

RANGEVIEW 6 MULTI-FAMILY DEVELOPMENT

28 HEIRLOOM ST SE, CALGARY, ALBERTA

ISSUED FOR DEVELOPMENT PERMIT RESUBMISSION APPLICATION
MAY 21, 2026

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REVISION NO.	DESCRIPTION	REVISION ISSUED / PLOTTED
DP-0	ISSUED FOR DEVELOPMENT PERMIT	FEBRUARY 6, 2026
DP-1	ISSUED FOR DEVELOPMENT PERMIT RESUBMISSION	APRIL 08, 2026
DP-2	ISSUED FOR DEVELOPMENT PERMIT R2	MAY 21, 2026



HEIRLOOM STREET S.E. / HEIRLOOM GREEN STREET S.E.



HEIRLOOM GREEN S.E.



RANGEVIEW DRIVE S.E. / HEIRLOOM STREET S.E.

DRAWING LIST:

GENERAL	
DP-000	PROJECT - COVER PAGE
CIVIL	
245-04 SVC	SITE SERVICING PLAN (FOR DP)
245-04 GRAD	SITE GRADING PLAN (FOR DP)
LANDSCAPE	
DP-L1-0	LAYOUT PLAN
DP-L2-0	PLANTING PLAN
DP-L3-0	LANDSCAPE DETAILS
ELECTRICAL	
E-001	SITE - ELECTRICAL PLAN
ARCHITECTURAL	
SITE	
DP-001	SITE PLAN
DP-002	SITE PLAN - FIRE TRUCK ACCESS
DP-003	SITE PLAN - PEDESTRIAN CONNECTIVITY
DP-004	SITE PLAN - RESIDENTIAL AMENITY SPACE - MAIN FLOOR
DP-005	SITE PLAN - RESIDENTIAL AMENITY SPACE - THIRD FLOOR
DP-006	SITE PLAN - RESIDENTIAL AMENITY SPACE - FOURTH-SIXTH FLOORS
DP-007	SITE PLAN - WASTE COLLECTION
BUILDING	
DP-101	PARKADE PLAN
DP-102	MAIN FLOOR PLAN
DP-103	SECOND FLOOR PLAN
DP-104	THIRD FLOOR PLAN
DP-105	FOURTH & FIFTH FLOOR PLAN
DP-106	SIXTH FLOOR PLAN
DP-107	ROOF PLAN
DP-201	BUILDING ELEVATIONS
DP-202	BUILDING ELEVATIONS
DP-301	BUILDING SECTIONS

number TEN architectural group **number 10**

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RANGEVIEW 6 MULTI-FAMILY DEVELOPMENT
28 HEIRLOOM ST SE, CALGARY, ALBERTA

project

COVER PAGE

sheet title

consultant

scale: 1/8" = 1'-0"

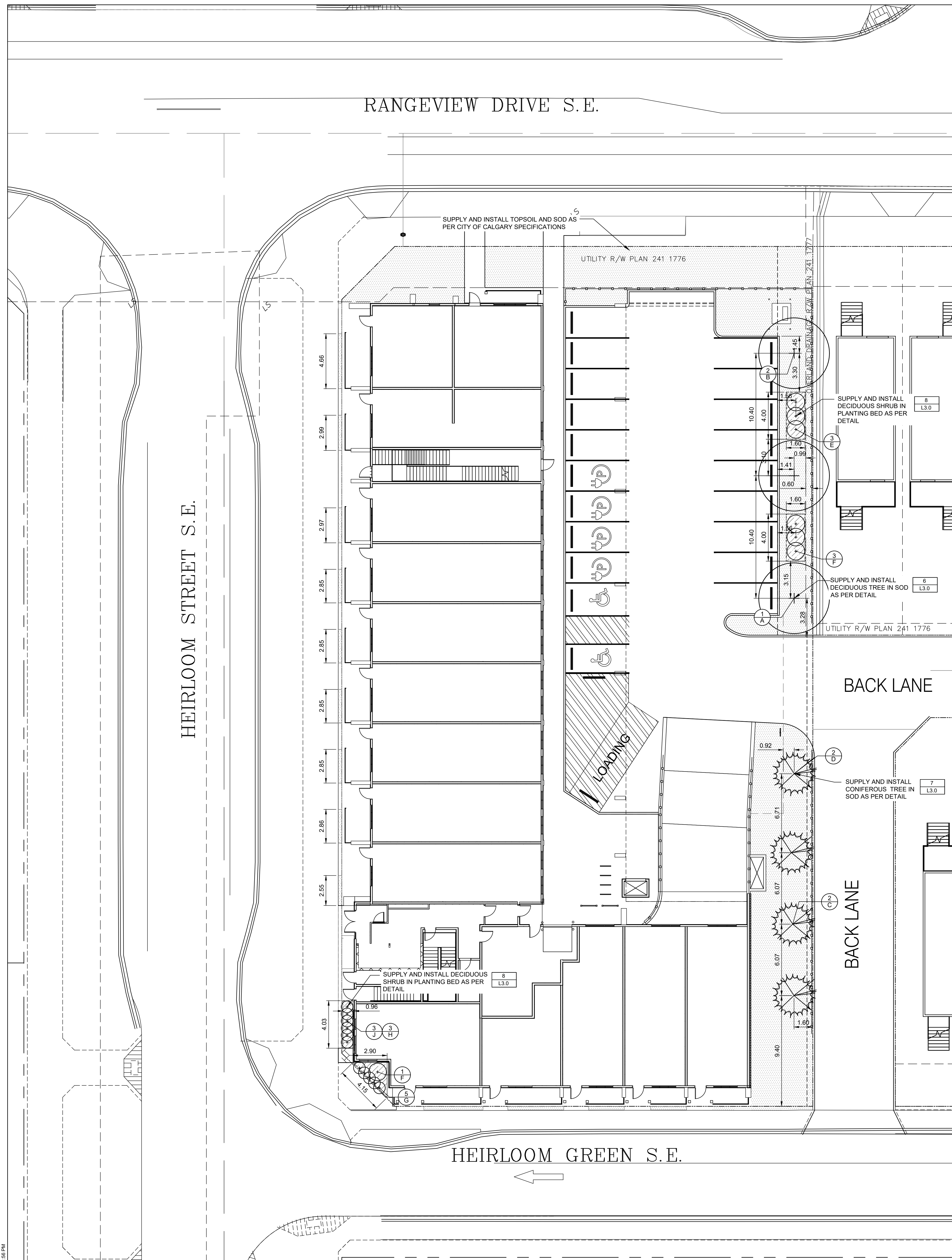
date: 2026-05-21

drawn by: AB/RC/JTLB

checked by: LB

project no. 2026003

sheet no. DP-000



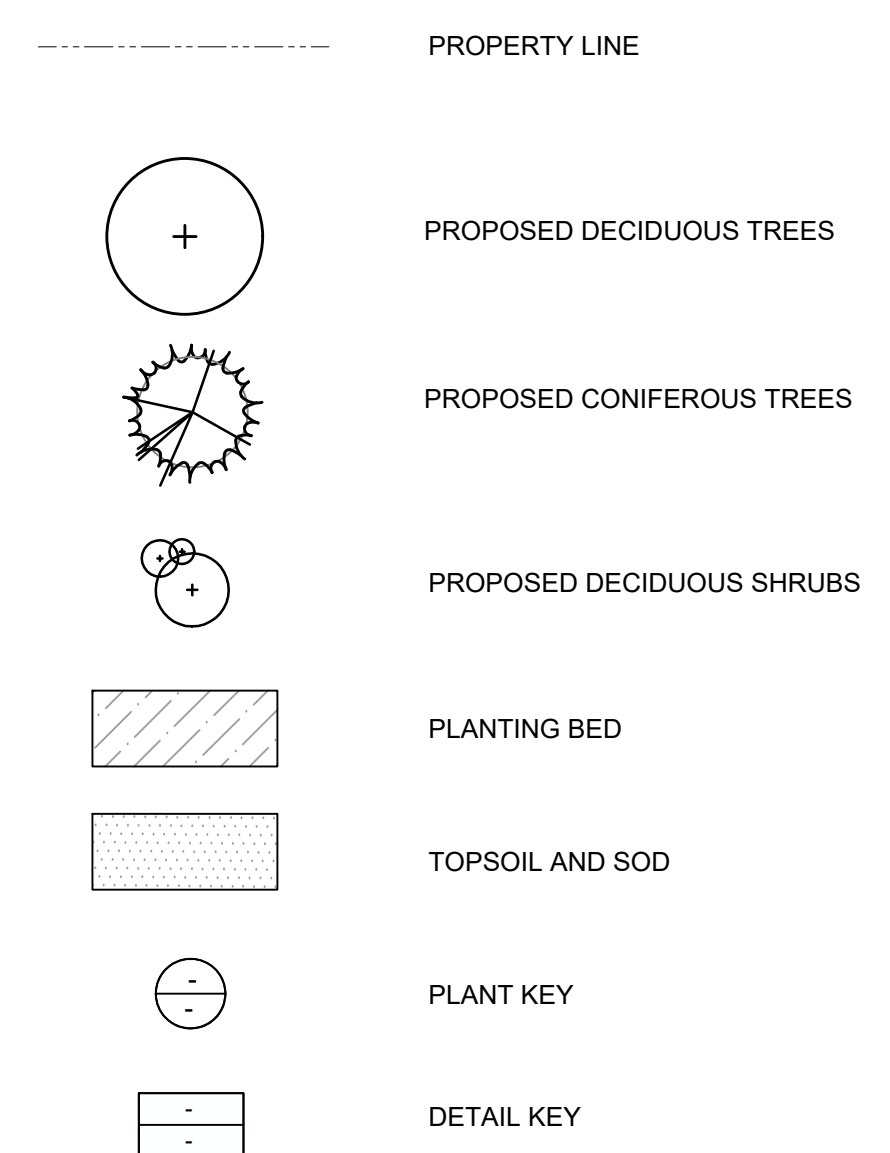
PLANT KEY

KEY	QTY	COMMON NAME / SCIENTIFIC NAME	SIZE	REMARKS
DECIDUOUS TREES				
A	1	WHITE BIRCH / BETULIA Papyrifera	75mm cal.	SPECIMEN, W.B. MACHINE DUG WITH MIN. 10 BRANCHES IN WELL BRANCHED HEAD, STRAIGHT TRUNK, MIN. HT. 6.0m BRANCHING HT 1.8m
B	2	AMERICAN ELM / ULMUS AMERICANA	75mm cal.	SPECIMEN, W.B. MACHINE DUG WITH MIN. 10 BRANCHES IN WELL BRANCHED HEAD, STRAIGHT TRUNK, MIN. HT. 6.0m BRANCHING HT 1.8m
CONIFEROUS TREES				
C	2	COLORADO BLUE SPRUCE / PICEA GLAUCA 'GLAUCA'	3.0m ht.	SPECIMEN, W.B. MACHINE DUG WITH SINGLE UPRIGHT LEADER, STRAIGHT TRUNK, WELL BRANCHED, FULL FORM.
D	2	MOUNTAIN PINE / PINUS UNCINATA	2.0m ht.	SPECIMEN, W.B. MACHINE DUG WITH SINGLE UPRIGHT LEADER, STRAIGHT TRUNK, WELL BRANCHED, FULL FORM.
DECIDUOUS SHRUBS				
E	3	RED TWIG DOGWOOD / CORNUS ALBA	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN. 600mm HT.
F	4	AMERICAN HAZELNUT / CORYLUS AMERICANA	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN. 600mm HT.
G	5	WILDROSE / ROSA ACICULARIS	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN. 600mm HT.
H	3	GOLD MOUND SPIREA / SPIREA JAPONICA 'GOLDMOUND'	#2 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN. 600mm HT.
J	3	COMPACT Highbush CRANBERRY / VIBURNUM TRILOBUM 'COMPACTUM'	#3 CONTAINER	SPECIMEN, CONTAINER GROWN, WITH MINIMUM 3 STALKS IN WELL BRANCHED PLANT, MIN. 600mm HT.

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LEGEND



PLANTING NOTES

- ALL PLANT MATERIAL TO BE BEST QUALITY. PLANT MATERIAL TO BE REVIEWED ON SITE BY CONTRACT ADMINISTRATOR ON SITE PRIOR TO PLANTING. PLANTS NOT ACCEPTABLE ARE TO BE REPLACED AND NEW PLANTS APPROVED PRIOR TO PLANTING. REPLACEMENTS ARE AT THE CONTRACTOR'S OWN COST.
- ALL PLANTING EXCAVATIONS ARE TO BE REVIEWED AND APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO PLACEMENT OF DRAINAGE COURSE, FILTER FABRIC AND/OR SOIL.
- LOCATION OF ALL PLANT MATERIAL TO BE STAKED OUT ON SITE AND APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO EXCAVATION AND PLANTING.
- TOPSOIL AND SOD TO BE INSTALLED TO CITY OF CALGARY STANDARD SPECIFICATIONS.
- TREES TO BE PLANTED MIN. 3.0m FROM HYDRANTS, LIGHT POLES AND OTHER ABOVE GROUND UTILITIES. REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
- PLANT MATERIAL MUST BE NO.1 GRADE NURSERY STOCK, SUPPLIED AND INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION 'CANADIAN STANDARDS FOR NURSERY STOCK'.
- TYPICAL SHRUB SPACING
 SMALL DECIDUOUS SHRUBS: 600mm O.C.
 MEDIUM DECIDUOUS SHRUBS: 900mm O.C.
- IRRIGATION SYSTEM TO BE DESIGN BUILD BASED ON PLANTING PLAN. CONTRACTOR TO PROVIDE LOW WATER USAGE, FULLY AUTOMATED. SYSTEM DESIGN FOR REVIEW AND APPROVAL.

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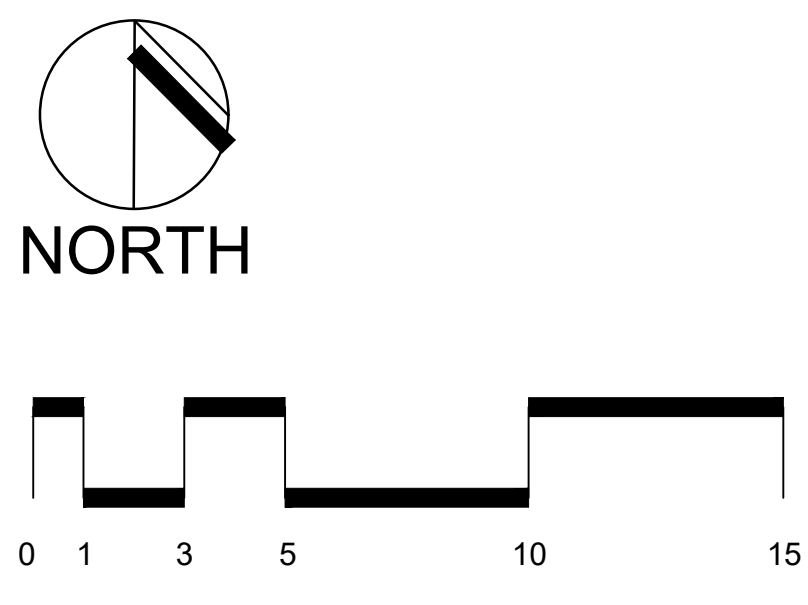
RANGEVIEW
 28 HEIRLOOM ST SE, CALGARY, ALBERTA
 Plan: 2511677; Block: 25; Lot: 16

project
 sheet title
 consultant

PLANTING PLAN

McGOWAN-RUSSELL

The Alberta Association of Landscape Architects
 Jacqueline Wilkie



2026-01-16 4:51:58 PM

seal
 drawn by: NY/JW
 checked by: JW
 project no. 25-040

scale: 1:150
 date: JANUARY 27, 2026
 sheet no. DP-L2-0

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DP-1	ISSUED FOR DEVELOPMENT PERMIT	APRIL 6, 2026	
DP-2	RESUBMISSION	MAY 21, 2026	

PROJECT INFORMATION:

GENERAL ZONING INFORMATION
LEGAL DESCRIPTION: PLAN 2511677, BLOCK 25, LOT 16
MUNICIPAL ADDRESS: 28 HEIRLOOM ST SE, CALGARY, ALBERTA
SITE AREA: 0.72 ACRES 31,212.65 sq ft (2,901.9 sq m)
ZONING: PART 14 MIXED USE DISTRICTS
BUILDING CODE: ALBERTA BUILDING CODE 2023

UNIT COUNT
 - 1-BED 19 (24.7%)
 - 1-BED + DEN 7 (9.1%)
 - 2-BED 16 (20.8%)
 - 2-BED + DEN 20 (26.0%)
 - 3-BED 0
 - 4-BED 0
TOTAL 77 UNITS

DENSITY: 106.9 DWELLINGS PER ACRE
GROSS BUILDING AREA
 PARKADE 0.25,074 sq ft.
 BUILDING 1 983,377 sq ft.
TOTAL AREA 1,110,451 sq ft.

85,377 sq ft / 31,363 sq ft = 2.72 FAR PROVIDED
REQUIRED SETBACKS
 ARTICLE 1374 (1)(A) REAR SETBACK 6.0m
 ARTICLE 1374 (2)(B) REAR SETBACK 7.5m
 SETBACKS REQUIRED < SETBACKS PROVIDED

CAR PARKING
 MINIMUM CAR PARKING REQUIRED
 STANDARD STALLS: 0.75 STALL / UNIT = 58
 VISITOR STALLS: 0.1 / UNIT = 08
TOTAL 66

CAR PARKING PROVIDED
 RESIDENTIAL SURFACE PARKING 13
 RESIDENTIAL UNDERGROUND PARKING 67
 VISITOR SURFACE PARKING 07
TOTAL PARKING 87
 RATIO: 1.13

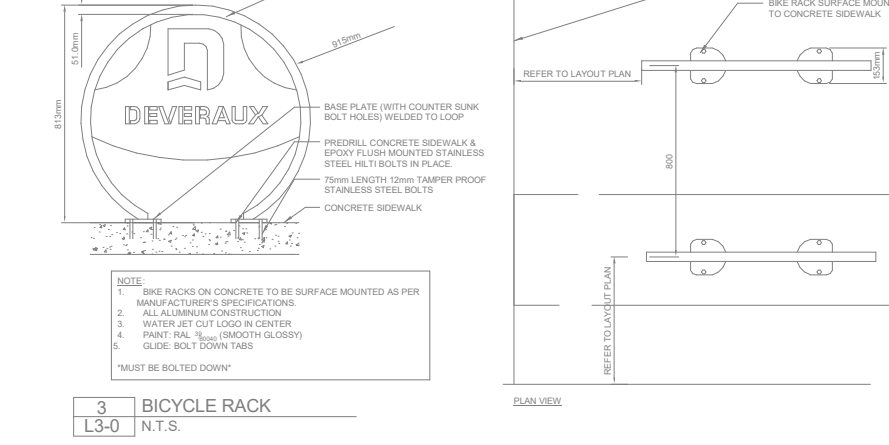
BARRIER-FREE PARKING SPACES REQUIRED
 BARRIER-FREE PARKING SPACES REQUIRED: 04
 (BASED ON ABC2022 TABLE 3.8.2.5 (B)-100 STALLS REQ.)

BARRIER-FREE PARKING SPACES PROVIDED
 - SURFACE 02
 - UNDERGROUND PARKADE 02
TOTAL BF PARKING SPACES PROVIDED: 04

BICYCLE STORAGE
 BIKE PARKING SPACE REQUIRED
 - CLASS 1 BICYCLE STORAGE REQUIRED: 35
 - CLASS 2 BICYCLE STORAGE REQUIRED: 07
TOTAL BICYCLE STORAGE REQUIRED: 42

BIKE PARKING SPACE PROVIDED
 - CLASS 1 BICYCLE STORAGE PROVIDED: 35
 - CLASS 2 BICYCLE STORAGE PROVIDED: 08
TOTAL BICYCLE STORAGE PROVIDED: 43 (+1 REQ.)

CLASS 1 RACKS ARE LOCATED IN A SECURED, LOCKED INDOOR STORAGE. BOTH CLASS 1 AND CLASS 2 RACKS ARE HORIZONTAL RACKS, BOLTED TO CONCRETE SLABS.
 REFER TO SHEET DP-101 FOR CLASS 1 BIKE PARKING LAYOUT.



CLASS 1 & CLASS 2 HORIZONTAL BIKE RACK

LOADING
 LOADING SPACE REQUIRED
 1 LOADING SPACE (MIN. WIDTH = 3.1m, DEPTH = 2.1m, HEIGHT = 4.3m)
 LOADING SPACE PROVIDED
 1 LOADING SPACE. REFER TO SHEET DP-007 FOR DIMENSIONS.

FIRE PROTECTION
 REFER TO SHEET DP-002 FOR FIRE TRUCK ACCESS, FIRE HYDRANT LOCATIONS, MAIN ENTRANCES AND FIRE DEPARTMENT CONNECTION.

PEDESTRIAN CONNECTIVITY
 REFER TO SHEET DP-003 FOR PEDESTRIAN CONNECTIVITY AND BUS SHELTER LOCATIONS.

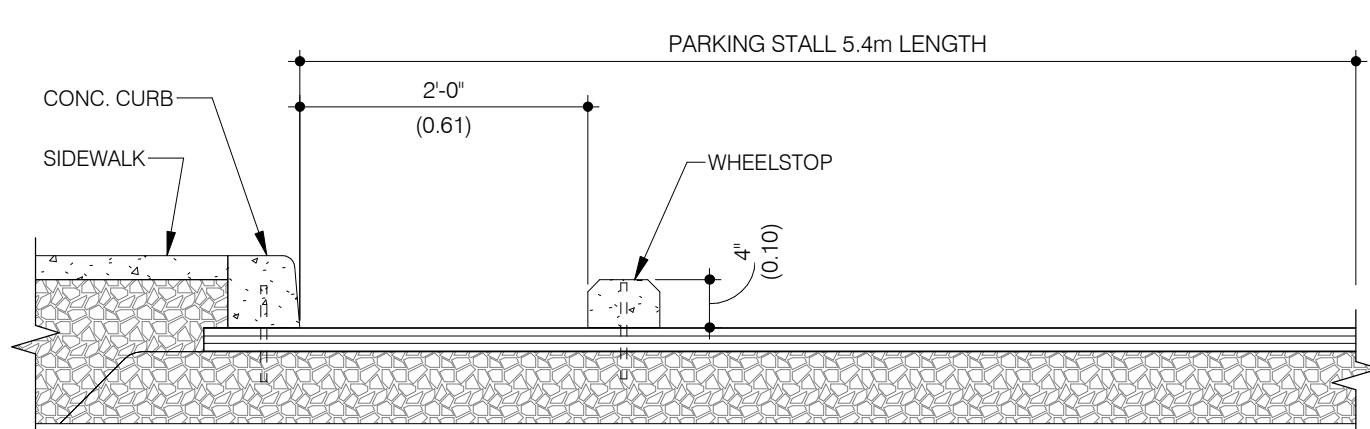
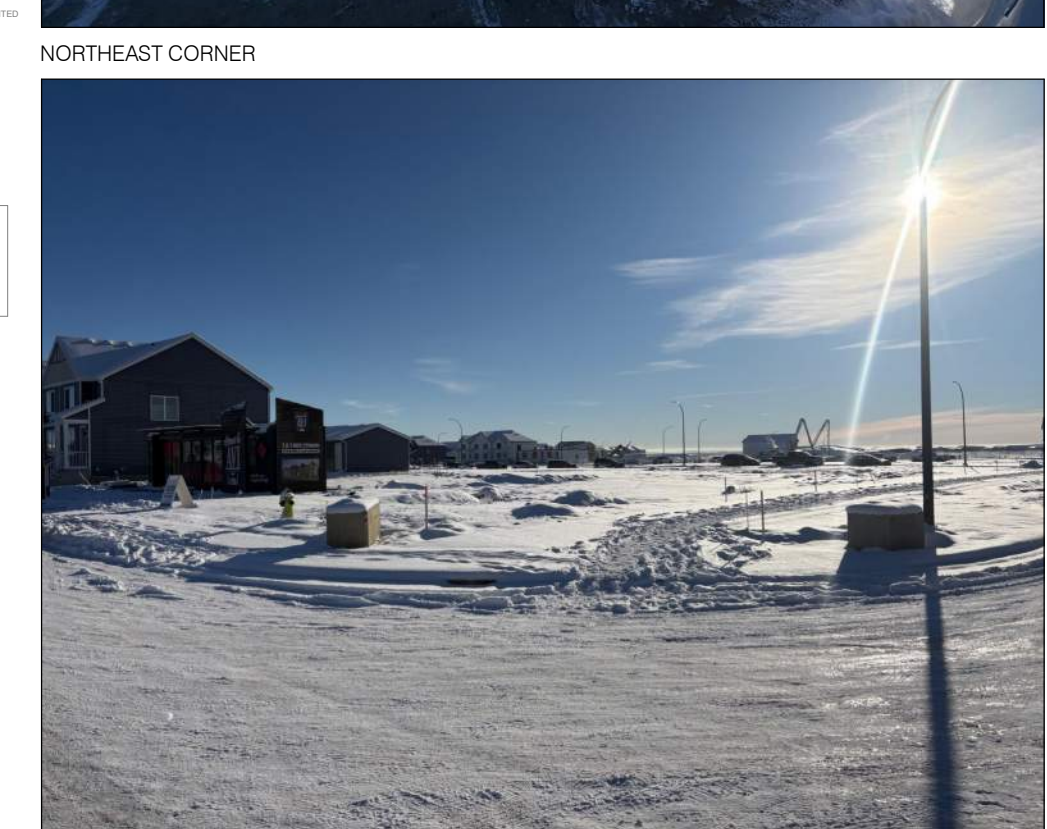
AMENITY AREA
 REFER TO SHEETS DP-004, DP-005 & DP-006 FOR AMENITY AREA CALCULATIONS.

WASTE MANAGEMENT
 REFER TO SHEET DP-007 FOR WASTE COLLECTION DETAILS.

SITE PLAN KEYNOTES:

- 1 EXISTING LIGHT FIXTURE
- 2 EXISTING FIRE HYDRANT. REFER TO CIVIL DRAWINGS.
- 3 WHEEL STOP. TYPICAL AT STALLS FACING SIDEWALK. REFER TO SECTION DETAIL DP-001.
- 4 PARKADE ACCESS RAMP C/W CONCRETE RETAINING WALL AND 3'-6" HIGH BLACK ALUMINUM PROTECT GUARDRAIL.
- 5 1.2m HIGH BROWN VINYL WOOD LOOK FENCE.
- 6 4" WIDE PAINTED DIAGONAL LINES.
- 7 OUTLINE OF PARKADE SHOWN THUSLY.
- 8 4'-0" WROUGHT IRON RAILING, BLACK FINISH, TYPICAL @ TOWNHOUSES PRIVATE PATIOS.
- 9 EXPOSED CONCRETE COLUMN. TYPICAL.
- 10 BUILDING SOFFIT ABOVE.
- 11 PARKADE LID.
- 12 FIRE DEPARTMENT CONNECTION. PROVIDE 2m OPERATIONAL CLEARANCE ON BOTH SIDES.

EXISTING CONDITIONS



SECTION DETAIL - WHEEL STOP
 SCALE: 3/4" = 1'-0"

- 13 SHORT TERM (CLASS 2) BICYCLE STORAGE (68). BICYCLE RACKS BOLTED TO CONCRETE.
- 14 ELECTRICAL TRANSFORMER LOCATION. CONCRETE PAD BELOW TRANSFORMER ONLY.
- 15 PARKADE EXHAUST WELL C/W METAL GRATE COVER.
- 16 GAS METER.
- 17 5'-0" HIGH ALUMINUM WOOD LOOK PRIVACY SCREEN. REFER TO LANDSCAPE FOR DETAILS.
- 18 NOT USED.
- 19 NOT USED.
- 20 PROPOSED FIRE HYDRANT.
- 21 STOP SIGN.
- 22 BOLLARD.

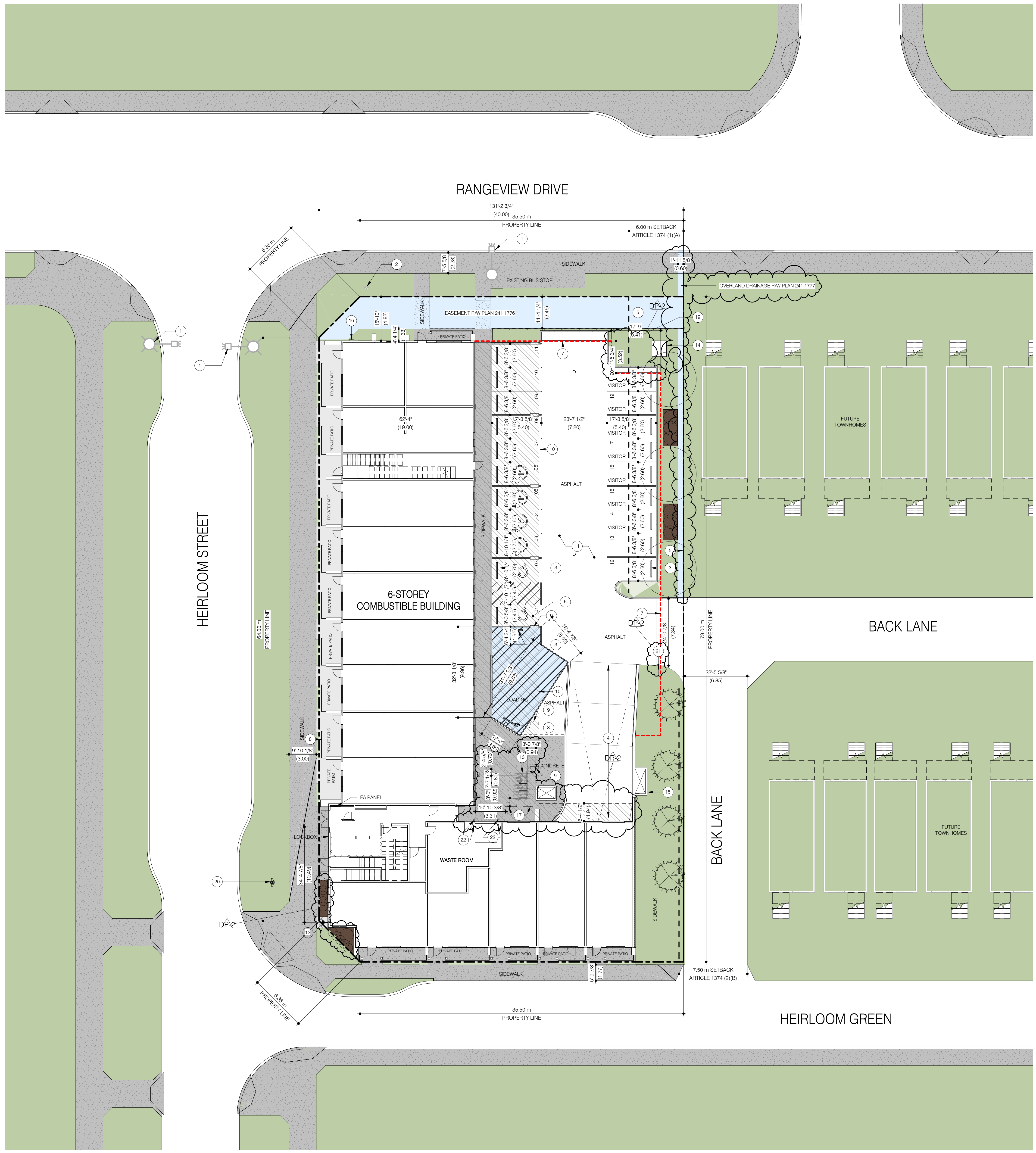


RANGEVIEW 6 MULTI-FAMILY DEVELOPMENT
 28 HEIRLOOM ST SE, CALGARY, ALBERTA

project
 sheet title
 consultant

seal
 drawn by: MD/LB
 checked by: LB
 project no. 2026003

scale: As indicated
 date: 2026-05-21
 sheet no. DP-001



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DP-1	ISSUED FOR DEVELOPMENT PERMIT	APRIL 09, 2026
DP-2	ISSUED FOR DEVELOPMENT PERMIT R2	MAY 21, 2026

MATERIALS LEGEND:

- (FCP-1) FIBER CEMENT PANEL - JAMES HARDIE - ARTIC WHITE OR APPROVED ALTERNATE
- (FCP-2) FIBER CEMENT BOARD & BATTEN - JAMES HARDIE - ARTIC WHITE OR APPROVED ALTERNATE
- (FCP-3) FIBER CEMENT PANEL - JAMES HARDIE - IRON GRAY OR APPROVED ALTERNATE
- (FCP-4) FIBER CEMENT BOARD & BATTEN - JAMES HARDIE - IRON GRAY OR APPROVED ALTERNATE
- (FCS-1) FIBER CEMENT LAP SIDING - JAMES HARDIE - MOUNTAIN CEDAR OR APPROVED ALTERNATE
- (ST-1) STONE TILE - FOXTONE - GREY TONES OR APPROVED ALTERNATE

NOTES:

1. GABLE ROOFS TO BE BLACK STANDING STEAM METAL, VIKWEST OR APPROVED ALTERNATE. POSTS TO CEDAR STYLE GLAZING.
2. BALCONY GUARDRAIL TO BE 3'-6" HIGH ALUMINUM GUARDRAIL CW GLASS INSERTS, BLACK FINISH.



SOUTH BUILDING ELEVATION
 SCALE: 1" = 10'-0"



WEST BUILDING ELEVATION
 SCALE: 1" = 10'-0"

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 28 HEIRLOOM ST SE, CALGARY, ALBERTA

BUILDING ELEVATIONS

consultant

seal: _____ scale: As indicated
 drawn by: AB/JTLB date: 2026-05-21
 checked by: LB
 project no. 2026003 sheet no. DP-201

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RESUBMISSION		
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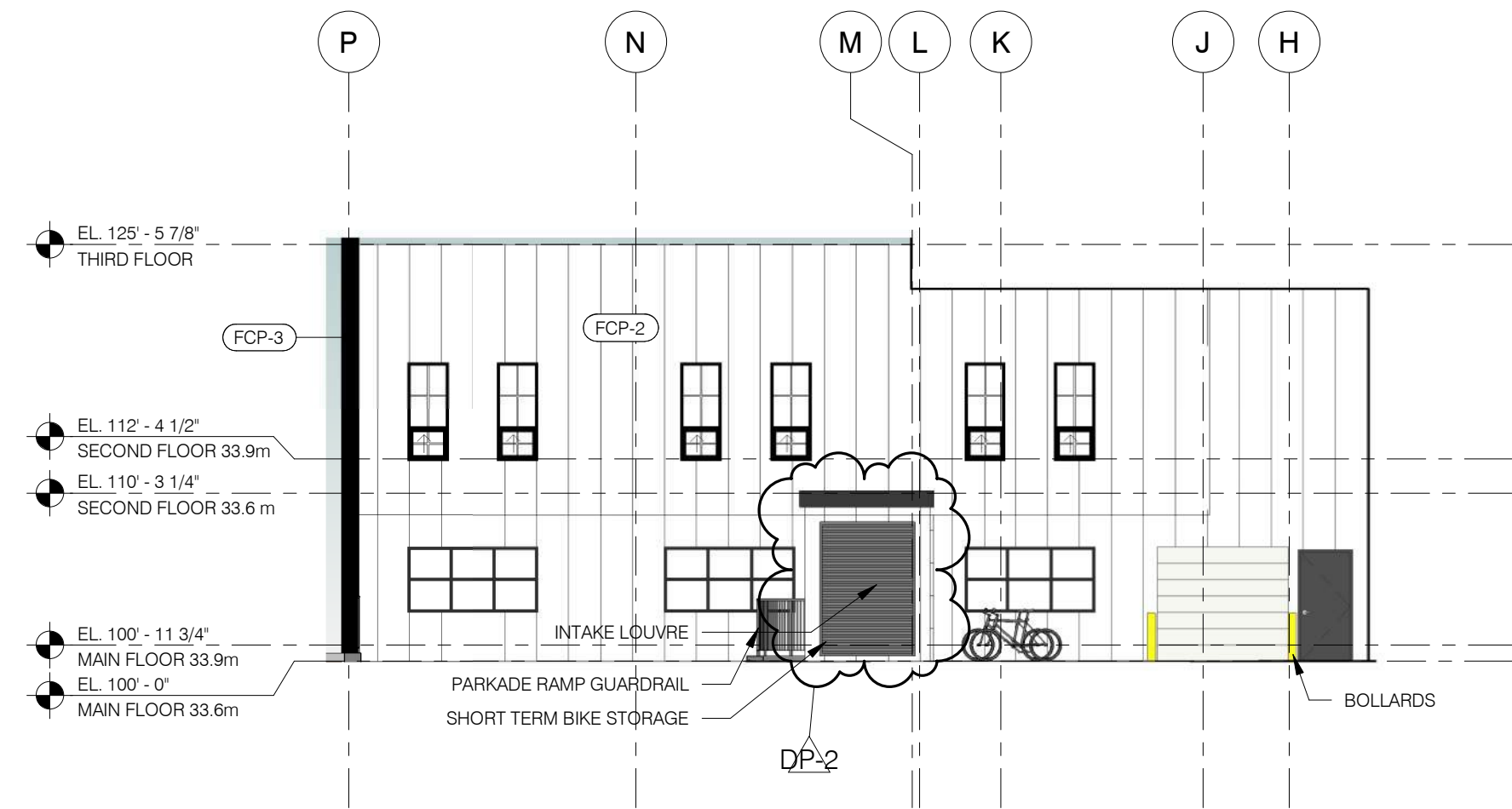
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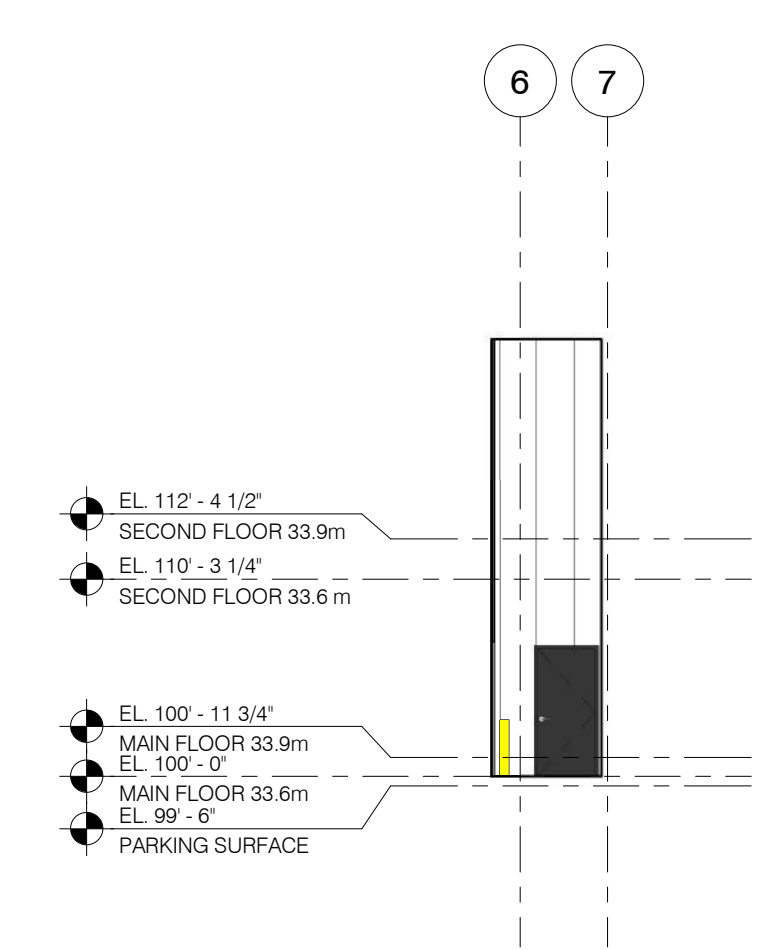
- NOTES:**
1. GABLE ROOFS TO BE BLACK STANDING SEAM METAL, VICKWEST OR APPROVED ALTERNATE. POSTS TO CEDAR STYLE CLADDING.
 2. BALCONY GUARDRAIL TO BE 3'-6" HIGH ALUMINUM GUARDRAIL C/W GLASS INSERTS, BLACK FINISH.



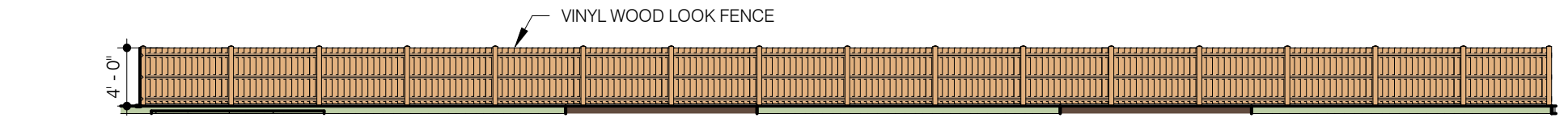
1 NORTH BUILDING ELEVATION
 SCALE 1" = 10'-0"



2 NORTH ELEVATION - TOWN HOMES
 SCALE 1" = 10'-0"



3 ELEVATION - WASTE ROOM
 SCALE 1" = 10'-0"



4 ELEVATION - EAST FENCE
 SCALE 3/32" = 1'-0"



5 EAST BUILDING ELEVATION
 SCALE 1" = 10'-0"

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BUILDING ELEVATIONS

consultant

seal
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