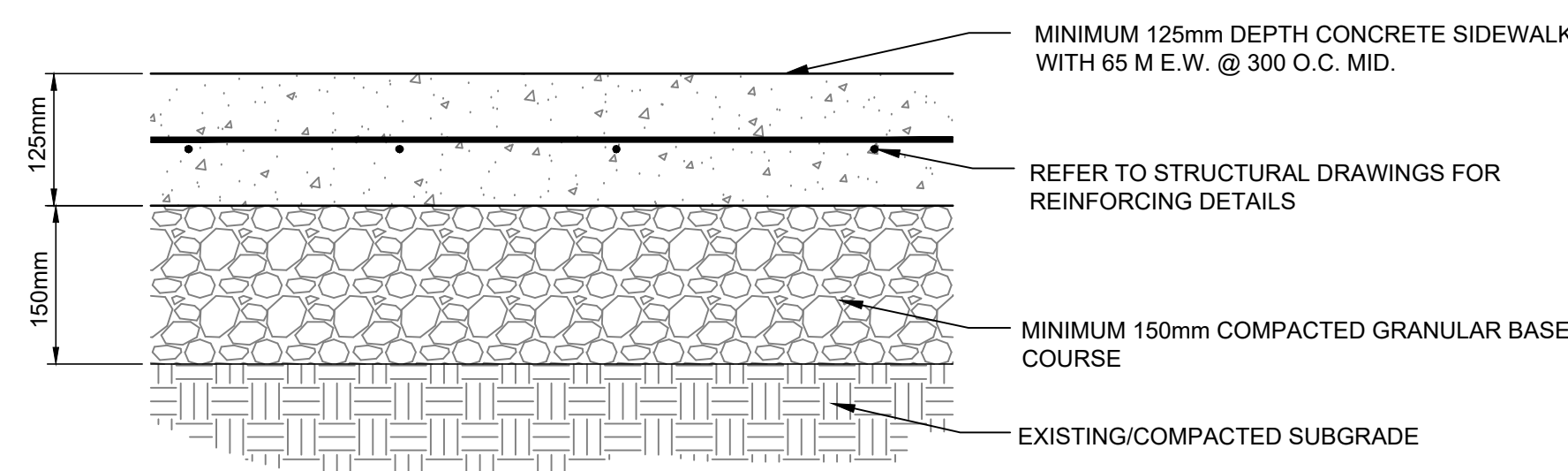
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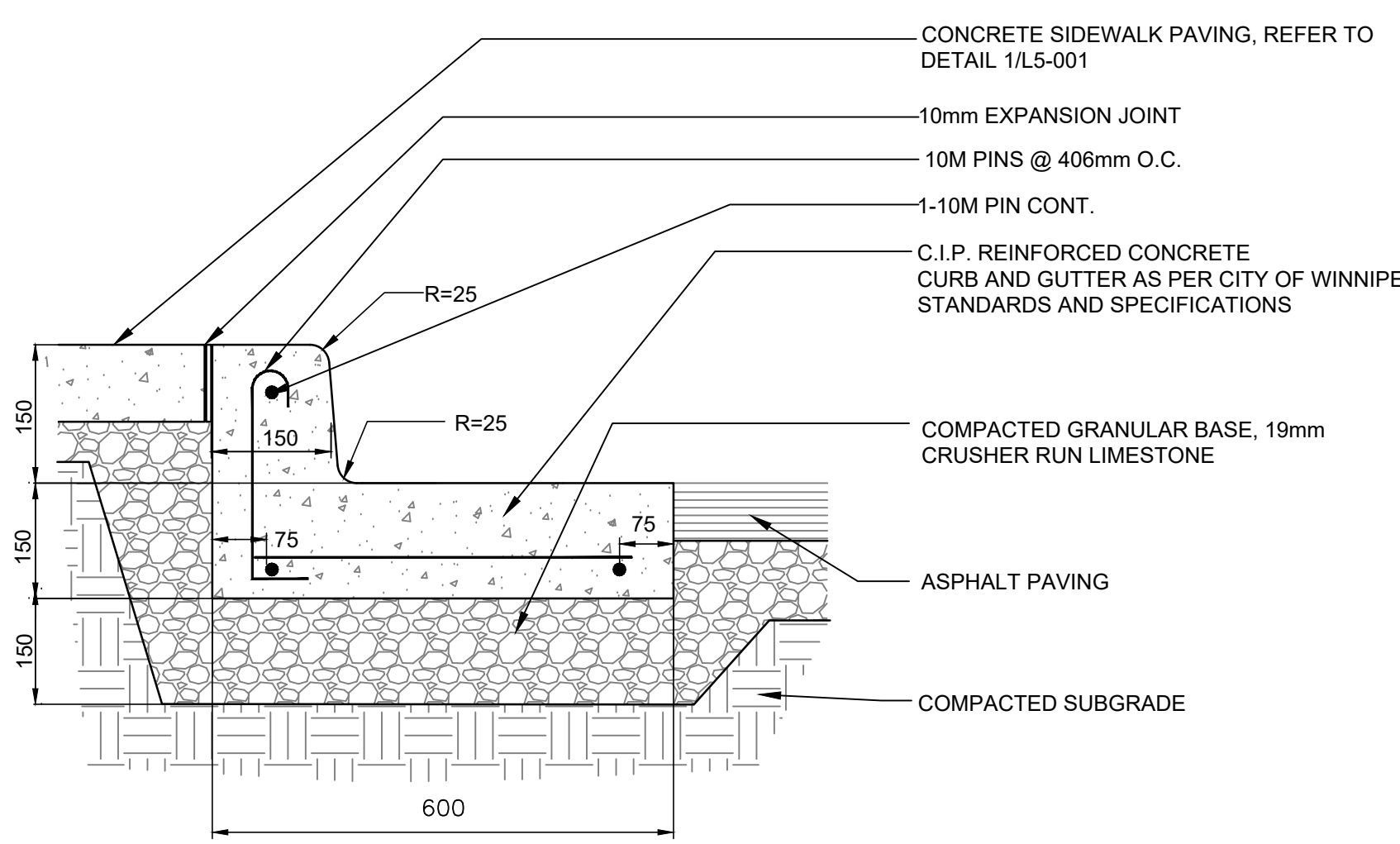
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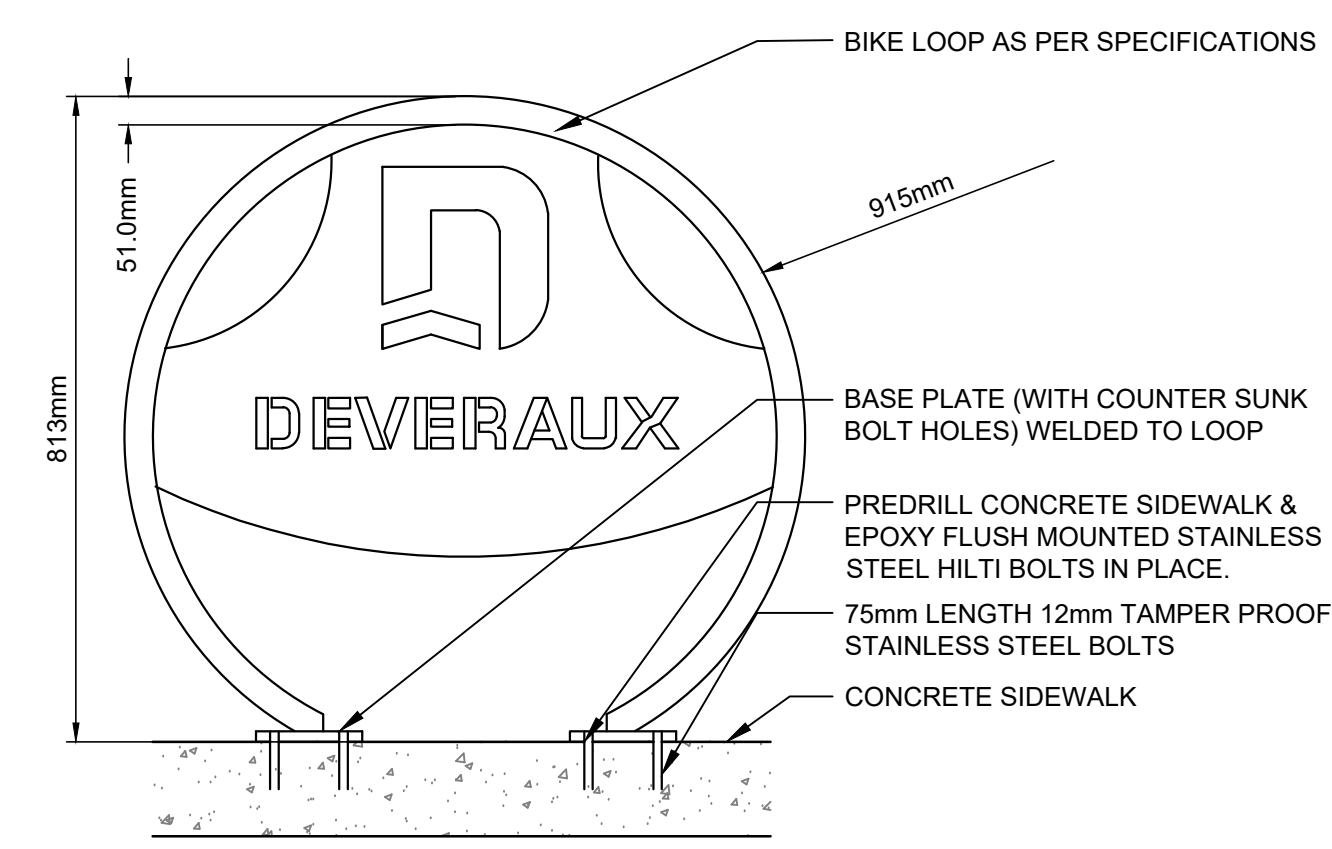
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1 CONCRETE SIDEWALK
L3-0 N.T.S.

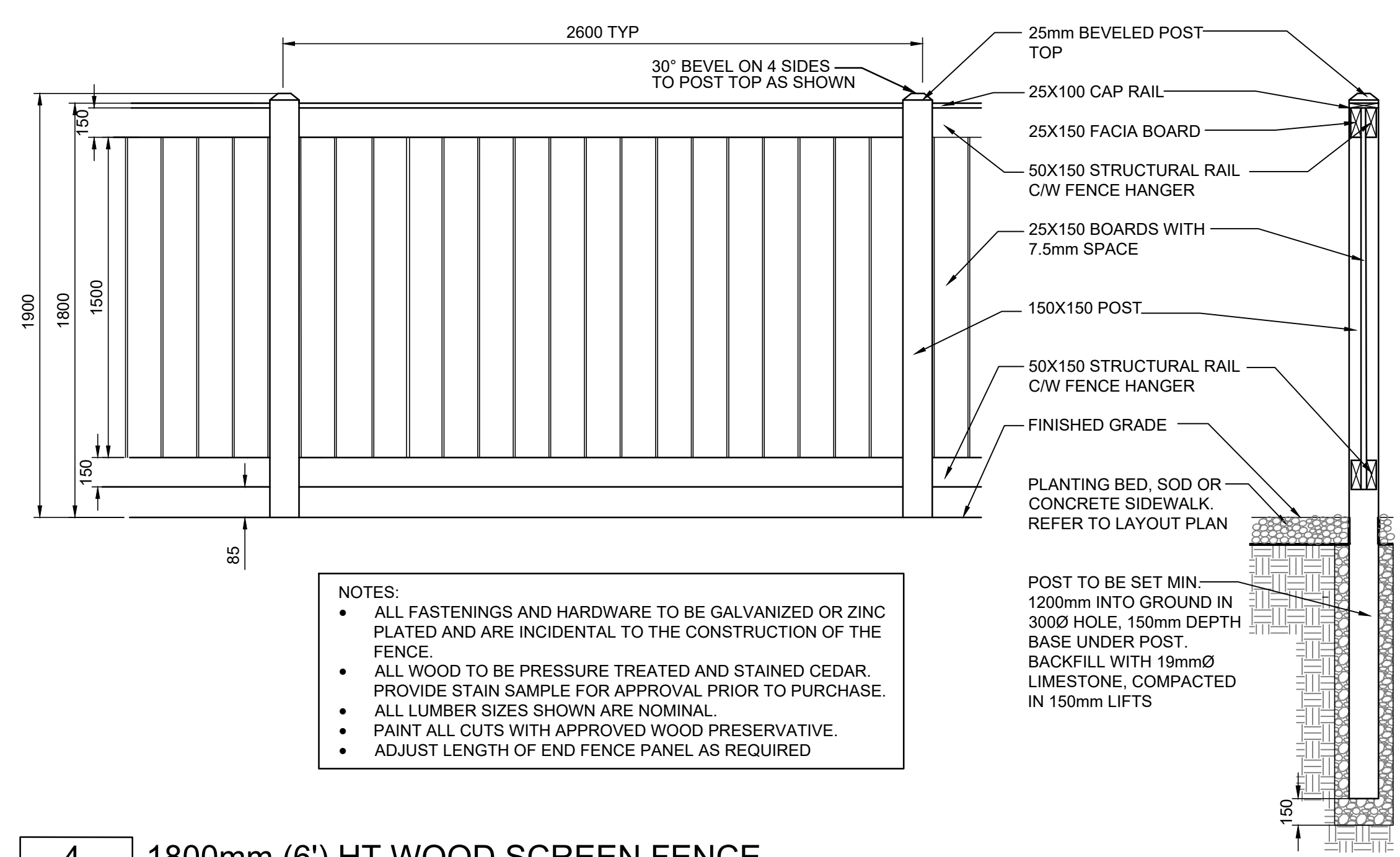
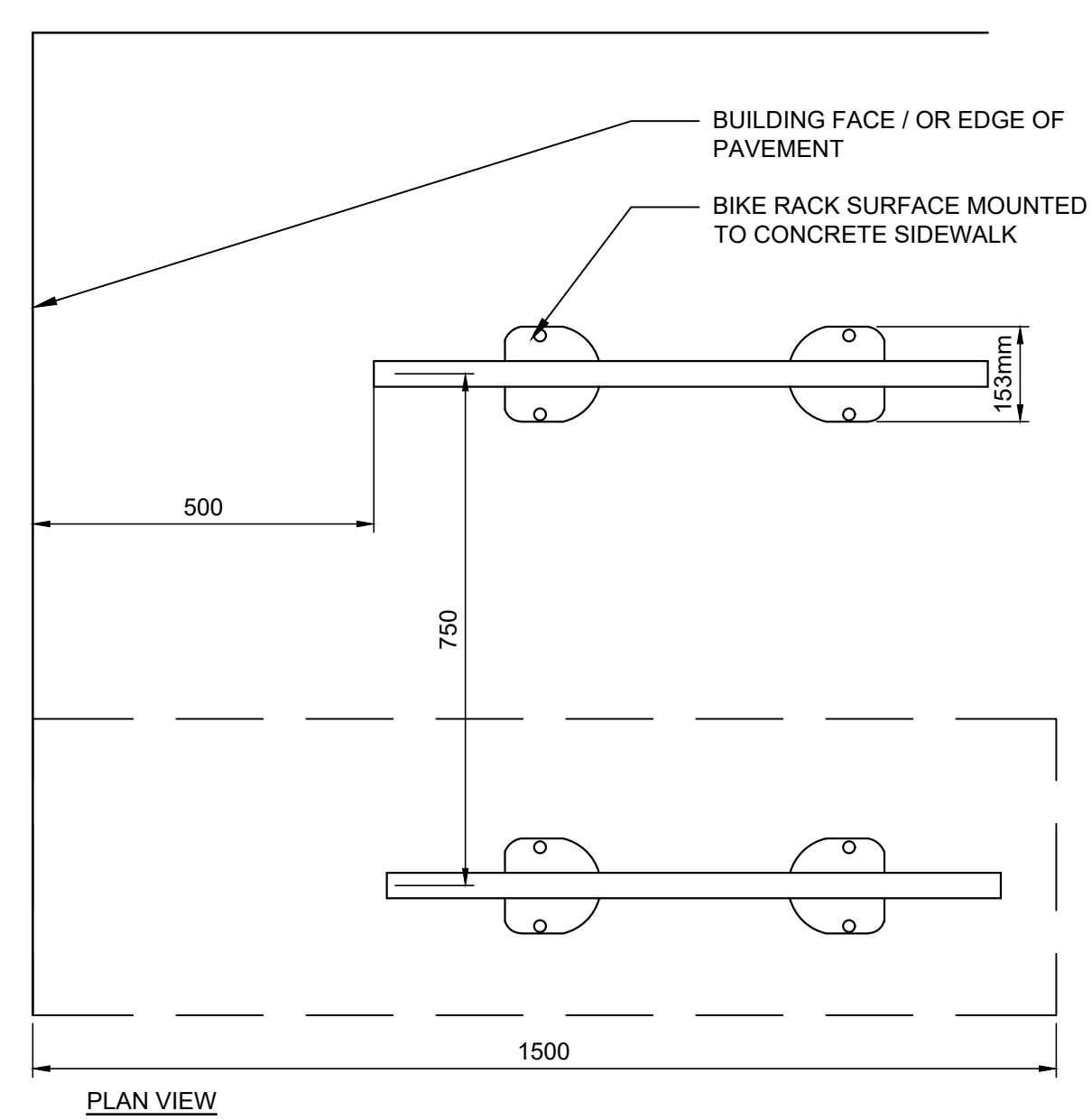


2 C.I.P. CONCRETE CURB AND GUTTER
L3-0 N.T.S.



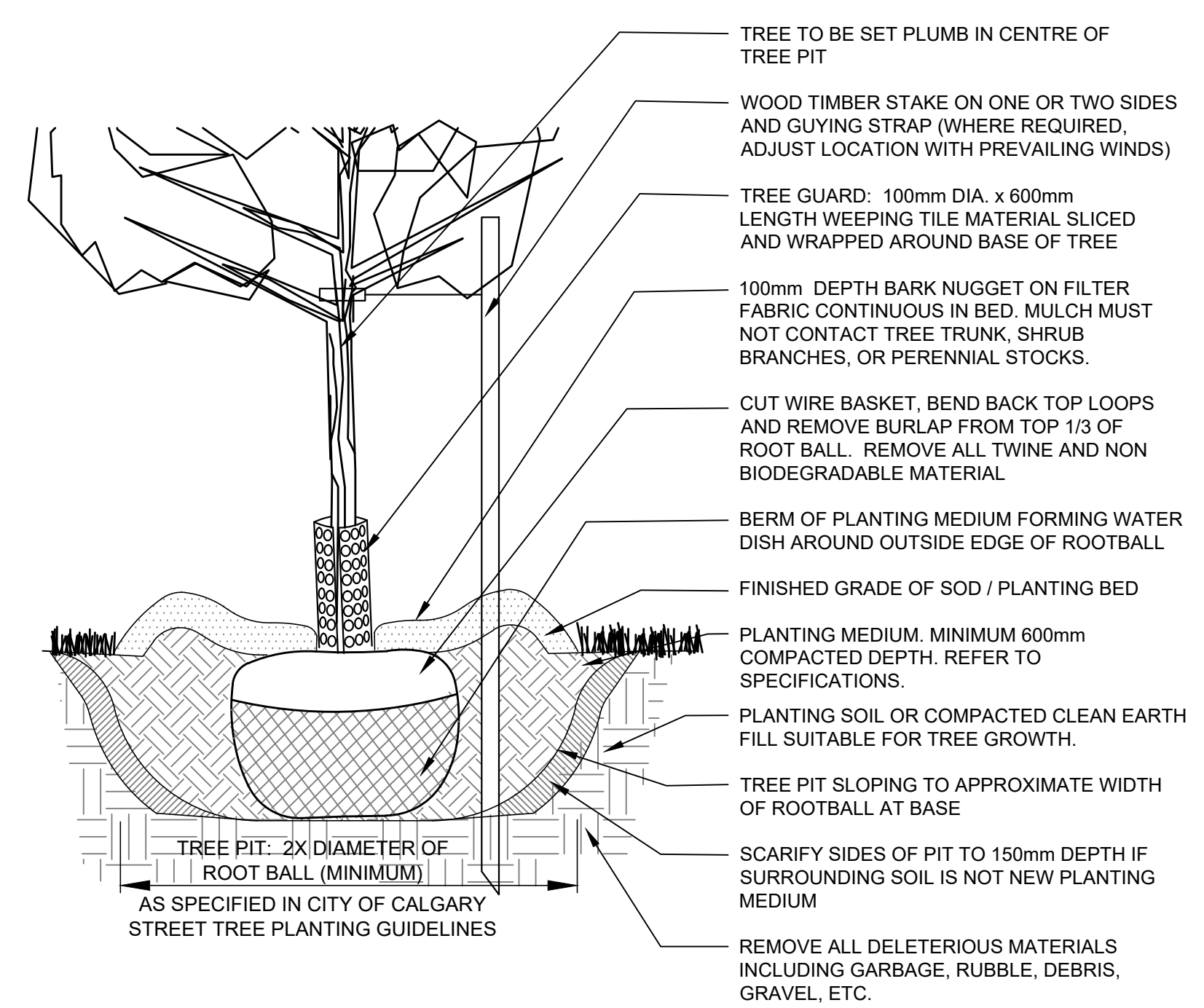
NOTE:
1. BIKE RACKS ON CONCRETE TO BE SURFACE MOUNTED AS PER MANUFACTURER'S SPECIFICATIONS.
2. ALL ALUMINUM CONSTRUCTION.
3. WATER JET CUT LOGO IN CENTER.
4. PAINT: RAL 9005 (SMOOTH GLOSSY)
5. GLIDE: BOLT DOWN TABS
MUST BE BOLTED DOWN

3 BICYCLE RACK
L3-0 N.T.S.



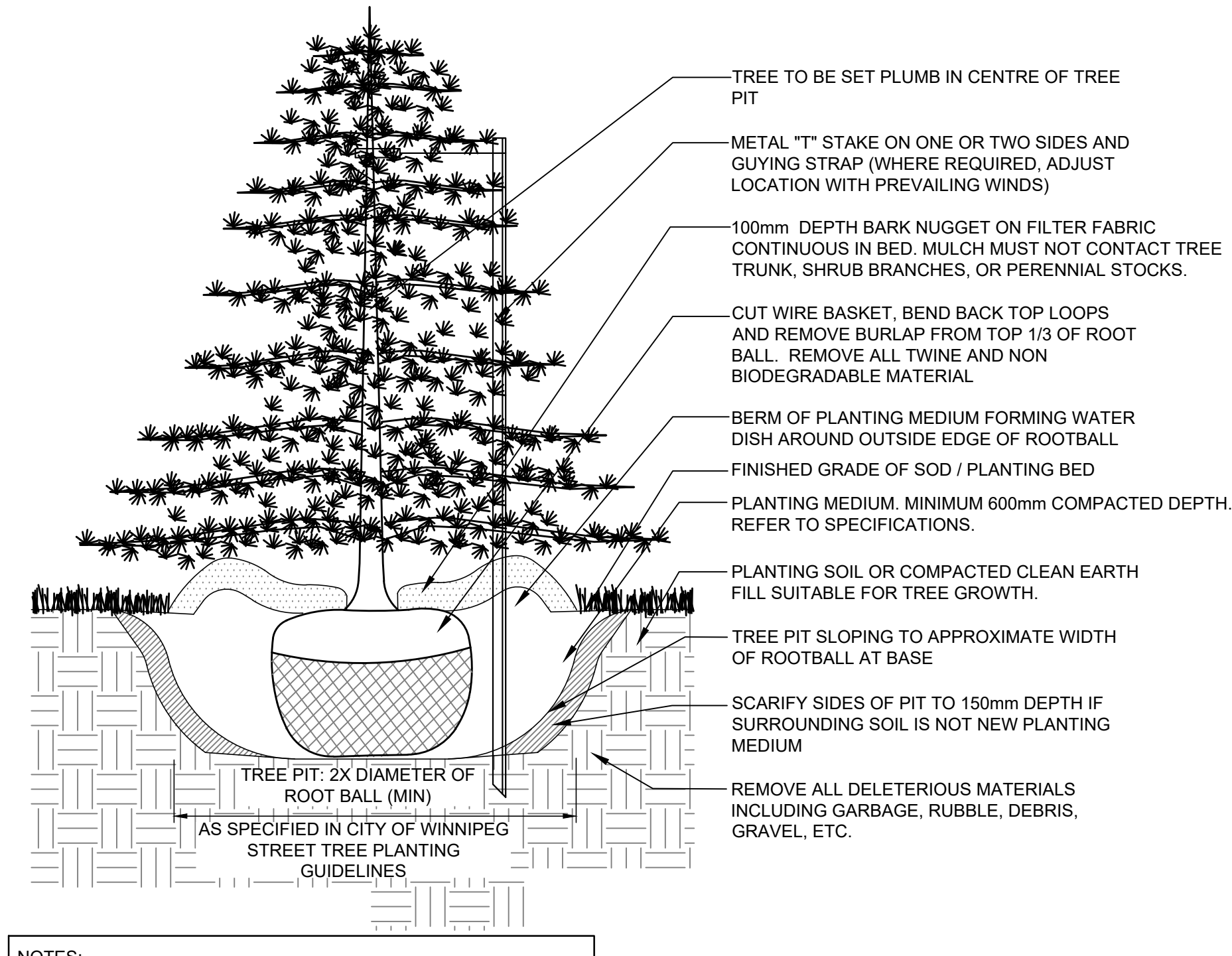
NOTES:
• ALL FASTENINGS AND HARDWARE TO BE GALVANIZED OR ZINC PLATED AND ARE INCIDENTAL TO THE CONSTRUCTION OF THE FENCE.
• ALL WOOD TO BE PRESSURE TREATED AND STAINED CEDAR. PROVIDE STAIN SAMPLE FOR APPROVAL PRIOR TO PURCHASE.
• ALL LUMBER SIZES SHOWN ARE NOMINAL.
• PAINT ALL CUTS WITH APPROVED WOOD PRESERVATIVE.
• ADJUST LENGTH OF END FENCE PANEL AS REQUIRED.

4 1800mm (6') HT WOOD SCREEN FENCE
L3-0 N.T.S.



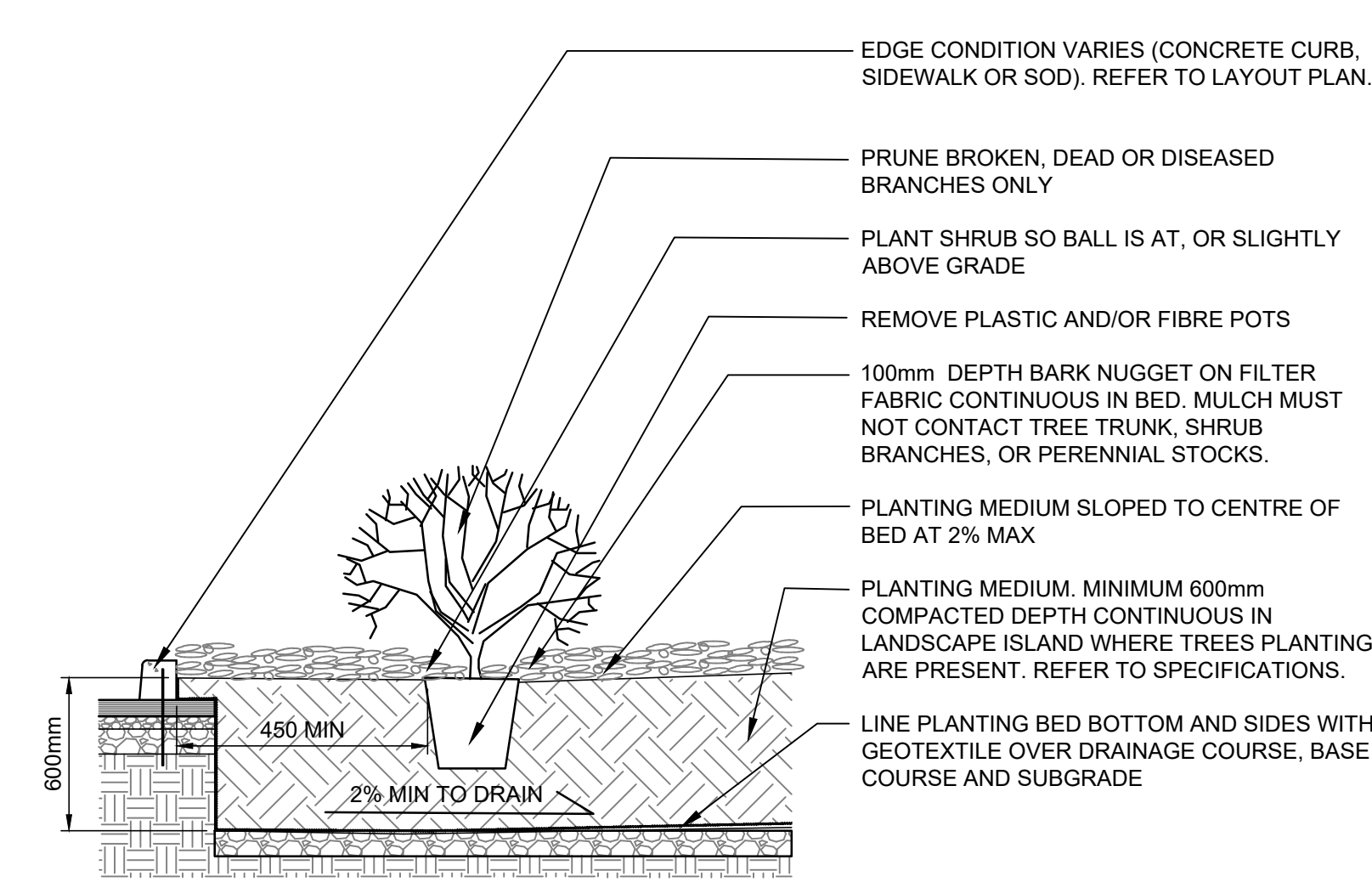
NOTE:
1. CONTINUOUS 600mm DEEP PLANTING SOIL WHEN TREE IS PLANTED IN PLANTING BED

5 TYPICAL DECIDUOUS TREE PLANTING
L3-0 N.T.S.



NOTES:
1. CONTINUOUS 600mm DEEP PLANTING SOIL WHEN TREE IS PLANTED IN PLANTING BED OR MULCH.
2. BARK NUGGET TO BE CONTINUOUS AROUND GROUPS OF TREES AS PER PLAN

6 TYPICAL CONIFEROUS TREE PLANTING
L3-0 N.T.S.



NOTES:
1. ALL BARK NUGGET TO BE FREE OF BRANCHES AND DELETERIOUS MATERIALS.
2. CONTINUOUS 300mm DEEP PLANTING MEDIUM FOR FULL AREA OF BEDS WITH ONLY SHRUBS.
3. CONTINUOUS 600mm DEEP PLANTING MEDIUM FOR FULL AREA OF BEDS WITH TREES AND SHRUBS.

7 TYPICAL SHRUB BED PLANTING
L3-0 N.T.S.

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DP-0	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2026

number TEN architectural group
Winnipeg Office 204 942 0981
Victoria Office 250 360 2106
architecture ■ interior design ■ planning

RANGEVIEW
28 HEIRLOOM ST SE, CALGARY, ALBERTA
Plan: 2511677; Block: 25; Lot: 16

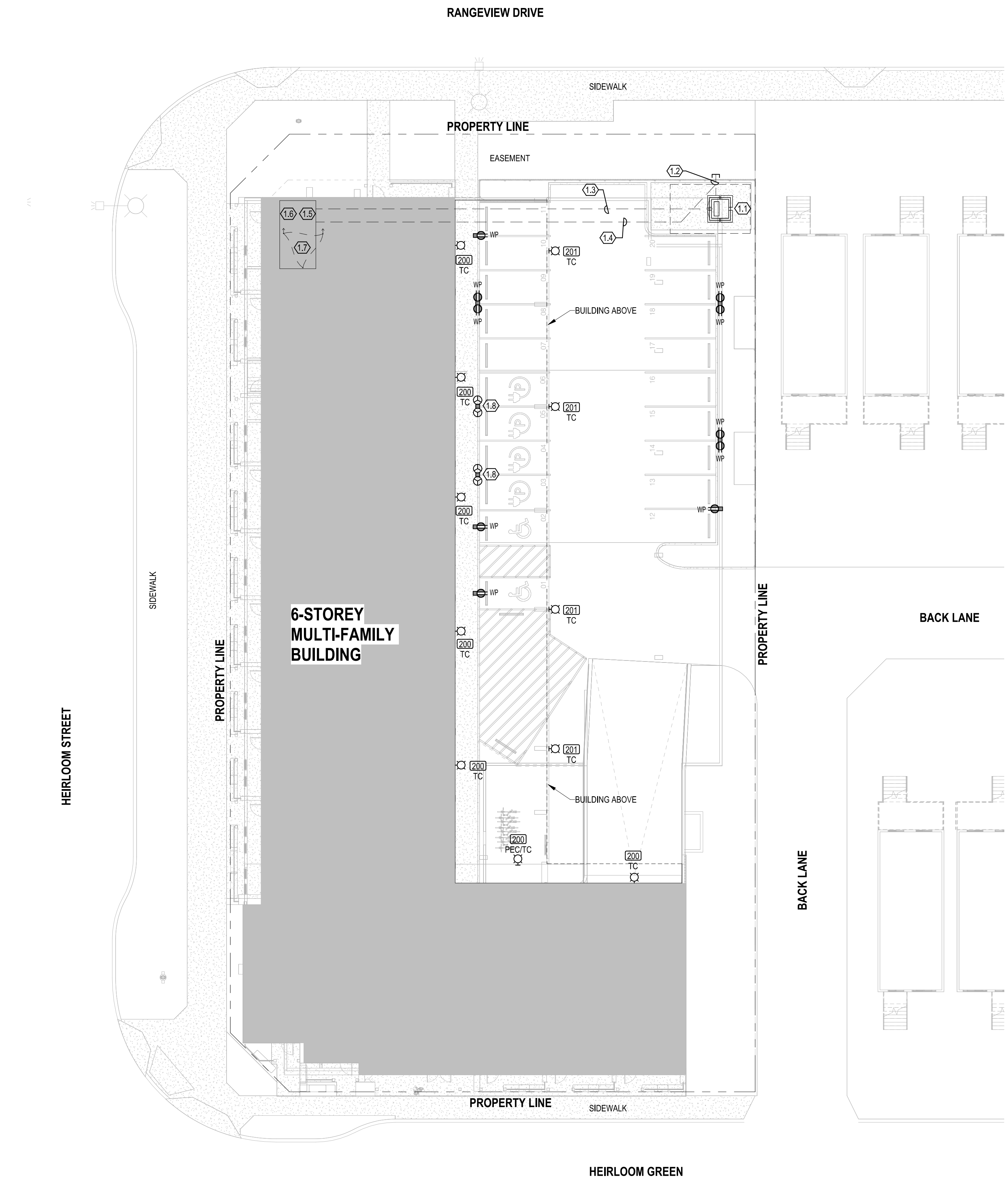
project
LANDSCAPE DETAILS
sheet title
McGOWAN RUSSELL
consultant

The Alberta Association of Landscape Architects
Jacqueline Wilkie

seal scale: As indicated
drawn by: NY/JW date: JANUARY 27, 2026
checked by: JW
project no. 25-040 sheet no. DP-L3-0

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PROJECT NO.	DESCRIPTION	REVISED (DATE/PLotted)
025 09 100	ISSUED FOR DEVELOPMENT PERMIT	2026.02.06



- ### GENERAL SITE NOTES
- ELECTRICAL CONTRACTOR TO CONTACT EACH UTILITY'S FIELD PERSONNEL. MEET ON SITE AND CONFIRM SITE ENTRY POINTS AS WELL AS TO COORDINATE ANY SPECIAL REQUIREMENTS PRIOR TO TRENCHING. CONFIRM REQUIREMENT AND PLACEMENT OF PULL PITS. CONFIRM PLACEMENT OF PEDESTALS AND/OR TRANSFORMERS.
 - ENSURE PROPER CLEARANCES ARE MAINTAINED FROM DEEP SERVICES, HYDRANTS, & VALVES - 3m (10') HORIZONTAL, OR GAS LINES 1.0m (5') HORIZONTAL. CONFIRM CLEARANCES INDICATED IN THIS NOTE WITH THE LOCAL UTILITY'S OR AUTHORITY'S REQUIREMENT.
 - PULL PITS OR ABOVE GROUND PEDESTALS ARE TO BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR WHERE SHOWN. COORDINATE REQUIREMENTS WITH UTILITY AND INSTALLATION DETAILS WITH THE GENERAL CONTRACTOR.
 - ALL SITE LIGHTING TO BE #10 WIRING UNLESS OTHERWISE SHOWN ON THE DRAWING OR, IF REQUIRED, INCREASE SIZE TO CEC VOLTAGE DROP REQUIREMENTS.
 - VEHICLE RECEPTACLE WIRING FOR VOLTAGE DROP AS FOLLOWS: USE #12 WIRING TO 28m (92') MAX, #10 WIRING TO 45m (147') MAX, #8 WIRING TO 70m (230') MAX.

- ### KEYNOTES - SITE
- PADMOUNT TRANSFORMER, TRANSFORMER PROVIDED AND INSTALLED BY PRIMARY ENGINEERING AND CONSTRUCTION CORPORATION IN ACCORDANCE WITH ENMAX STANDARDS.
 - UTILITY PRIMARY POWER DUCTS / UTILITY COMMUNICATIONS DUCTS, PROVIDED AND INSTALLED BY PRIMARY ENGINEERING AND CONSTRUCTION CORPORATION.
 - SECONDARY POWER DUCTS, ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ONE 100mm (4") RPVC SECONDARY DUCTS IN ACCORDANCE WITH CEC DIAGRAM 311 CW SECONDARY CABLES. PROVIDE 75mm (3") CONCRETE ENCASUREMENT WHERE SHOWN ON DRAWINGS, OR WHERE REQUIRED BY THE LOCAL UTILITY OR CEC. REFER TO SINGLE LINE DIAGRAM FOR SIZE AND QUANTITY OF SECONDARY CABLES. COORDINATE INSTALLATION WITH PRIMARY ENGINEERING AND CONSTRUCTION CORPORATION.
 - TELEPHONE & CATV DUCTS: ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ONE 100mm (4") RPVC DUCT FOR TEL & ONE 100mm (4") RPVC DUCT FOR CATV AT 900mm (3') BELOW GRADE. PROVIDE 75mm (3") CONCRETE ENCASUREMENT WHERE SHOWN ON THE DRAWINGS, OR WHERE REQUIRED BY THE LOCAL UTILITY OR CEC. RUN FROM THE MAIN TTS/TVTS TO STUB OUT BY PRIMARY ENGINEERING.
 - APPROXIMATE LOCATION OF ELECTRICAL MAIN DISTRIBUTION EQUIPMENT. REFER TO PLAN DRAWINGS FOR EXACT LOCATION. APPROXIMATE LOCATION OF MAIN TTS/TVTS BACKBOARD. REFER TO PLAN DRAWINGS FOR EXACT LOCATION.
 - BUILDING GROUND GRID BURIED OUTSIDE, ADJACENT TO ELECTRICAL ROOM TO INCLUDE THREE 19mm (3/4") X 3m (10') COPPER RODS DRIVEN INTO THE EARTH SPACED A MINIMUM OF 3m (10') BETWEEN EACH ROD, WITH BARE #20 COPPER CONDUCTORS BOLTED TO EACH ROD AS SHOWN. PROVIDE TWO INCOMING TAILS TO BE TERMINATED ON THE MAIN DISTRIBUTION PANEL NEUTRAL BUS. INSTALLATION PHOTOGRAPHS AND EARTH TO GROUND RESISTANCE TEST TO BE COMPLETED AND SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO BACKFILL. REFER TO SPECIFICATIONS FOR FURTHER DETAILS.
 - CONTRACTOR TO INSTALL AN OWNER PROVIDED EV CHARGER (HYPERCHARGE JNT-EVC10). CONFIRM EXACT MODEL AND MOUNTING CONFIGURATION PRIOR TO ROUGH-IN. EV CHARGERS TO BE CONTROLLED USING THE HYPERCHARGE POWER SHARING SYSTEM. UP TO 3 STALLS PER CIRCUIT. 2 STALLS PER CIRCUIT FOR EXTERIOR.

ELECTRICAL SYMBOL LEGEND

NOTE: SOME SYMBOL REFERENCES MAY NOT BE PART OF THIS PROJECT

LIGHTING	
LINE VOLTAGE SWITCH	RECESSED MOUNTED LIGHT FIXTURE
WALL MOUNT OCCUPANCY SENSOR SWITCH	SURFACE MOUNTED LIGHT FIXTURE
CEILING MOUNT OCCUPANCY SENSOR	SUSPENDED LIGHT FIXTURE
LOW VOLTAGE SWITCH, # INDICATES BUTTONS	STRIP LIGHT FIXTURE
CEILING MOUNT EXIT SIGN, LINE DENOTES FACE	WALL MOUNTED LINEAR LIGHT FIXTURE
WALL MOUNT EXIT SIGN, LINE DENOTES FACE	WALL MOUNTED LIGHT FIXTURE
EXIT SIGN CW EMERGENCY HEADS	SURFACE MOUNTED LIGHT FIXTURE
REMOTE EMERGENCY HEADS	RECESSED DOWNLIGHT
BATTERY PACK CW EMERGENCY HEADS	PENDANT MOUNT LIGHT FIXTURE
HATCH INDICATES EMERGENCY FIXTURE	TRACK LIGHT, NO. OF HEADS AS PER PLANS
FIXTURE TYPE MARKER	STRIP LIGHT FIXTURE
CIRCUIT	ILLUMINATED BOLLARD
SWITCH ID / LIGHTING CONTROL ZONE	POLE MOUNTED LIGHT FIXTURE
MOUNTING HEIGHT / SUSPENSION LENGTH	

LIGHTING SYMBOL ANNOTATIONS:	
PEC PHOTOELECTRIC CELL	D DIMMER
TC TIMELOCK	DT DUAL TECHNOLOGY
NL NIGHTLIGHT (UN-SWITCHED)	VAC VACANCY SENSOR (MANUAL ON, AUTO OFF)
3 3-WAY	EM FIXTURE POWERED FROM EMERGENCY SOURCE
LV LOW VOLTAGE	EM# EMERGENCY BATTERY PACK I.D.

POWER	
DUPLEX RECEPTACLE	SPECIAL RECEPTACLE
QUAD RECEPTACLE	JUNCTION BOX
GFI RECEPTACLE	PAC POLE
SPLIT FED RECEPTACLE	MOTOR
HALF SWITCHED RECEPTACLE	DISCONNECT SWITCH
ISOLATED GROUND RECEPTACLE	MAGNETIC STARTER / VFD
PEDESTAL MOUNTED RECEPTACLE	SURGE PROTECTION DEVICE

POWER SYMBOL ANNOTATIONS:	
T T-SLOT (20A)	TR TAMPER RESISTANT
WP WEATHERPROOF	U USB CHARGER

DISTRIBUTION	
SURFACE MOUNTED PANELBOARD	UTILITY METER STACK
RECESSED MOUNTED PANELBOARD	UTILITY METER
COMMUNICATIONS BACKBOARD	GROUND BAR
LOW TENSION PANEL / CABINET	TRANSFORMER

DISTRIBUTION SYMBOL ANNOTATIONS:	
MOP MAIN DISTRIBUTION PANEL	LVRC LOW VOLTAGE RELAY PANEL
CDP CENTRAL DISTRIBUTION PANEL	CB COMMUNICATIONS BACKBOARD
MCC MOTOR CONTROL CENTER	TX TRANSFORMER

LOW TENSION	
DATA NETWORK JACK	WIRELESS ACCESS POINT
TELEPHONE JACK	PREWIRE DATA DROP IN CEILING SPACE
COMBINATION TELEPHONE / DATA JACK	PUSHBUTTON
TELEVISION COAX OUTLET	UP / DOWN / STOP PUSHBUTTON
HDMI OUTLET	CEILING MOUNTED SPEAKER
DOORBELL BUZZER / DOORBELL CHIME	WALL MOUNTED SPEAKER
THERMOSTAT	CO ₂ / NO SENSORS

LOW TENSION SYMBOL ANNOTATIONS:	
# NUMBER INDICATES QUANTITY OF CABLES / DROPS AT EACH LOCATION	

FIRE ALARM	
HORN	HEAT DETECTOR - FIXED TEMPERATURE
HORN STROBE	HEAT DETECTOR - RATE OF RISE
STROBE	SMOKE DETECTOR
MANUAL STATION	SMOKE ALARM (120V)
SPEAKER	DUCT SMOKE DETECTOR
SPEAKER STROBE	END OF LINE RESISTOR
ELECTROMAGNETIC DOOR HOLD OPEN	FIRE ALARM MODULE
FIRE ALARM PANEL	FIRE PHONE

FIRE ALARM SYMBOL ANNOTATIONS:	
# CANDELA RATING FOR STROBE	MM MONITORING MODULE
FACP FIRE ALARM CONTROL PANEL	CM CONTROL MODULE
FAAP FIRE ALARM ANNUNCIATOR PANEL	FS FLOW SWITCH
IM ISOLATOR MODULE	TS TAMPER SWITCH

SECURITY	
MOTION SENSOR	SECURITY DEVICE
VISUAL INDICATOR LIGHT	SECURITY CAMERA (CAT6 OUTLET)

SECURITY SYMBOL ANNOTATIONS:	
CR CARD READER	KP KEY PAD
ES ELECTRIC STRIKE	GB GLASS BREAK
DC DOOR CONTACT / DOOR POSITION SWITCH	ML MAGNETIC LOCK
RTX REQUEST TO EXIT	EC ELECTRONIC CLOSER

ANNOTATIONS	
UNDERGROUND / UNDERSLAB CONDUIT	KEY NOTE
OVERHEAD / SURFACE MOUNT CONDUIT	DOT ABOVE ANY SYMBOL INDICATES ABOVE COUNTER MOUNTING HEIGHT
CONDUIT STUB	
DRAWING REFERENCE	SQUARE AROUND ANY SYMBOL INDICATES FLOOR MOUNT DEVICE
SECTION REFERENCE	CIRCLE AROUND ANY SYMBOL INDICATES CEILING MOUNT DEVICE
SINGLE LINE DIAGRAM WIRE TAG, Y = WYE, D = DELTA CONFIGURATION	

SITE - ELECTRICAL PLAN
SCALE: 1/16" = 1'-0"
0 8 16 32

NOT FOR CONSTRUCTION
DO NOT CONSTRUCT UNLESS APPROVAL HAS BEEN RECEIVED FROM ALL GOVERNING AUTHORITIES.

LEGAL DESCRIPTION
LOT 16, BLOCK 25
PLAN 2511677
28 HEIRLOOM ST SE
CALGARY, ALBERTA

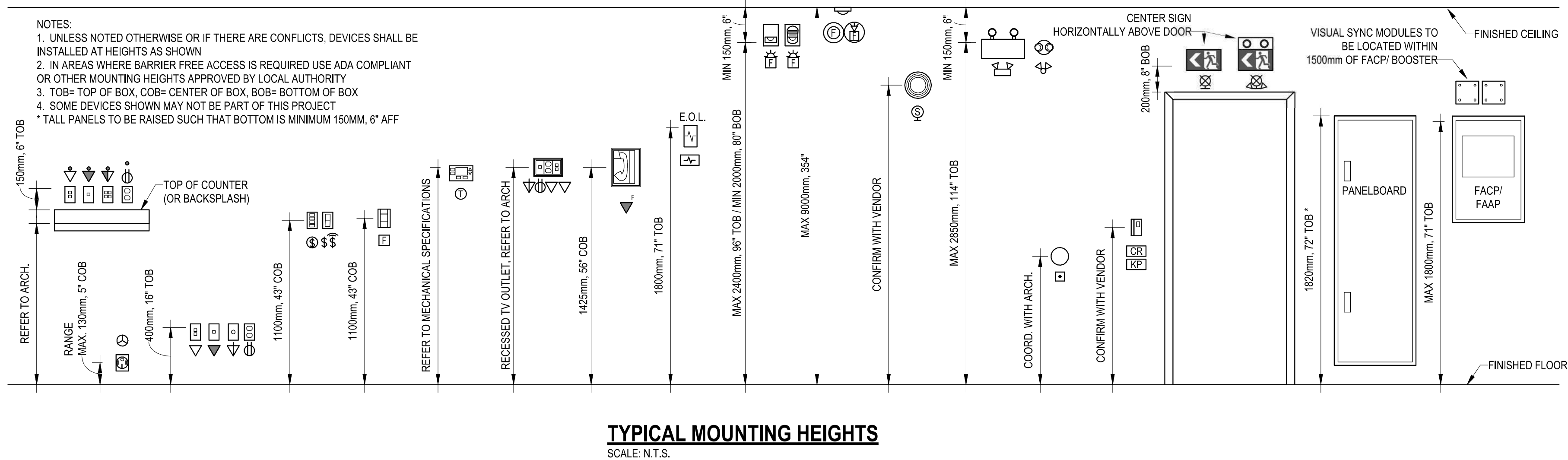
PROJECT MANAGER:
BRAD KEMP
780.801.6139
Brad.Kemp@englobecorp.com
PROJECT #: 02509100

CODE COMPLIANCE
THIS SET OF DRAWINGS AND THE DESIGNS CONTAINED WITHIN COMPLY WITH THE FOLLOWING CODES:
BUILDING CODE: NBC (AE) 2023
ELECTRICAL CODE: CEC 2024
ENERGY CODE: NECB 2023

LIGHTING FIXTURE SCHEDULE

NOTES:
EQUIVALENT FIXTURES ARE ACCEPTABLE UPON APPROVAL OF ENGINEER AND INTERIOR DESIGNER. REFER TO ARCHITECTURAL EXTERIOR ELEVATIONS FOR EXACT FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
LIGHT FIXTURES AND LAMPS TO HAVE A COLOR TEMPERATURE OF 3000K UNLESS NOTED OTHERWISE.
ALL EMERGENCY LIGHTING SOURCE BATTERIES TO BE SIZED FOR 60 MINUTE OPERATION. FEED FROM THE SAME CIRCUIT AS THE LOCAL LIGHTING.
ALL REMOTE FIXTURES TO BE FED FROM BATTERY SOURCES THAT ARE ON THE SAME CIRCUIT AS THE LOCAL LIGHTING.
ALL EMERGENCY FIXTURE HEADS TO MATCH THROUGHOUT THE ENTIRE PROJECT.

TYPE	MANUFACTURER	MODEL NUMBER	VOLTAGE	WATTAGE	LAMP	MOUNTING	DESCRIPTION
EXTERIOR							
200	SIGNIFY - KEENE	LPW18-20-WW-G3-4-UNV	120 V	22 VA	2,425 lm LUMEN LED	WALL MOUNT	WALL MOUNT LED FIXTURE, TYPE 4 DISTRIBUTION.
201	SIGNIFY - KEENE	LPW18-65-WW-G3-4-UNV	120 V	48 VA	4,848 LUMEN LED	WALL MOUNT	WALL MOUNT LED FIXTURE, TYPE 4 DISTRIBUTION.



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RANGEVIEW 6 MULTI-FAMILY DEVELOPMENT
28 HEIRLOOM ST SE, CALGARY, ALBERTA
project
sheet title
ENGLOBE
consultant

PERMIT TO PRACTICE
IN PROVINCE: *Eric Buller*
DATE: FEB 05, 2025
PERMIT NUMBER: P 07841
The Association of Alberta (AEECA)
ID: 175990
Feb 05, 2025

scale: As indicated
date: 2026.02.06
checked by: BK
project no. 025 09 100
sheet no. E-001

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REVISED NO.	DESCRIPTION	REVISED BY/DATE PLOTTED
010	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2020

EXISTING CONDITIONS



SOUTHEAST CORNER



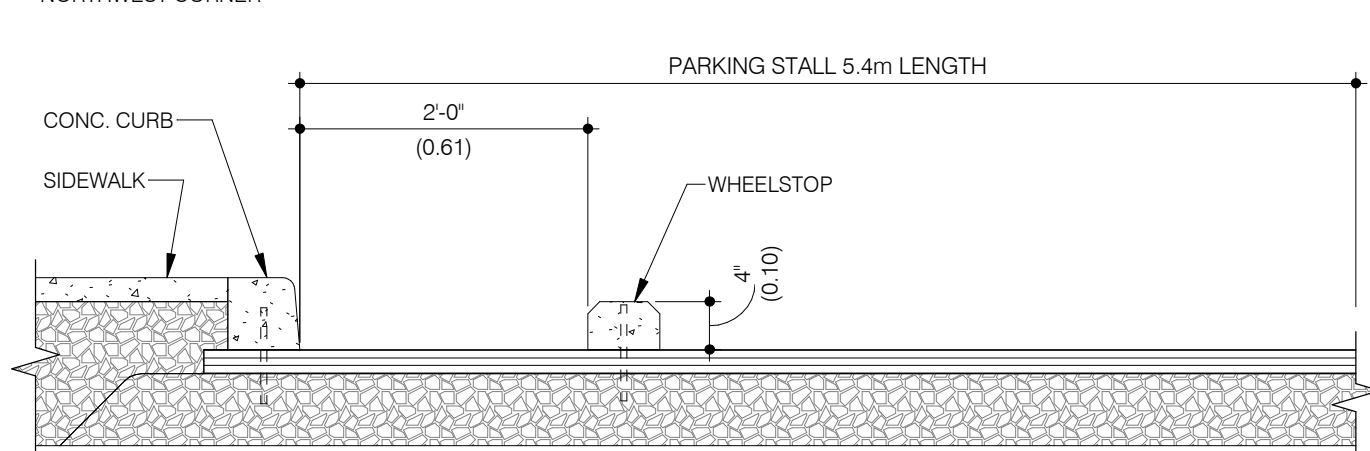
SOUTHWEST CORNER



NORTHEAST CORNER



NORTHWEST CORNER



SECTION DETAIL - WHEEL STOP
SCALE: 3/4" = 1'-0"

PROJECT INFORMATION:

GENERAL ZONING INFORMATION
LEGAL DESCRIPTION: PLAN 2511677, BLOCK 25, LOT 16
MUNICIPAL ADDRESS: 28 HEIRLOOM ST SE, CALGARY, ALBERTA
SITE AREA: 0.72 ACRES 31,212.65 sq ft (2,901.9 sq m)
ZONING: PART 14 MIXED USE DISTRICTS
BUILDING CODE: ALBERTA BUILDING CODE 2023

UNIT COUNT	
- 1-BED	04 (05.9%)
- 1-BED + DEN	08 (11.3%)
- 2-BED	16 (22.2%)
- 2-BED + DEN	24 (34.3%)
- 3-BED	03 (04.3%)
- TOWNHOUSE	15 (21.3%)
TOTAL:	70 UNITS

DENSITY: 97.22 DWELLINGS PER ACRE
GROSS BUILDING AREA
PARKADE: 0.25,074 sq ft
BUILDING 1: 083,659 sq ft
TOTAL AREA: 108,773 sq ft
 83,669 sq ft / 31,363 sq ft = 2.67 FAR PROVIDED

REQUIRED SETBACKS
 ARTICLE 1374 (1)(A) REAR SETBACK 6.0m
 ARTICLE 1374 (2)(B) REAR SETBACK 7.5m
 SETBACKS REQUIRED < SETBACKS PROVIDED

CAR PARKING
MINIMUM CAR PARKING REQUIRED
 STANDARD STALLS: 0.75 STALL / UNIT = 53
 VISITOR STALLS: 0.1 / UNIT = 07
TOTAL: = 70

CAR PARKING PROVIDED
 RESIDENTIAL SURFACE PARKING: 13
 RESIDENTIAL UNDERGROUND PARKING: 68
 VISITOR SURFACE PARKING: 07
TOTAL PARKING: 88
RATIO: 1.26

BARRIER-FREE PARKING SPACES REQUIRED
 BARRIER-FREE PARKING SPACES REQUIRED: 04
 *BASED ON ABC2023 TABLE 3.8.2.5 (51-100 STALLS REQ.)
 BARRIER-FREE PARKING SPACES PROVIDED: 04

BICYCLE STORAGE
BIKE PARKING SPACE REQUIRED
 - CLASS 1 BICYCLE STORAGE REQUIRED: 35
 - CLASS 2 BICYCLE STORAGE REQUIRED: 07
TOTAL BICYCLE STORAGE REQUIRED: 42

BIKE PARKING SPACE PROVIDED
 - CLASS 1 BICYCLE STORAGE PROVIDED: 35
 - CLASS 2 BICYCLE STORAGE PROVIDED: 08
TOTAL BICYCLE STORAGE PROVIDED: 43 (+1 REQ.)
 CLASS 1 RACKS ARE LOCATED IN A SECURED, LOCKED INDOOR STORAGE. BOTH CLASS 1 AND CLASS 2 RACKS ARE HORIZONTAL RACKS, BOLTED TO CONCRETE SLABS.

REFER TO SHEET DP-101 FOR CLASS 1 BIKE PARKING LAYOUT.



CLASS 1 & CLASS 2 HORIZONTAL BIKE RACK

LOADING
LOADING SPACE REQUIRED
 1 LOADING SPACE (MIN. WIDTH = 3.1m, DEPTH = 2.1m, HEIGHT = 4.3m)
 LOADING SPACE PROVIDED: 1

FIRE PROTECTION
 REFER TO SHEET DP-002 FOR FIRE TRUCK ACCESS, FIRE HYDRANT LOCATIONS, MAIN ENTRANCE(S) AND FIRE DEPARTMENT CONNECTION.

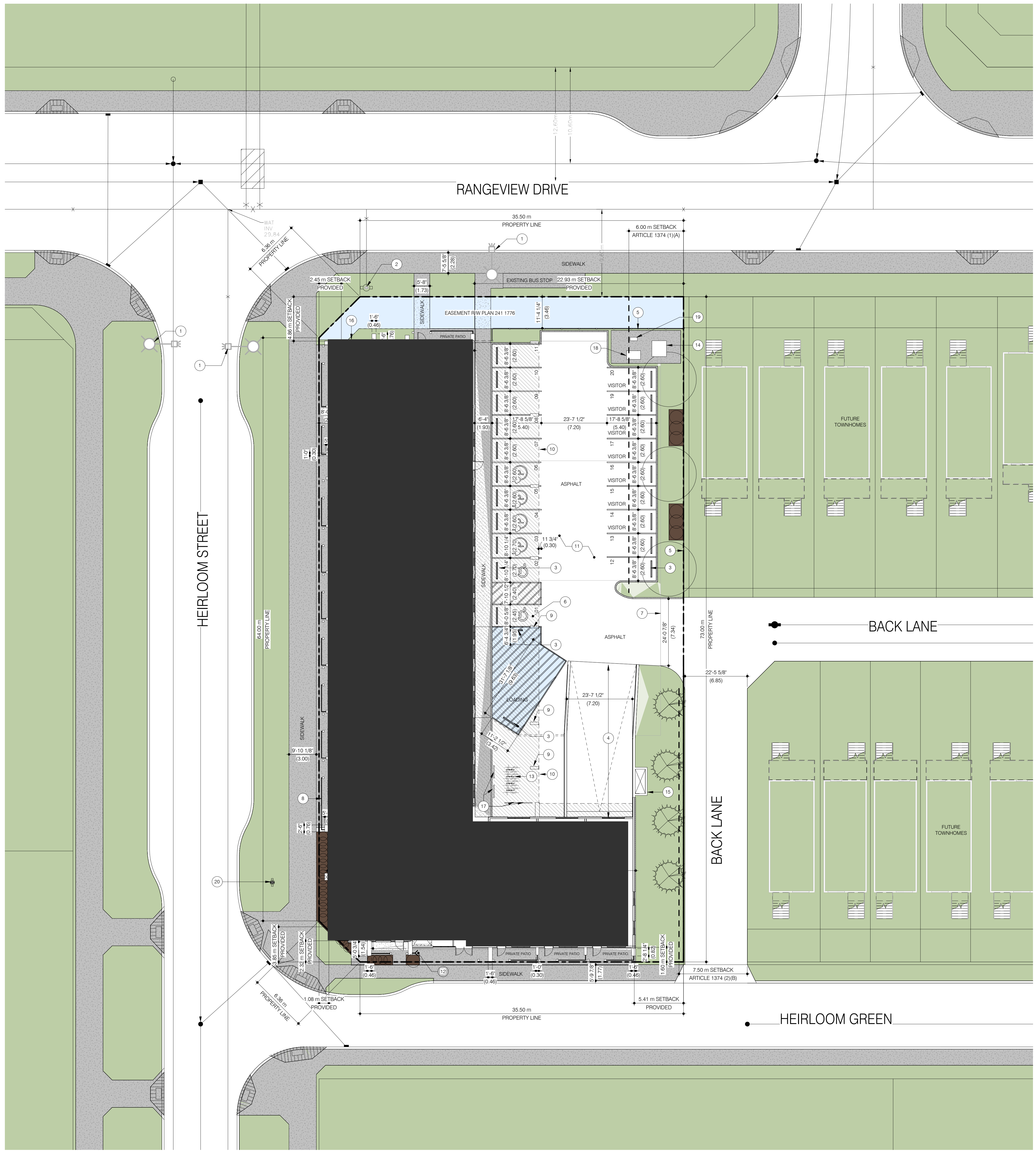
PEDESTRIAN CONNECTIVITY
 REFER TO SHEET DP-003 FOR PEDESTRIAN CONNECTIVITY AND BUS SHELTER LOCATIONS.

AMENITY AREA
 REFER TO SHEETS DP-004, DP-005 & DP-006 FOR AMENITY AREA CALCULATIONS.

WASTE MANAGEMENT
 REFER TO SHEET DP-007 FOR WASTE COLLECTION DETAILS.

SITE PLAN KEYNOTES:

- 1 EXISTING LIGHT FIXTURE
- 2 EXISTING FIRE HYDRANT. REFER TO CIVIL DRAWINGS.
- 3 WHEEL STOP. TYPICAL AT STALLS FACING SIDEWALK. REFER TO SECTION DETAIL 2/DP-001.
- 4 PARKADE ACCESS RAMP C/W CONCRETE RETAINING WALL AND 3'-6" HIGH BLACK ALUMINUM PICKET GUARDRAIL.
- 5 6'-0" HIGH BROWN VINYL WOOD LOOK FENCE.
- 6 4" WIDE PAINTED DIAGONAL LINES.
- 7 OUTLINE OF PARKADE SHOWN THUSLY.
- 8 4'-0" WROUGHT IRON RAILING, BLACK FINISH. TYPICAL @ TOWNHOUSES PRIVATE PATIOS.
- 9 EXPOSED CONCRETE COLUMN, TYPICAL.
- 10 BUILDING SOFFIT ABOVE.
- 11 PARKADE LID.
- 12 FIRE DEPARTMENT CONNECTION.
- 13 SHORT TERM (CLASS 2) BICYCLE STORAGE (08), BICYCLE RACKS BOLTED TO CONCRETE.
- 14 ELECTRICAL TRANSFORMER LOCATION.
- 15 PARKADE EXHAUST WELL C/W METAL GRATE COVER.
- 16 GAS METER.
- 17 5'-0" WROUGHT IRON WOOD LOOK PRIVACY SCREEN. REFER TO LANDSCAPE FOR DETAILS.
- 18 ROGERS.
- 19 TELLUS.
- 20 PROPOSED FIRE HYDRANT.



SITE PLAN
SCALE: 1/16" = 1'-0"

number TEN architectural group
 Winnipeg Office 204 942.0981
 Victoria Office 250 360.2106
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RANGEVIEW 6 MULTI-FAMILY DEVELOPMENT
 28 HEIRLOOM ST SE, CALGARY, ALBERTA

project
 sheet title
 consultant

scale: As indicated
 date: 2026-02-06
 seal
 drawn by: MD/LB
 checked by: LB
 project no. 2026003
 sheet no. DP-001

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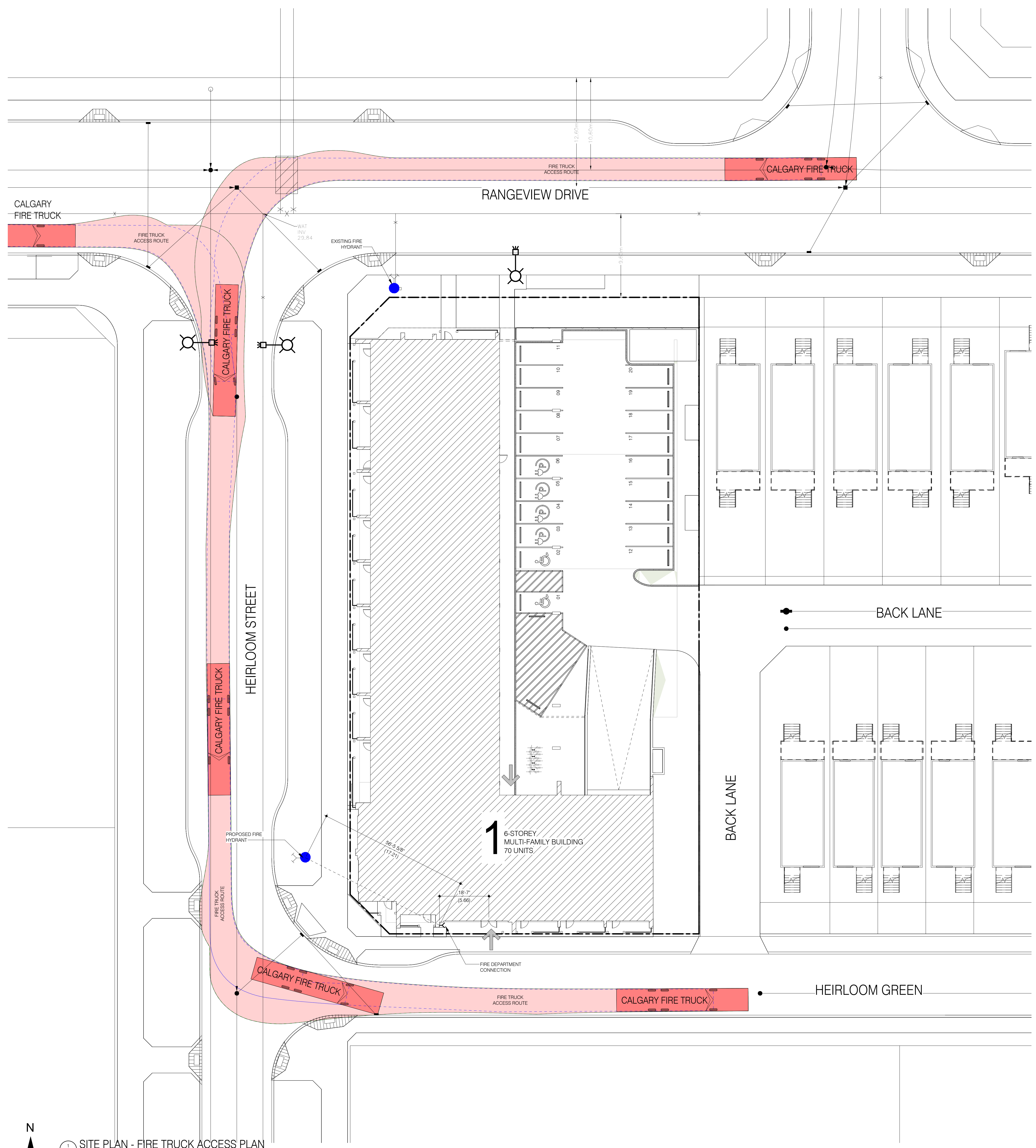
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FIRE ACCESS SITE PLAN INFORMATION:

BUILDING CODE: ALBERTA BUILDING CODE 2023
NUMBER OF STOREYS & FIRE PROTECTION:
 6 STOREYS, SPRINKLERED, FIRE ALARM
FIRE DEPARTMENT CONNECTION:
 REFER TO DRAWING 1-CP-002 FOR LOCATION AND DISTANCE TO FIRE HYDRANTS AND MAIN ENTRANCE
BUILDING AREA: SEE SHEET DP-001
FIREWALL: NOT APPLICABLE
NOTES:
 1. THE FIREFIGHTING VEHICLE ACCESS ROUTE CAN SUPPORT A MINIMUM WEIGHT OF 38,566 kg.
 2. FIRE ALARM PANEL TO BE LOCATED AT VESTIBULE OF THE BUILDING.

FIRE PROTECTION SYMBOL LEGEND:

- PROPERTY LINE (SITE BOUNDARY)
- FIRE TRUCK
- FIRE TRUCK WHEEL PATH
- FIRE TRUCK BODY PATH
- ACCESS ROUTE
- PATH DIRECTION
- BUILDING MAIN ENTRANCE
- FIRE HYDRANT



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 SITE PLAN - FIRE TRUCK ACCESS PLAN
 SCALE: 1/16" = 1'-0"

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 28 HEIRLOOM ST SE, CALGARY, ALBERTA

project
 SITE PLAN - FIRE TRUCK ACCESS
 sheet title

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 checked by: LB
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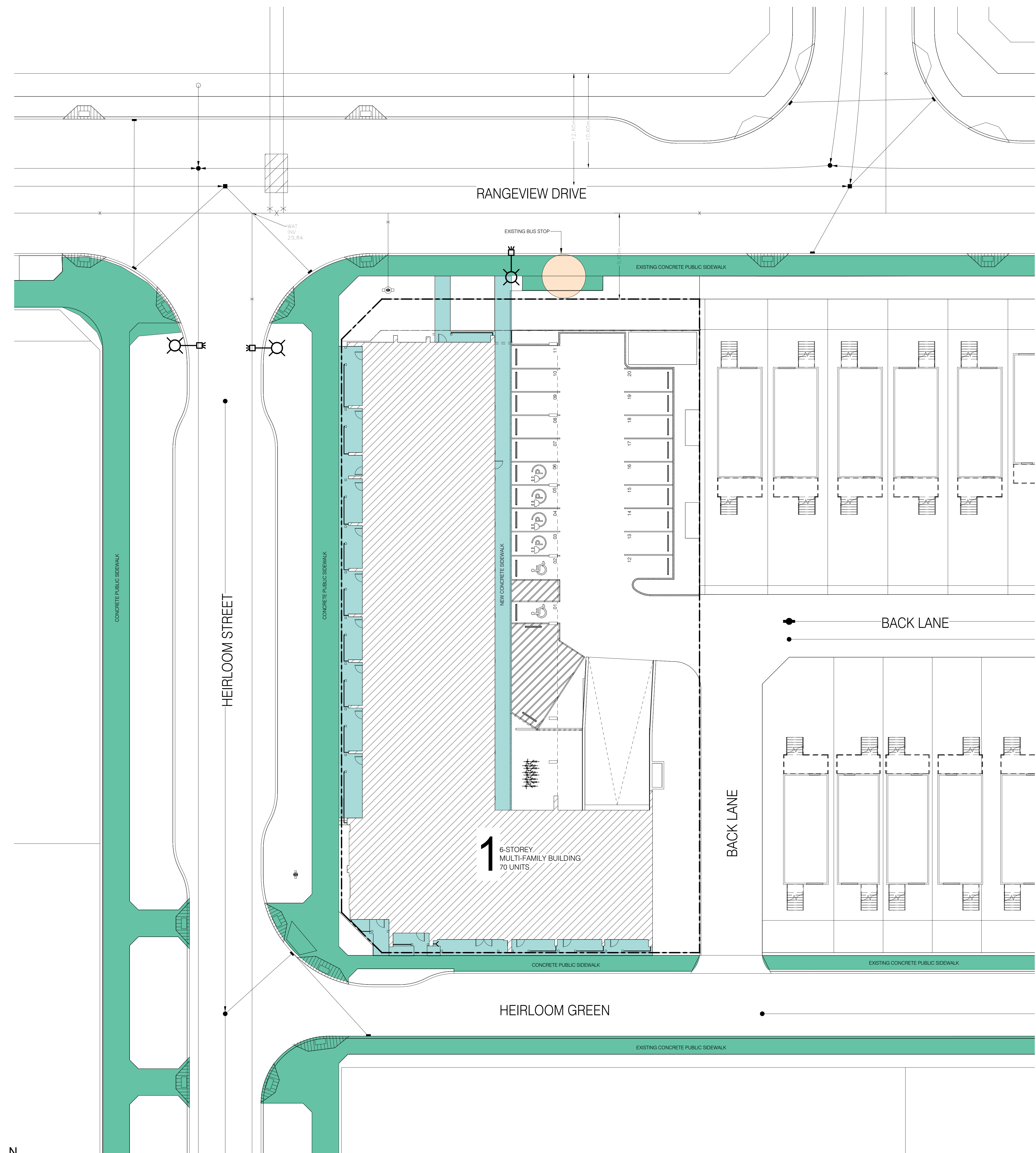
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PEDESTRIAN CONNECTIVITY:

1. THE DEVELOPMENT WILL PROVIDE ADEQUATE WALKWAYS TO ACCESS THE BUILDING AND THE PARKING AREA, AS WELL AS THE PUBLIC PERIMETER SIDEWALKS AND BUS STOPS.
2. EACH TOWNHOUSE (14 IN TOTAL) AT THE MAIN FLOOR HAS A FRONT ENTRANCE FACING THE PUBLIC STREET, ACTIVATING THE FACADE AND INCREASING FOOT TRAFFIC IN THE COMMUNITY.

PEDESTRIAN CONNECTION LEGEND:

- BUS STOP (INCLUDING FUTURE BUS STOPS)
- PEDESTRIAN CONNECTION - PUBLIC SIDEWALK
- PEDESTRIAN CONNECTION - PROPOSED SIDEWALK



N
 SITE PLAN - PEDESTRIAN CONNECTIONS
 SCALE: 1/16" = 1'-0"

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 28 HEIRLOOM ST SE, CALGARY, ALBERTA
 project
 SITE PLAN - PEDESTRIAN CONNECTIVITY
 sheet title

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 sheet no. DP-003

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001	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2026

RESIDENTIAL AMENITY SPACE CALCULATIONS:

RESIDENTIAL AMENITY SPACE REQUIRED

NOTE:
 - 5.0 sq.m. PER DWELLING = 5.0 x 70 UNITS = 350 sq.m. (3,767 sq.ft.)
 - MINIMUM 2.0 sq.m. PER DWELLING
 - NO MINIMUM DIMENSIONS LESS THAN 2m
 - ARTICLE 507(9) APPLY TO ALL COMMON SPACES PROVIDED
 - ARTICLE 577 (10 & 11) INDOOR AMENITY NOT PROVIDED IN REQUIRED AMENITY SPACE CALCULATIONS

RESIDENTIAL AMENITY SPACE PROVIDED

INDOOR (PUBLIC)

- LOUNGE TOTAL: 0.098 sq.m. (1,055 sq.ft.)
- INDOOR (PUBLIC) TOTAL: 0.098 sq.m. (1,055 sq.ft.)

OUTDOOR (PUBLIC)

- RESIDENTS ROOF PATIO: 0.118 sq.m. (1,265 sq.ft.)
- OUTDOOR (PUBLIC) TOTAL: **0.118 sq.m. (1,265 sq.ft.)**

OUTDOOR (PRIVATE)

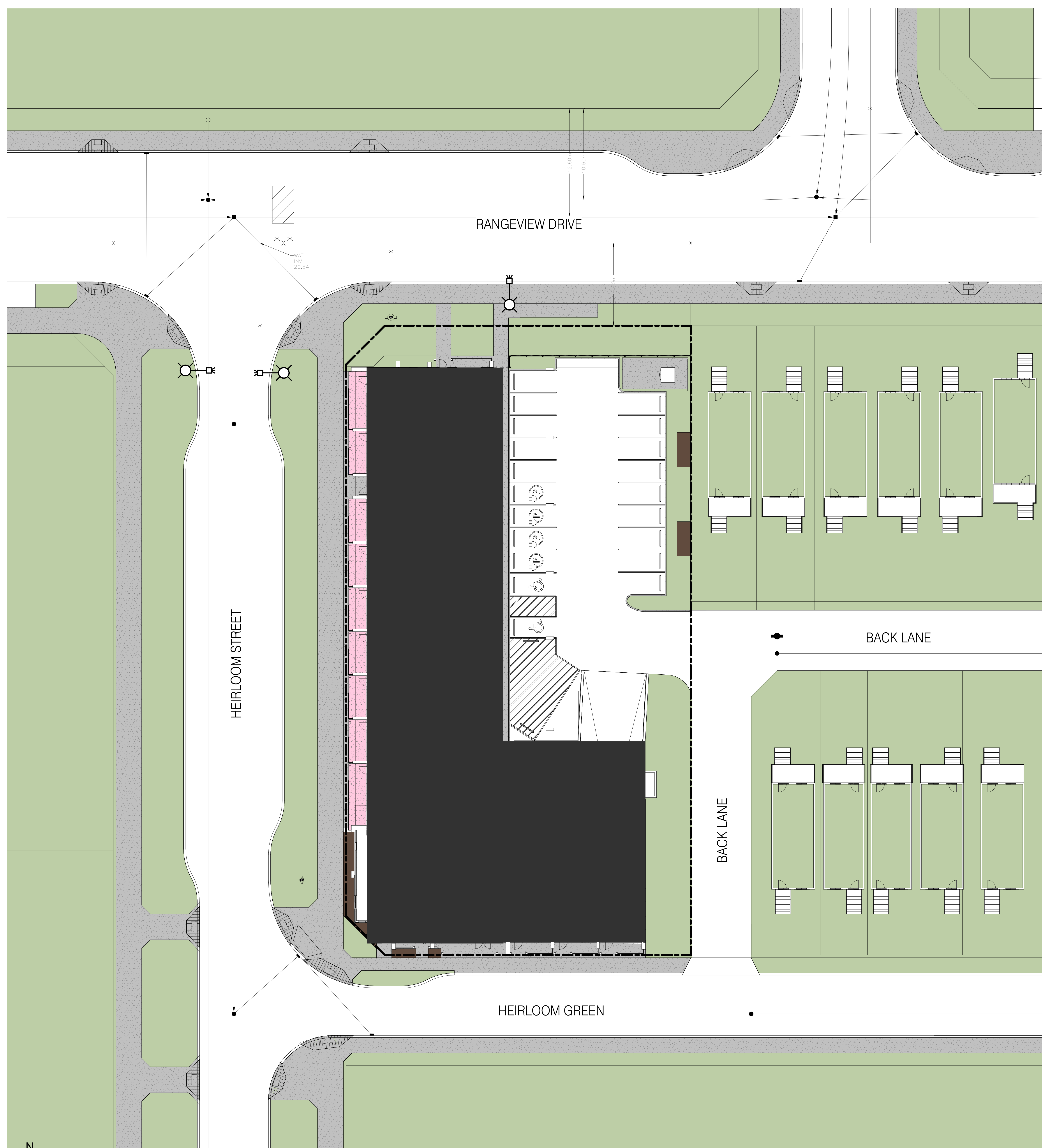
- TOWNHOUSE PATIOS: 0.097 sq.m. (1,042 sq.ft.)
- PRIVATE BALCONIES: 0.125 sq.m. (1,342 sq.ft.)
- THIRD FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- FOURTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- FIFTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- SIXTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- OUTDOOR (PRIVATE) TOTAL: **0.384 sq.m. (4,130 sq.ft.)**

AMENITY SPACE TOTAL (OUTDOOR PUBLIC & OUTDOOR PRIVATE)
 (= 152 sq.m. (1,628 sq.ft.) THAN REQUIRED)

SITE AMENITY LEGEND:

- INDOOR RESIDENTIAL AMENITY
- PUBLIC OUTDOOR RESIDENTIAL AMENITY
- PRIVATE OUTDOOR RESIDENTIAL AMENITY

- NOTES:**
- THE MINIMUM LENGTH AND WIDTH OF THE AMENITY AREAS PROVIDED IS MORE THAN 2.0m.
 - PUBLIC OUTDOOR COMMON AMENITY AREAS ARE ACCESSIBLE BY RESIDENTS OF THE SITE.
 - REFER TO DP-004 FOR MAIN FLOOR PRIVATE AMENITIES, DP-005 FOR THIRD FLOOR AMENITY AREAS AND PRIVATE AMENITIES, AND DP-006 FOR PRIVATE AMENITIES FOR FOURTH-SIXTH FLOORS. NO PUBLIC PRIVATE AMENITY SPACE PROVIDED ON FLOOR 2.



SITE PLAN - RESIDENTIAL AMENITY SPACE - MAIN FLOOR
 SCALE: 1/16" = 1'-0"

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 28 HEIRLOOM ST SE, CALGARY, ALBERTA
 project
 SITE PLAN - RESIDENTIAL AMENITY SPACE - MAIN FLOOR
 sheet title

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 checked by: LB
 project no. 2026003

scale: As indicated
 date: 2026-02-06
 sheet no. DP-004

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001	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2026

RESIDENTIAL AMENITY SPACE CALCULATIONS:

RESIDENTIAL AMENITY SPACE REQUIRED

NOTE:
 - 5.0 sq.m. PER DWELLING = 5.0 x 70 UNITS = 350 sq.m. (3,767 sq.ft.)
 - MINIMUM 2.0 sq.m. PER DWELLINGS
 - NO MINIMUM DIMENSIONS LESS THAN 2m
 - ARTICLE 507(8) APPLY TO ALL COMMON SPACES PROVIDED
 - ARTICLE 577 (10 & 11) INDOOR AMENITY NOT PROVIDED IN REQUIRED AMENITY SPACE CALCULATIONS

RESIDENTIAL AMENITY SPACE PROVIDED

INDOOR (PUBLIC)

- LOUNGE TOTAL: 0.098 sq.m. (1,055 sq.ft.)
- INDOOR (PUBLIC) TOTAL: 0.098 sq.m. (1,055 sq.ft.)

OUTDOOR (PUBLIC)

- RESIDENTS ROOF PATIO: 0.118 sq.m. (1,265 sq.ft.)
- OUTDOOR (PUBLIC) TOTAL: 0.118 sq.m. (1,265 sq.ft.)

OUTDOOR (PRIVATE)

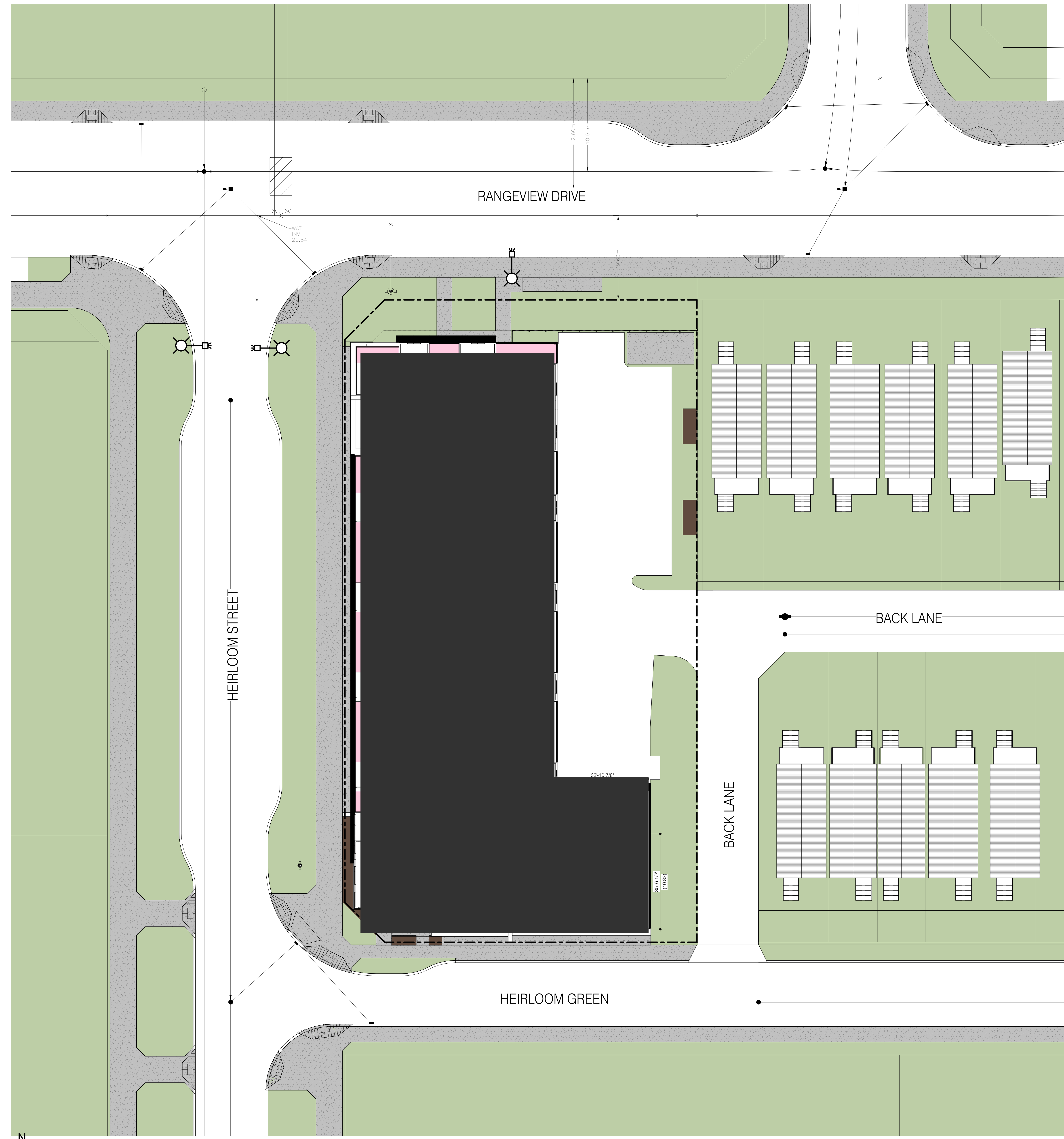
- TOWNHOUSE PATIOS: 0.097 sq.m. (1,042 sq.ft.)
- PRIVATE BALCONIES:
- THIRD FLOOR: 0.125 sq.m. (1,342 sq.ft.)
- FOURTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- FIFTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- SIXTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- OUTDOOR (PRIVATE) TOTAL: 0.384 sq.m. (4,130 sq.ft.)

AMENITY SPACE TOTAL: 0.502 sq.m. (5,395 sq.ft.)
 (= 152 sq.m. (1,628 sq.ft.) THAN REQUIRED)

SITE AMENITY LEGEND:

- INDOOR RESIDENTIAL AMENITY
- PUBLIC OUTDOOR RESIDENTIAL AMENITY
- PRIVATE OUTDOOR RESIDENTIAL AMENITY

- NOTES:**
- THE MINIMUM LENGTH AND WIDTH OF THE AMENITY AREAS PROVIDED IS MORE THAN 2.0m.
 - PUBLIC OUTDOOR COMMON AMENITY AREAS ARE ACCESSIBLE BY RESIDENTS OF THE SITE.
 - REFER TO DP-004 FOR MAIN FLOOR PRIVATE AMENITIES, DP-005 FOR THIRD FLOOR AMENITY AREAS AND PRIVATE AMENITIES, AND DP-006 FOR PRIVATE AMENITIES FOR FOURTH-SIXTH FLOORS. NO PUBLIC PRIVATE AMENITY SPACE PROVIDED ON FLOOR 2.



SITE PLAN - RESIDENTIAL AMENITY SPACE - THIRD FLOOR
 SCALE: 1/16" = 1'-0"

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 28 HEIRLOOM ST SE, CALGARY, ALBERTA
 project
 SITE PLAN - RESIDENTIAL AMENITY SPACE - THIRD FLOOR
 sheet title

consultant

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scale: As indicated
 date: 2026-02-06
 sheet no. DP-005

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RESIDENTIAL AMENITY SPACE CALCULATIONS:

RESIDENTIAL AMENITY SPACE REQUIRED

NOTE:
 - 5.0 sq.m. PER DWELLING = 5.0 x 70 UNITS = 350 sq.m. (3,767 sq.ft.)
 - MINIMUM 2.0 sq.m. PER DWELLING
 - NO MINIMUM DIMENSIONS LESS THAN 2m
 - ARTICLE 507(8) APPLY TO ALL COMMON SPACES PROVIDED
 - ARTICLE 577 (10 & 11) INDOOR AMENITY NOT PROVIDED IN REQUIRED AMENITY SPACE CALCULATIONS

RESIDENTIAL AMENITY SPACE PROVIDED

INDOOR (PUBLIC)

- LOUNGE TOTAL: 0.098 sq.m. (1,055 sq.ft.)
- INDOOR (PUBLIC) TOTAL: 0.098 sq.m. (1,055 sq.ft.)

OUTDOOR (PUBLIC)

- RESIDENTS ROOF PATIO: 0.118 sq.m. (1,265 sq.ft.)
- OUTDOOR (PUBLIC) TOTAL: **0.118 sq.m. (1,265 sq.ft.)**

OUTDOOR (PRIVATE)

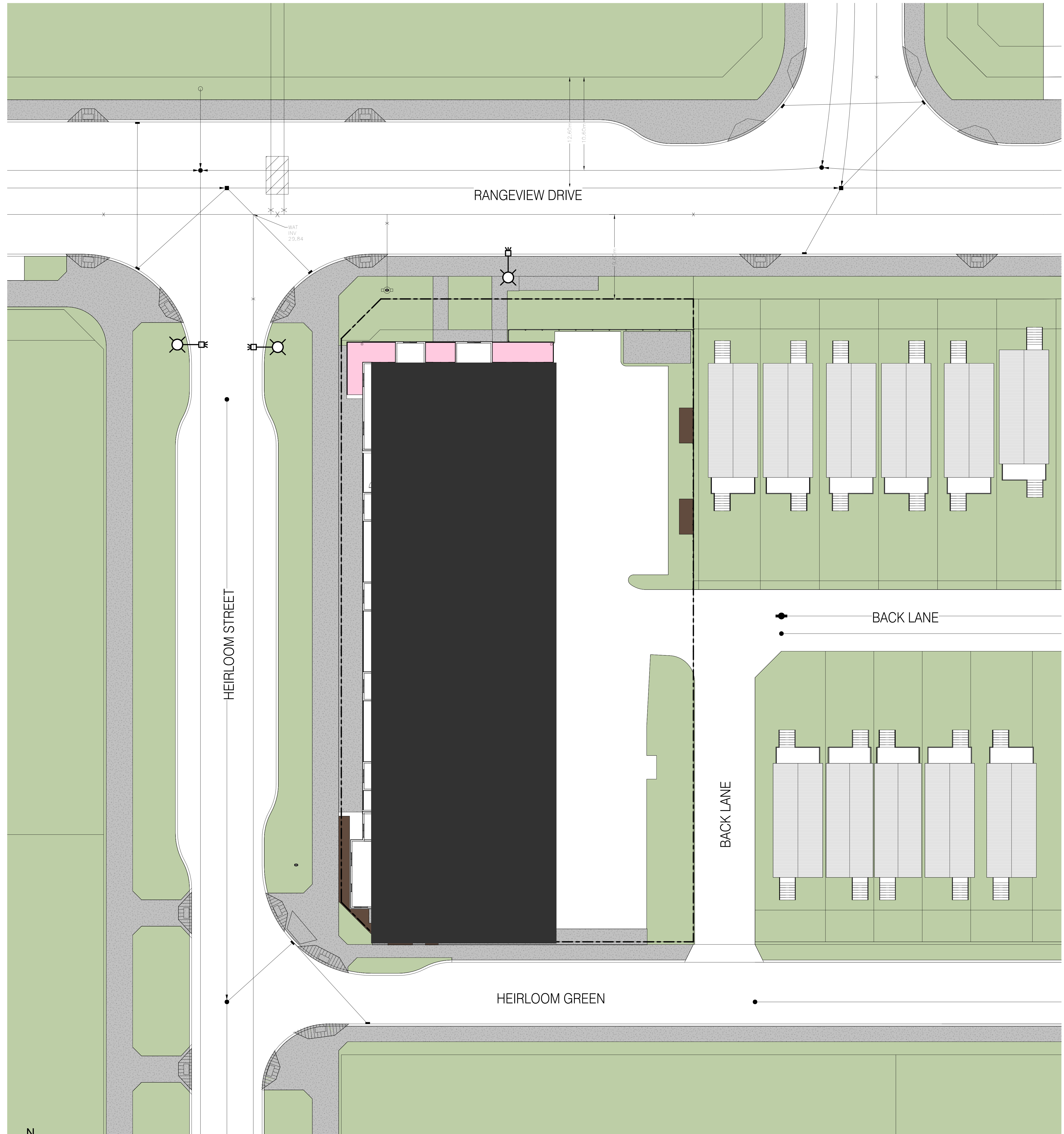
- TOWNHOUSE PATIOS: 0.097 sq.m. (1,042 sq.ft.)
- PRIVATE BALCONIES:
- THIRD FLOOR: 0.125 sq.m. (1,342 sq.ft.)
- FOURTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- FIFTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- SIXTH FLOOR: 0.054 sq.m. (0,582 sq.ft.)
- OUTDOOR (PRIVATE) TOTAL: **0.384 sq.m. (4,130 sq.ft.)**

AMENITY SPACE TOTAL:
(OUTDOOR PUBLIC & OUTDOOR PRIVATE)
 (= 152 sq.m. (1,628 sq.ft.) THAN REQUIRED)

SITE AMENITY LEGEND:

- INDOOR RESIDENTIAL AMENITY
- PUBLIC OUTDOOR RESIDENTIAL AMENITY
- PRIVATE OUTDOOR RESIDENTIAL AMENITY

- NOTES:**
- THE MINIMUM LENGTH AND WIDTH OF THE AMENITY AREAS PROVIDED IS MORE THAN 2.0m.
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 - REFER TO DP-004 FOR MAIN FLOOR PRIVATE AMENITIES, DP-005 FOR THIRD FLOOR AMENITY AREAS AND PRIVATE AMENITIES, AND DP-006 FOR PRIVATE AMENITIES FOR FOURTH-SIXTH FLOORS. NO PUBLIC PRIVATE AMENITY SPACE PROVIDED ON FLOOR 2.



SITE PLAN - RESIDENTIAL AMENITY SPACE - FOURTH-SIXTH FLOORS
 SCALE: 1/16" = 1'-0"

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 28 HEIRLOOM ST SE, CALGARY, ALBERTA
 project
 SITE PLAN - RESIDENTIAL AMENITY SPACE - FOURTH-SIXTH FLOORS
 sheet title

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DP-0	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2026

WASTE MANAGEMENT REQUIREMENTS:

WASTE LOAD REQUIREMENTS:
 REQUIRED:
 0.3 CUBIC YARD PER UNIT = 0.3 X 70 UNITS = 21.0 CY. (ONE PICK-UP PER WEEK)
 PROVIDED:
 - ORGANICS: 02 CY (1 CONTAINER)
 - RECYCLE: 08 CY (2 CONTAINERS)
 - WASTE: 11 CY (3 CONTAINERS)
 TOTAL: 21 CY (6 CONTAINERS)

METHOD OF COLLECTION:
 WASTE CONTAINERS WILL BE WHEELED OUT BY THE OWNERS MAINTENANCE EMPLOYEES FOR PICK-UP BY PRIVATE COMPANY. PICK-UP WILL OCCUR BY THE LOADING ZONE, ADJACENT TO THE RAMP.

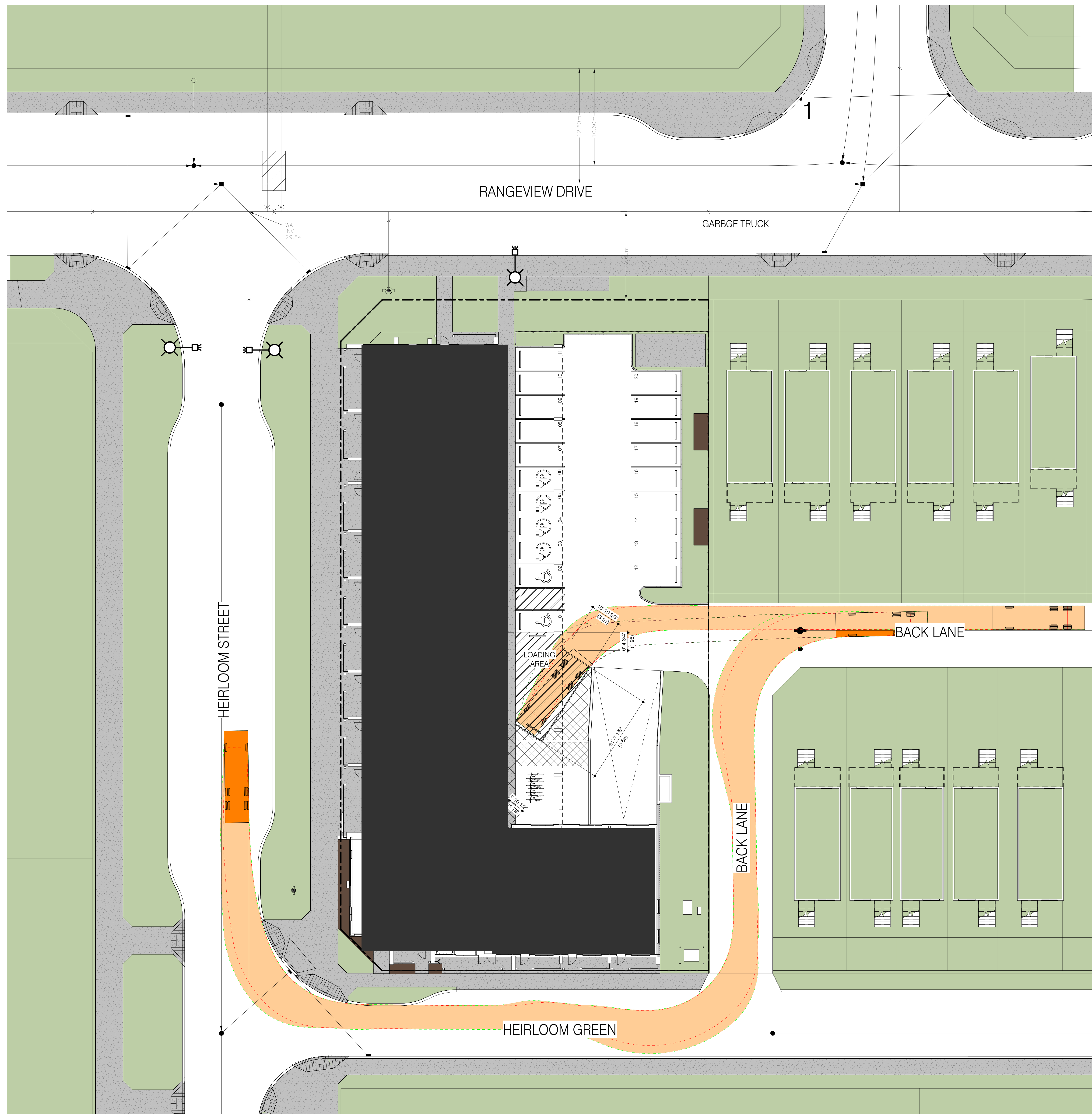
TYPE OF WASTE CONTAINERS:
 METAL CONTAINERS ON WHEELS

VOLUME OF CONTAINERS:
 - ORGANICS: 2 CUBIC YARD
 - RECYCLE & WASTE: 4 CUBIC YARD

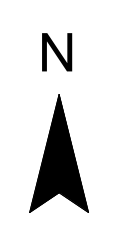
- NOTES:**
1. WASTE CHUTE SERVICES GARBAGE COLLECTION ONLY. NO ORGANICS OR RECYCLING COLLECTION PERMITTED THROUGH THE WASTE COLLECTION CHUTES.
 2. THE VEHICLE WEIGHT SUPPORTED IN COLLECTION AREA IS A MINIMUM OF 25,000 kg.
 3. THE LOADING AREAS ARE LOCATED ABOVE A PARKADE LID. THE LID IS DESIGNED TO WITHSTAND THE LOAD OF THE VEHICLE.
 4. STEEL CHANNEL BUMPER AT PERIMETER OF WASTE ROOM.
 5. FLOOR CHANNEL AT CENTER OF WASTE ROOM. SLOPE FLOOR 2% TOWARDS DRAIN.
 6. AREA BETWEEN WASTE ROOM AND LOADING TO SLOPE 2% MAXIMUM.

WASTE COLLECTION LEGEND:

- PROPERTY LINE (SITE BOUNDARY)
- GARBAGE TRUCK
- - - GARBAGE TRUCK WHEEL PATH
- - - GARBAGE TRUCK BODY PATH
- ▨ WASTE CONTAINER PEDESTRIAN PATH OF TRAVEL
- LOCATION OF WASTE ROOM



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SITE PLAN - WASTE COLLECTION ACCESS PLAN
 SCALE: 1/16" = 1'-0"

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 28 HEIRLOOM ST SE, CALGARY, ALBERTA

SITE PLAN - WASTE COLLECTION

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 sheet no. DP-007

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REVISION NO.	DESCRIPTION	REVISION ISSUED/ PLOTTED

MATERIALS LEGEND:

- (FCP-1) FIBER CEMENT PANEL - JAMES HARDIE - ARTIC WHITE OR APPROVED ALTERNATE
- (FCP-2) FIBER CEMENT BOARD & BATTEN - JAMES HARDIE - ARTIC WHITE OR APPROVED ALTERNATE
- (FCP-3) FIBER CEMENT PANEL - JAMES HARDIE - IRON GRAY OR APPROVED ALTERNATE
- (FCP-4) FIBER CEMENT BOARD & BATTEN - JAMES HARDIE - IRON GRAY OR APPROVED ALTERNATE
- (FCS-1) FIBER CEMENT LAP SIDING - JAMES HARDIE - MOUNTAIN CEDAR OR APPROVED ALTERNATE
- (ST-1) STONE TILE - FOXTONE - GREY TONES OR APPROVED ALTERNATE

NOTES:

1. GABLE ROOFS TO BE BLACK STANDING STEAM METAL, VIKWEST OR APPROVED ALTERNATE. POSTS TO CEDAR STYLE GLAZING.
2. BALCONY GUARDRAIL TO BE 3'-6" HIGH ALUMINUM GUARDRAIL CW GLASS INSERTS, BLACK FINISH.



1 SOUTH BUILDING ELEVATION
 SCALE: 1" = 10'-0"



2 WEST BUILDING ELEVATION
 SCALE: 1" = 10'-0"

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RANGEVIEW 6 MULTI-FAMILY DEVELOPMENT
 28 HEIRLOOM ST SE, CALGARY, ALBERTA

project
 sheet title
 consultant

seal
 drawn by: AB/UT/LB
 checked by: LB
 project no. 2026003

scale: As indicated
 date: 2026-02-06
 sheet no. DP-201

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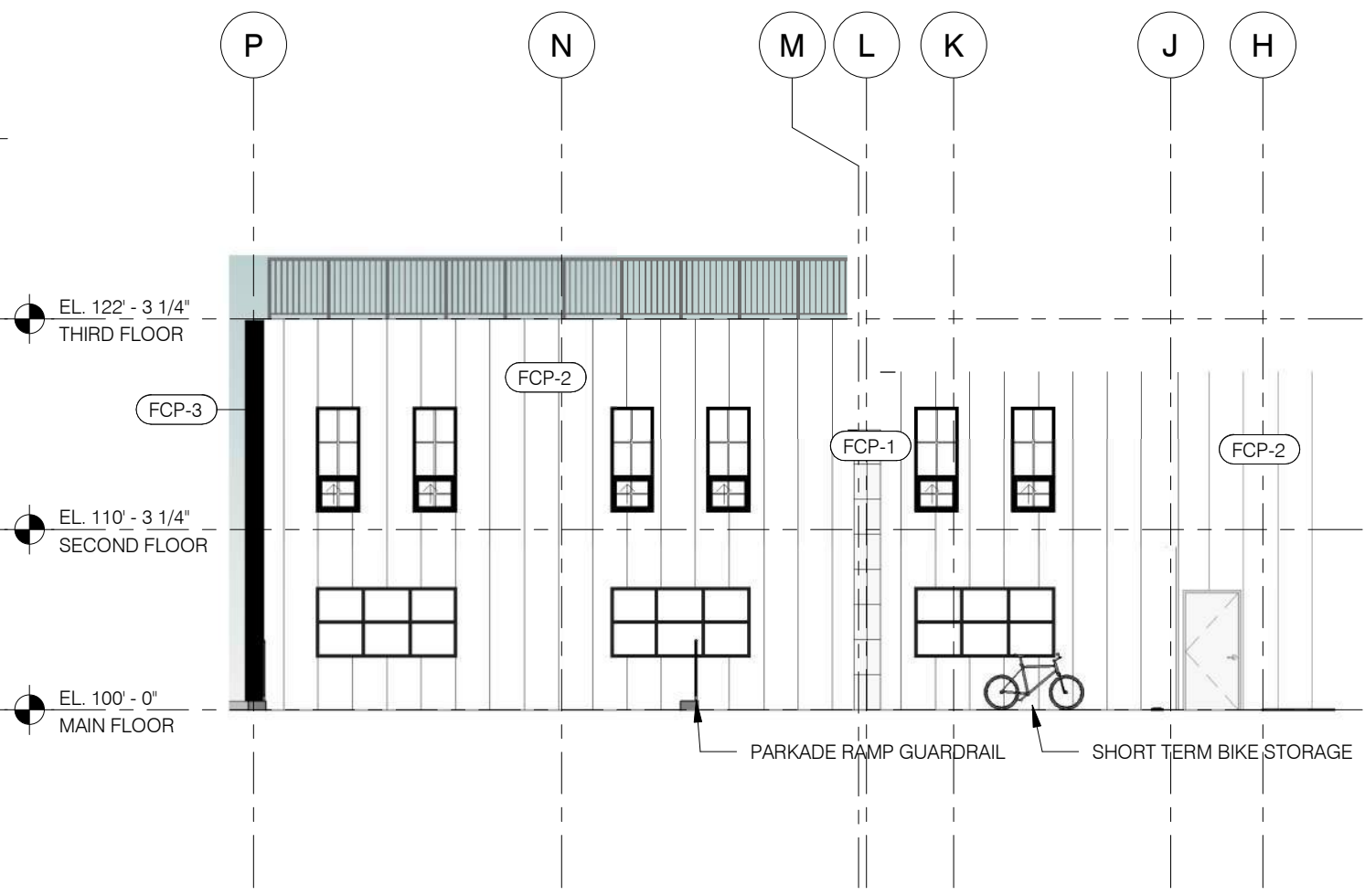
MATERIALS LEGEND:

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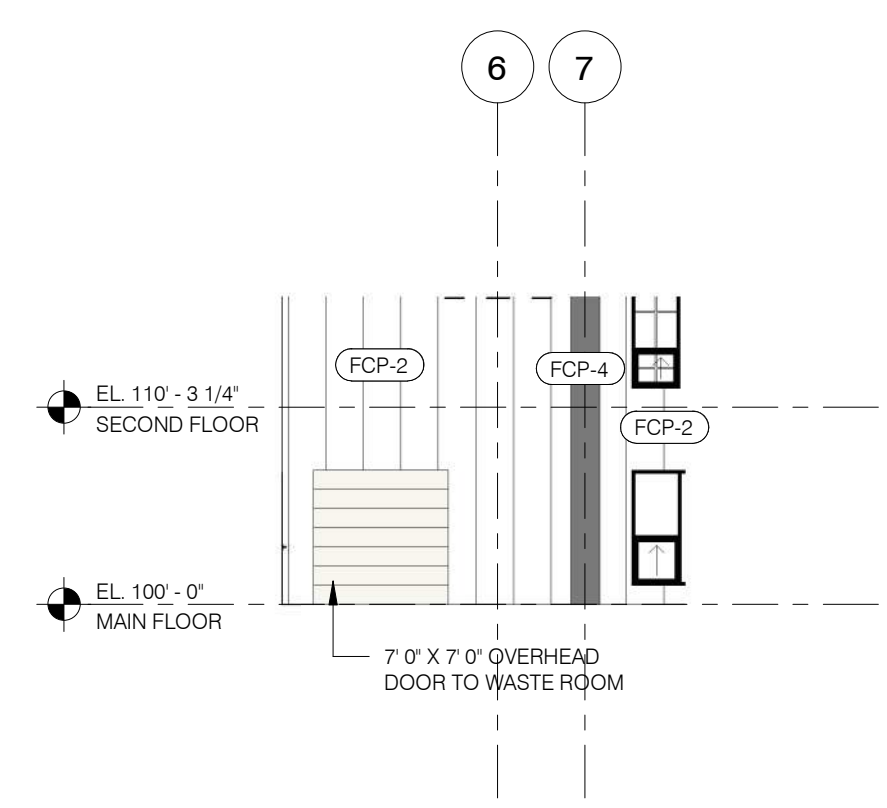
- NOTES:**
- GABLE ROOFS TO BE BLACK STANDING SEAM METAL, WICKWEST OR APPROVED ALTERNATE. POSTS TO CEDAR STYLE GLAZING.
 - BALCONY GUARDRAIL TO BE 3'-6" HIGH ALUMINUM GUARDRAIL C/W GLASS INSERTS, BLACK FINISH.



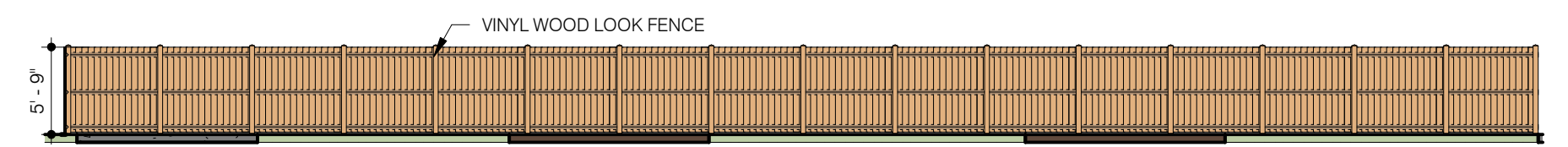
1 NORTH BUILDING ELEVATION
 SCALE: 1" = 10'-0"



5 NORTH ELEVATION- TOWN HOMES
 SCALE: 1" = 10'-0"



4 ELEVATION - WASTE ROOM
 SCALE: 1" = 10'-0"



3 ELEVATION - EAST FENCE
 SCALE: 3/32" = 1'-0"



2 EAST BUILDING ELEVATION
 SCALE: 1" = 10'-0"

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RANGEVIEW 6 MULTI-FAMILY DEVELOPMENT
 28 HEIRLOOM ST SE, CALGARY, ALBERTA

BUILDING ELEVATIONS

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 checked by: LB
 project no. 2026003

scale: As indicated
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 sheet no. DP-202

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