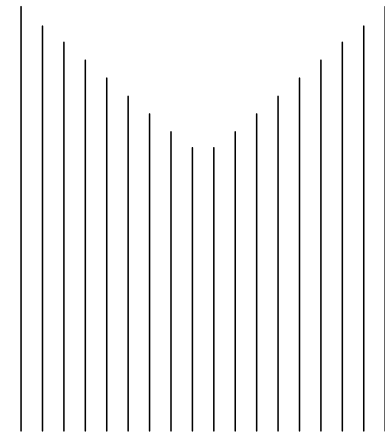


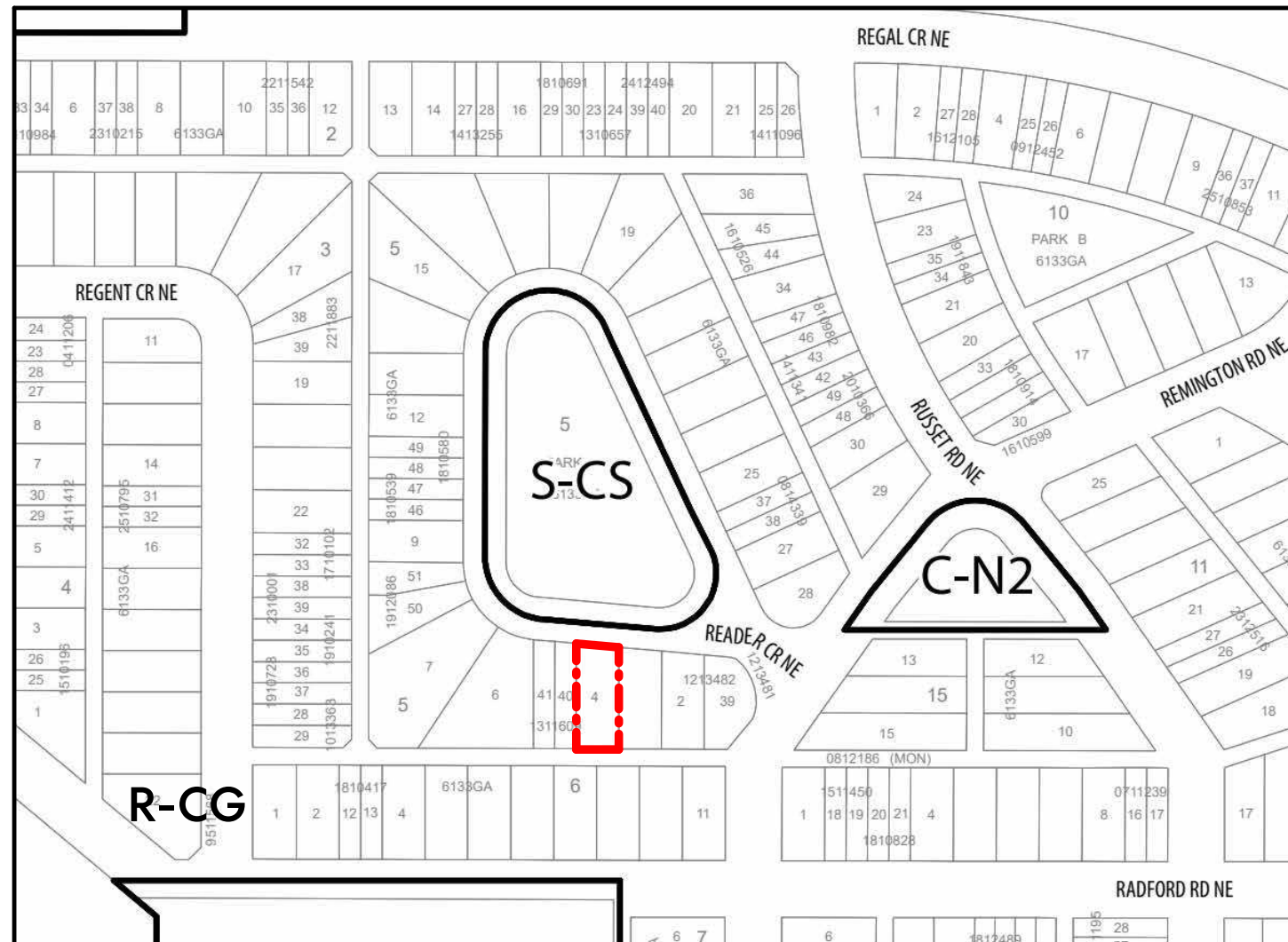


ISSUED

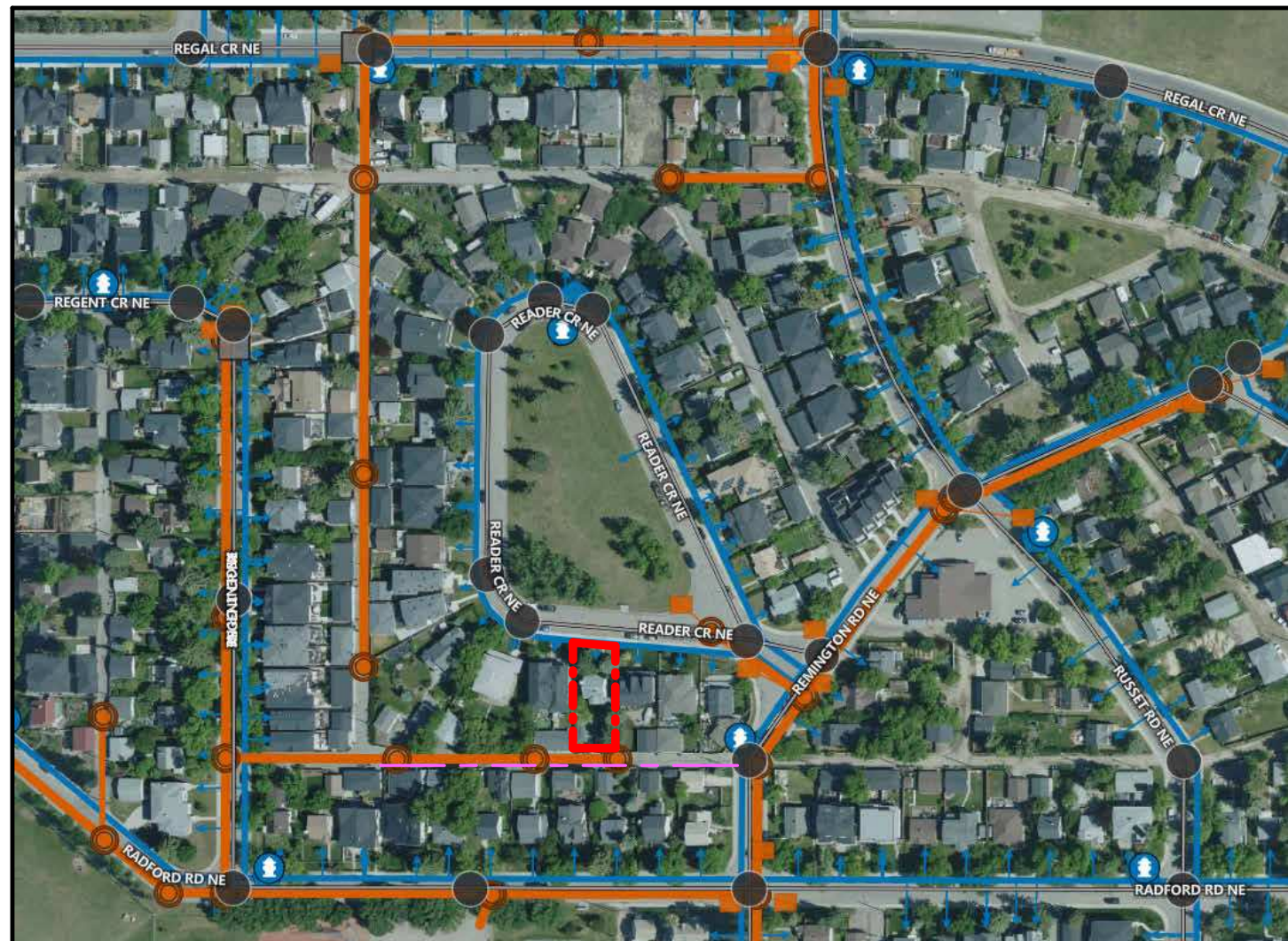
DEVELOPMENT PERMIT
SUBMISSION (GARAGE)

20260213

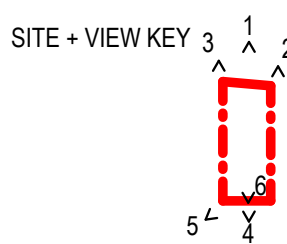
1107 READER CRESCENT
ISSUED FOR (GARAGE ONLY) DEVELOPMENT PERMIT (2026.02.13)



LAND USE MAP



AERIAL IMAGE + UTILITIES (AS RECORDED BY COC)



WATER
STORM
SANITARY
GAS

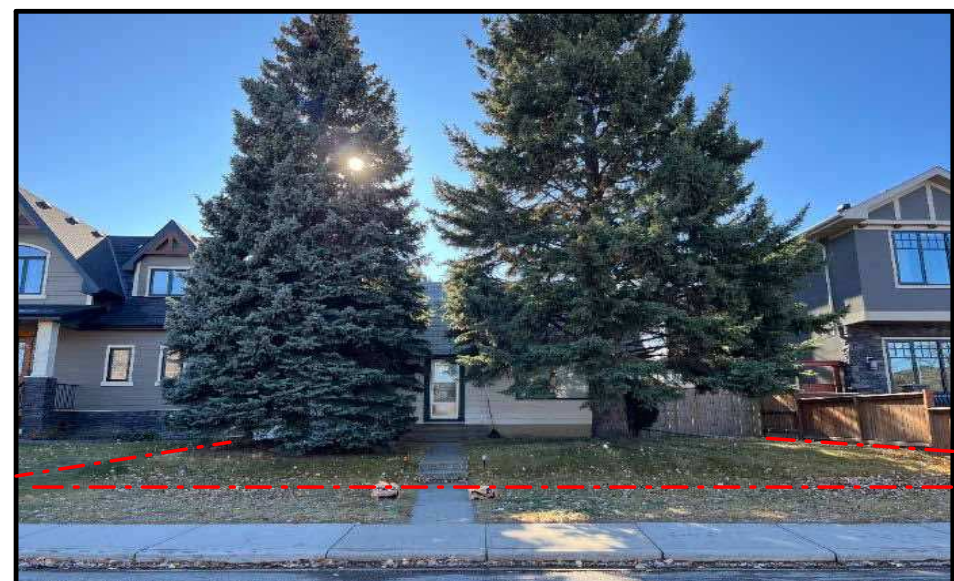


IMAGE 1: FRONT YARD



IMAGE 2: FRONT YARD - ADJACENT EAST PROPERTY



IMAGE 3: FRONT YARD - ADJACENT WEST PROPERTY

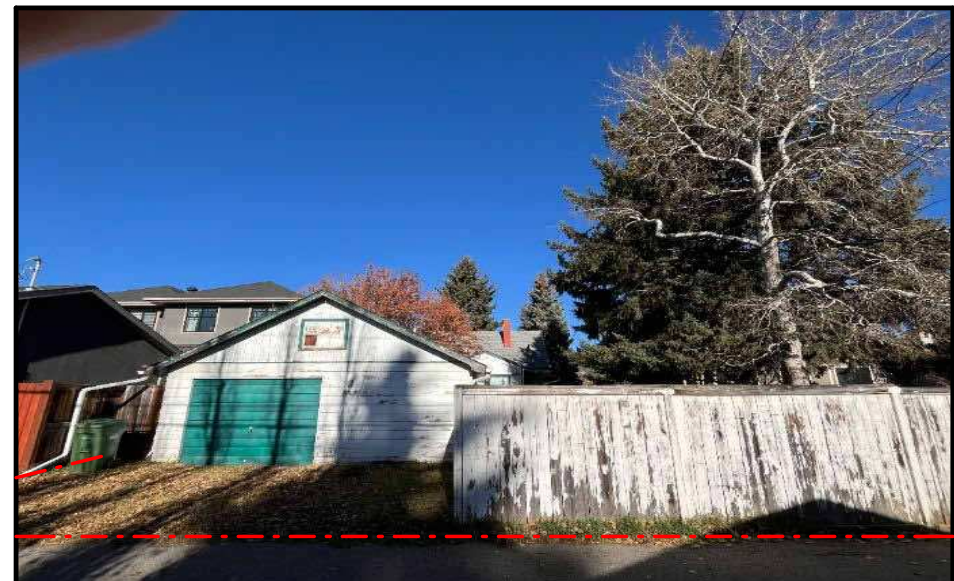


IMAGE 4: REAR PROPERTY FROM LANE



IMAGE 5: REAR PROPERTY FROM LANE + O/H POLE CONNECTION



IMAGE 6: REAR YARD

BUILDING ANALYSIS

MUNICIPAL ADDRESS + LEGAL ADDRESS

1107 READER CRESCENT
LOT 4, BLK 5, PLAN 6133GA
RENFREW COMMUNITY

ZONING

RC-G

SETBACKS:

FRONT SETBACK: 3M
SIDE SETBACK: 1.2M
REAR SETBACK: 1.2M
REAR GARAGE: 0.6M

LOT COVERAGE:

LOT AREA: 522.653 SM
COVERAGE ALLOWED: 45%
MAIN BUILDING FOOTPRINT: 253.194 SM
GARAGE FOOTPRINT: 46.65 SM
TOTAL BUILDING FOOTPRINT: 253.16 SM (+0.03 SM ALLOWABLE)

BUILDING DEPTH

ALLOWABLE BUILDING DEPTH = 65% OF PARCEL DEPTH:
PARCEL DEPTH = 36.93 M (BUILDING DEPTH) x .65 = 24 M ALLOWABLE
ACTUAL BUILDING DEPTH = 22.35 M (-1.65M)
OR
IF CALCULATED BASED ON CONTEXTUAL SETBACK:
ALLOWABLE CONTEXTUAL BUILDING DEPTH = 24.16 M (SEE CALC. ON BLOCK PLAN)
ACTUAL BUILDING DEPTH = 22.35 M (-1.81 M)

BUILDING HEIGHT

MAIN FLOOR GEODETIC: 1079.1237 m
PROPOSED PEAK GEODETIC:
T.O. MAIN BUILDING PARAPET: 1086.49 m
T.O. GARAGE PARAPET: 1083.16 m

PARKING

SUM OF ALL UNITS AND SUITES AT RATE OF 0.5 STALLS PER UNIT OR SUITE (PER R-CG ZONING BYLAW 546 TABLE 2.1- RENFREW)
DWELLING UNITS: 1
SECONDARY SUITES (BASEMENT): 1
REQUIRED PARKING STALLS: (1+1) x 0.5 = 1 STALL
PARKING STALLS PROVIDED ON SITE: 2 STALLS

MOBILITY STORAGE LOCKER

(NOT APPLICABLE)
MIN. # LOCKERS = SUM OF ALL UNITS AND SUITES, LESS # OF GARAGE PARKING
STALLS AT RATE OF 0.5 STALLS PER UNIT OR SUITE
DWELLING UNITS: 1
SECONDARY SUITES (BASEMENT): 1
PARKING STALLS PROVIDED ON SITE: 2 STALLS
REQUIRED LOCKERS: (1+1-2) x 0.5 = 0 LOCKERS

BICYCLE PARKING STALLS

1 PROVIDED

AMENITY SPACE

N/A W/ R-CG ZONING

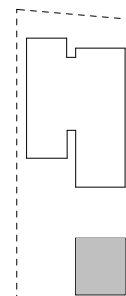
SECONDARY SUITE FLOOR AREA

N/A - (LOCATED IN BASEMENT)

SHEET LIST

DRAWING	SHEET NUMBER
COVER SHEET (G.DP)	G00.01 (G.DP)
SITE PLAN (G.DP)	A00.01 (G.DP)
BLOCK PLAN (G.DP)	A00.02 (G.DP)
GARAGE PLANS AND ELEVATIONS (G.DP)	A60.01 (G.DP)
EXTERIOR PERSPECTIVES (G.DP)	A70.01 (G.DP)

KEYPLAN



PROJECT

CHINOOK HOUSE

1107 READER CRESCENT NE
LOT 4, BLK 5, PLAN 6133 GA

PROJECT NUMBER

110701

REVISIONS

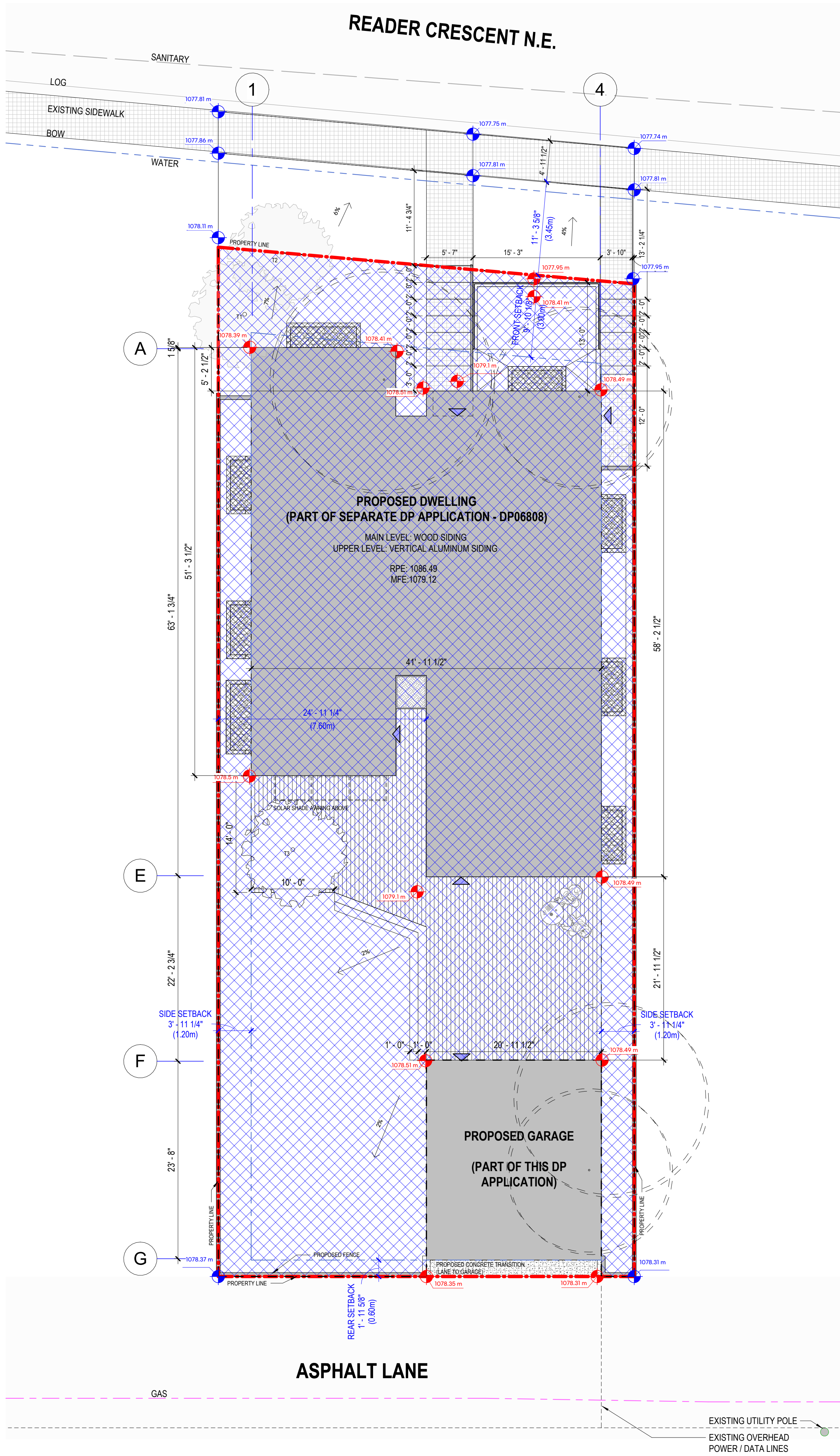
TITLE

COVER SHEET (G.DP)

SHEET NUMBER

G00.01 (G.DP)

1 SITE PLAN
1/8" = 1'-0"



SITE PLAN LEGEND

SUBJECT PROPERTY FOOTPRINT	
DENOTES WINDOW WELL	
DENOTES COMP. WOOD DECK	
DENOTES CONCRETE	
ENTRANCE	
PROPERTY LINE	
EXISTING GEODETIC	
PROPOSED GEODETIC	
EXISTING TREE TO REMAIN	
NEW TREE	
EXISTING TREE TO BE REMOVED	

GENERAL:
ALL AREAS NOT DESIGNATED WITH MATERIAL SHALL BE SOD
ALL EXISTING STRUCTURES ON THE SUBJECT PROPERTY SHALL BE EITHER REMOVED OR DEMOLISHED
ELEVATIONS ARE GEODETIC AND DERIVED FROM MARKET ASCM 287300

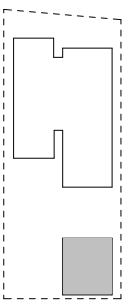
SITE / LOT COVERAGE:
SITE / LOT AREA: 562.653 SM
COVERAGE ALLOWED: 45% = 253.194 SM
MAIN BUILDING FOOTPRINT: 206.51 SM
GARAGE FOOTPRINT: 46.85 SM
TOTAL BUILDING FOOTPRINT: 253.16 SM (-0.03 SM ALLOWABLE)

TREE SCHEDULE
T1: PEMBINA PLUM
T2: GOODLAND APPLE
T3: MOUNTAIN ASH (EXISTING: 0.7 CALIPER)

ISSUED

DEVELOPMENT PERMIT SUBMISSION (GARAGE) 20260213

KEYPLAN



PROJECT

CHINOOK HOUSE
1107 READER CRESCENT NE
LOT 4, BLK 5, PLAN 6133 GA

PROJECT NUMBER

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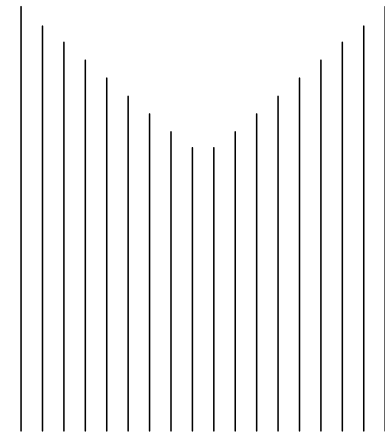
REVISIONS

TITLE

SITE PLAN (G.DP)

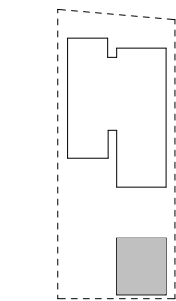
SHEET NUMBER

A00.01 (G.DP)



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SUBMISSION (GARAGE) 20260213

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PROJECT

CHINOOK HOUSE
1107 READER CRESCENT NE
LOT 4, BLK 5, PLAN 6133 GA

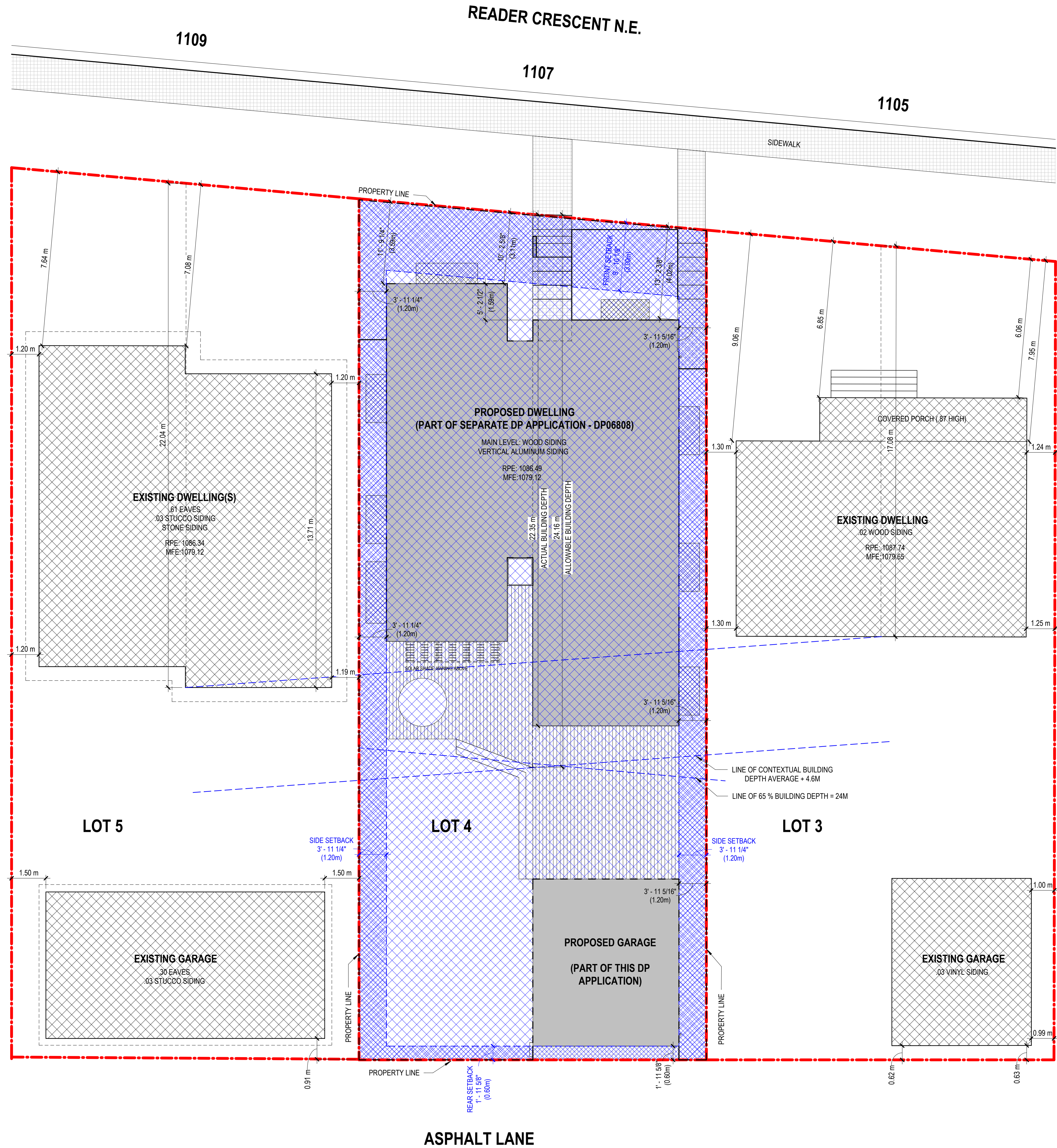
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REVISIONS

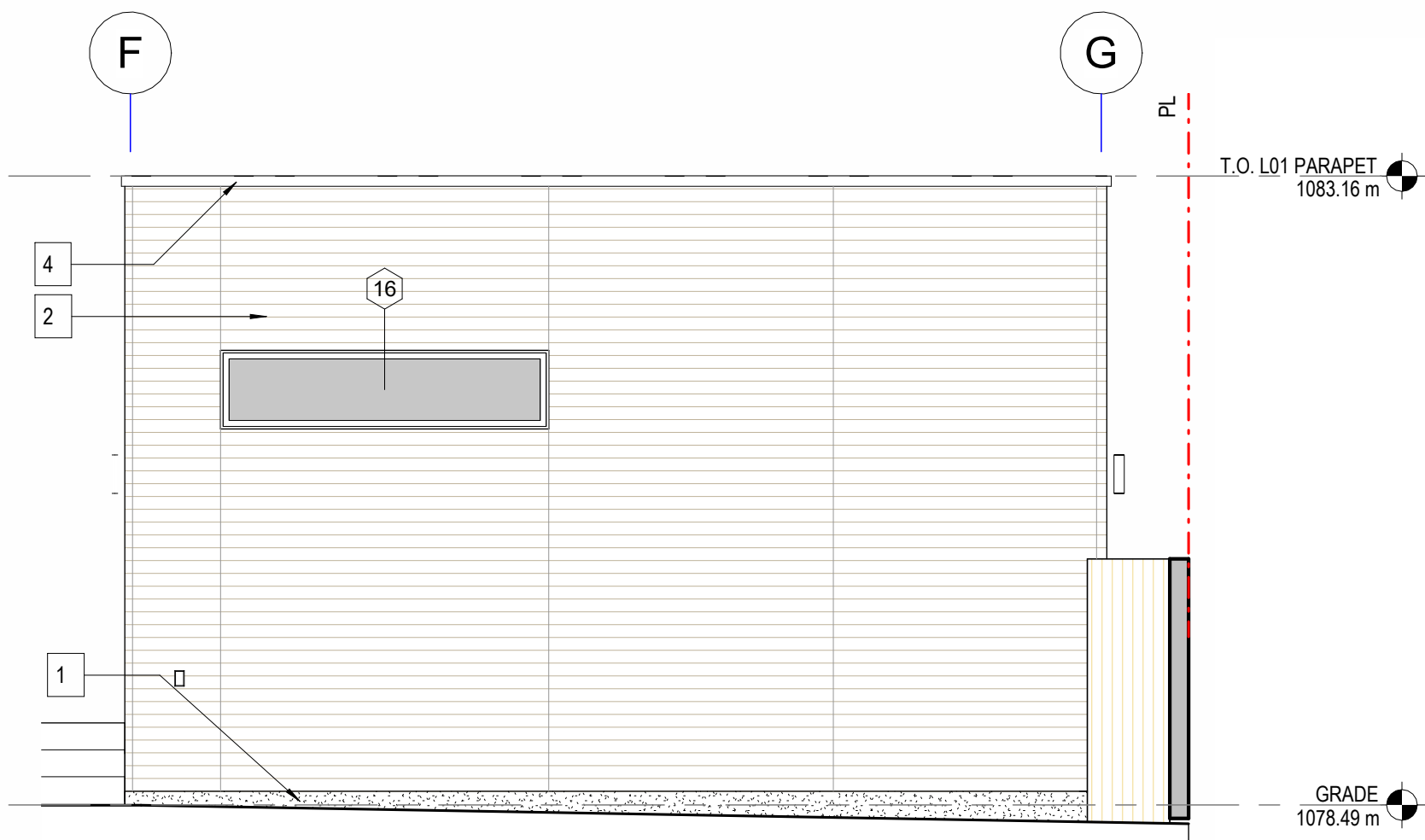
TITLE
BLOCK PLAN (G.DP)

SHEET NUMBER
A00.02 (G.DP)

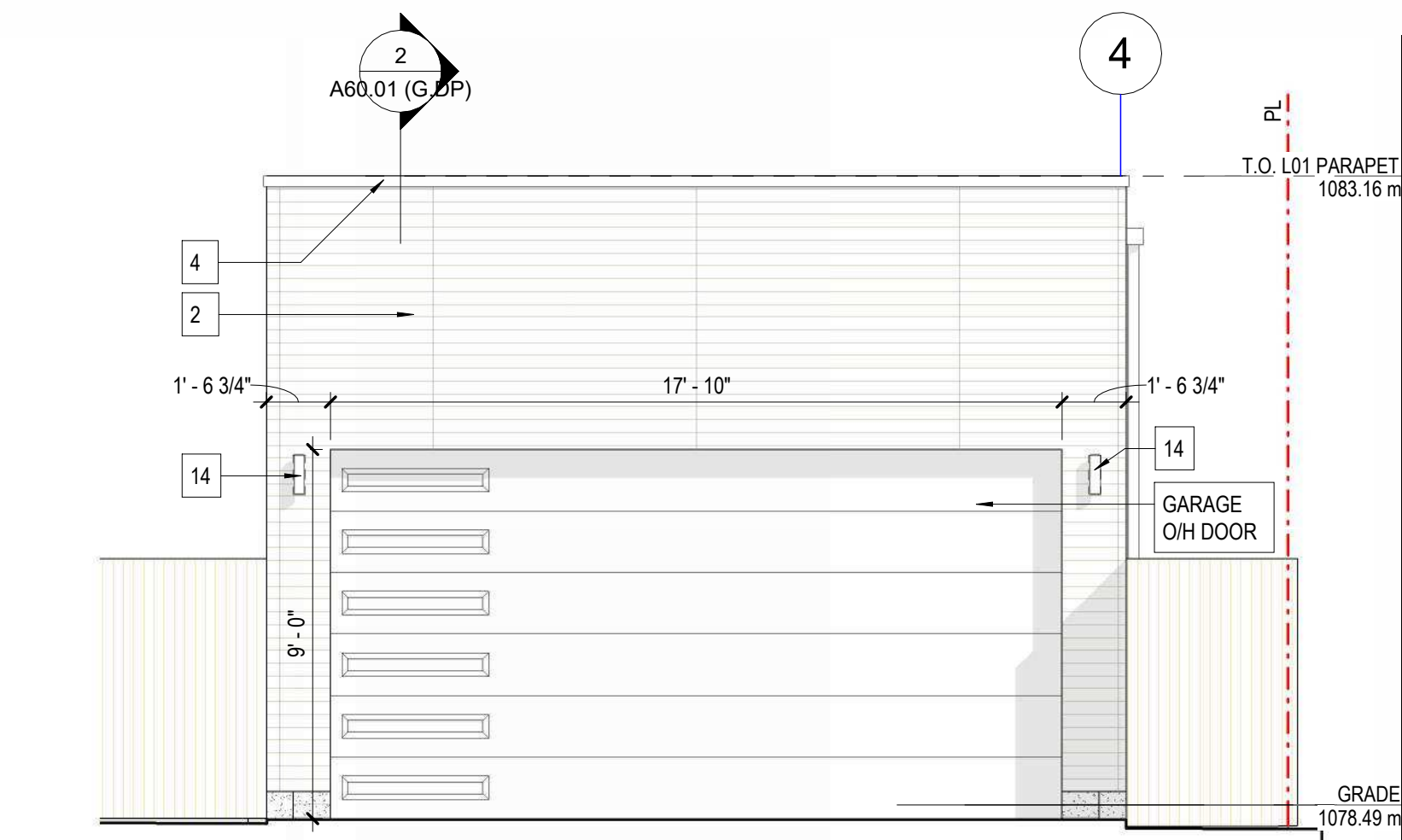
1 BLOCK PLAN
1/8" = 1'-0"



LOT 4 BUILDING DEPTH CALC:
LOT 5 BUILDING DEPTH = 22.04m
LOT 3 BUILDING DEPTH = 17.08m
ALLOWABLE LOT 4 CONTEXTUAL BUILDING DEPTH =
AVG. OF ADJACENT LOTS + 4.6m
 $22.04 (LOT5) + 17.08 (LOT3) = 39.12 / 2 = 19.56 + 4.6 =$
 $24.16m$
ACTUAL BUILDING DEPTH = 22.35 (-1.81m)



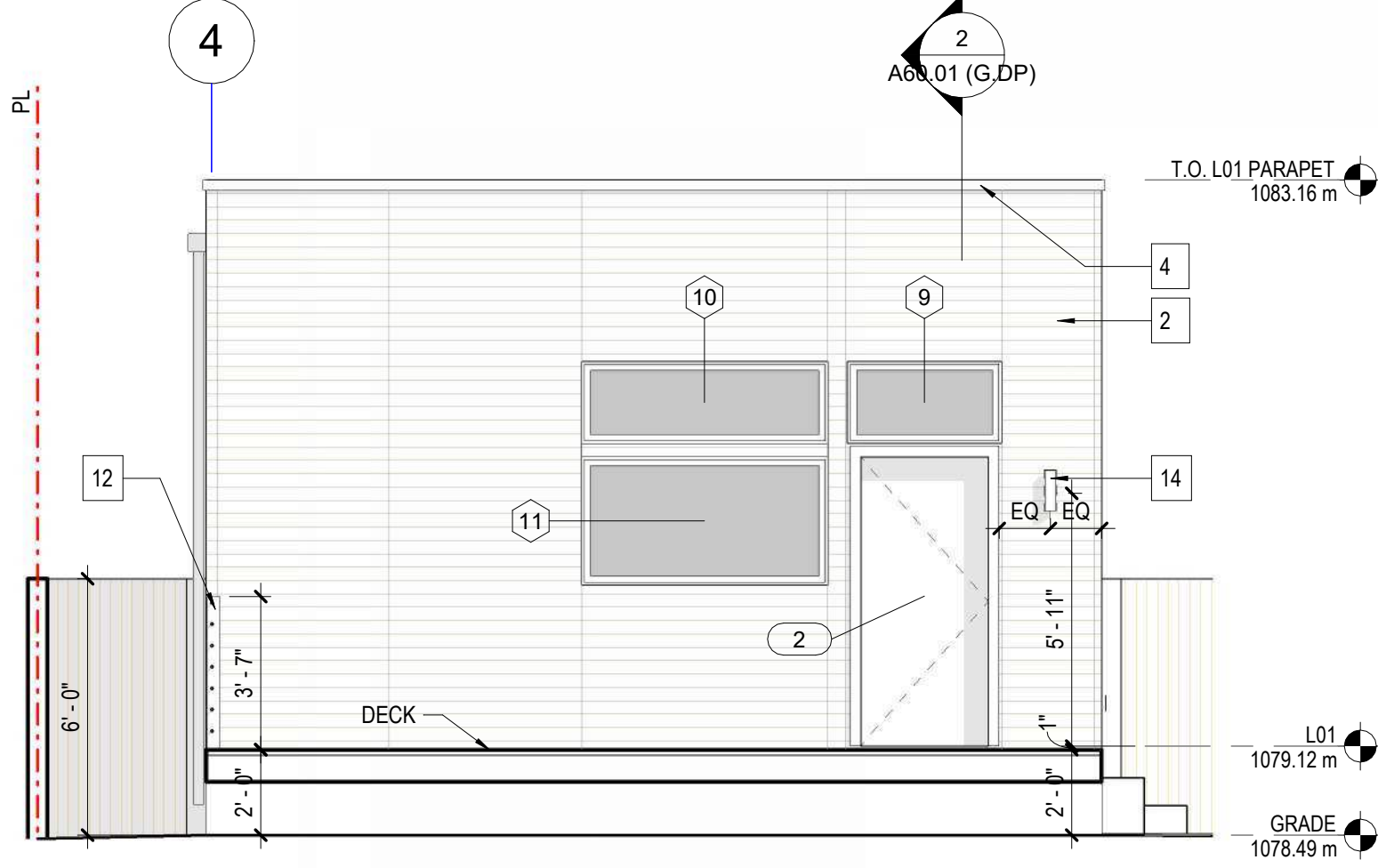
6 GARAGE ELEVATION (WEST)
1/4" = 1'-0"



4 GARAGE ELEVATION (SOUTH)
1/4" = 1'-0"



5 GARAGE ELEVATION (EAST)
1/4" = 1'-0"



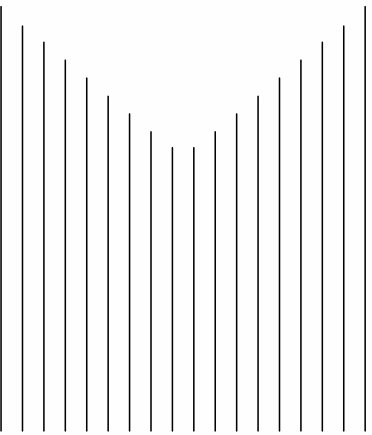
3 GARAGE ELEVATION (NORTH)
1/4" = 1'-0"

EXTERIOR MATERIALS:

1. CONCRETE FOUNDATION WALL - EXTEND WATERPROOFING TO T.O. FOUNDATION - PROVIDE COVERBOARD OR PARPING AT ALL EXPOSED FACES
2. THERMALLY MODIFIED WOOD - CLAPBOARD LAP, INSTALL PER MFG'S SPECIFICATIONS OR ENGINEER'S DIRECTIONS FOR EXTERIOR APPLICATION
3. ALUMINUM STANDING SEAM SIDING - VARIED VERTICAL PROFILE (CHARCOAL COLOUR)
4. ALUMINUM COPING (CHARCOAL COLOUR)
5. ALUMINUM CONTINUOUS EXTRUDED BOX GUTTER (CHARCOAL COLOUR)
6. ALUMINUM EXTRUDED DOWNSPOUT (CHARCOAL COLOUR)
7. ALUMINUM PANEL CONNECTING WINDOWS W/ TRIM SURROUND (CHARCOAL COLOUR)
8. WOOD SLAT RAILING - 1"x2" STACKED ON CONCRETE WALL BASE (SACK RUB FINISH)
9. ALUMINUM SOLAR SHADE AWNING (CHARCOAL COLOUR)
10. 2 METER HIGH OPAQUE GLASS SCREEN
11. 1"x3" STEEL HANDRAIL (POWDER COATED CHARCOAL COLOUR)
12. FENCE WITH WOOD POSTS AND HOT DIPPED GALVANIZED STEEL 3/4" TUBULAR RAILINGS
13. (PLACEHOLDER)
14. EXTERIOR LIGHTS (CHARCOAL COLOUR)

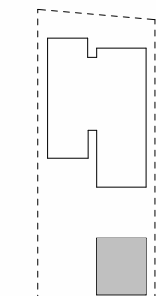
WINDOW SCHEDULE			
TYPE	WIDTH	HEIGHT	COUNT
1	4' - 0"	3' - 3 1/4"	6
2	5' - 11"	3' - 3 1/4"	2
3	1' - 8"	10' - 0"	2
4	8' - 0"	5' - 10 1/2"	1
5	2' - 0"	5' - 10 1/2"	2
6	2' - 0"	7' - 6"	1
7	13' - 3"	5' - 5"	1
8	2' - 0"	8' - 6"	1
9	3' - 7 1/2"	1' - 11"	2
10	5' - 9"	1' - 11"	2
11	5' - 9"	3' - 0"	2
12	1' - 6"	8' - 5"	2
13	3' - 0"	4' - 0"	2
14	7' - 0"	1' - 4"	2
15	8' - 0"	1' - 7 3/4"	1
16	8' - 0"	1' - 11"	4
17	1' - 8"	5' - 9"	3
18	2' - 6"	3' - 10"	1
19	8' - 0"	4' - 0"	1
20	10' - 0"	4' - 0"	1
21	4' - 6"	5' - 9"	1
TOTAL WINDOW COUNT: 40			

DOOR SCHEDULE			
TYPE	WIDTH	HEIGHT	COUNT
1	3' - 0"	8' - 0"	1
2	3' - 0"	6' - 9 1/4"	2
3	2' - 8"	6' - 6"	1
4	2' - 8"	6' - 8"	2
5	8' - 0"	7' - 0"	1
21	2' - 6"	8' - 0"	1
TOTAL DOOR COUNT: 8			



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CHINOOK HOUSE
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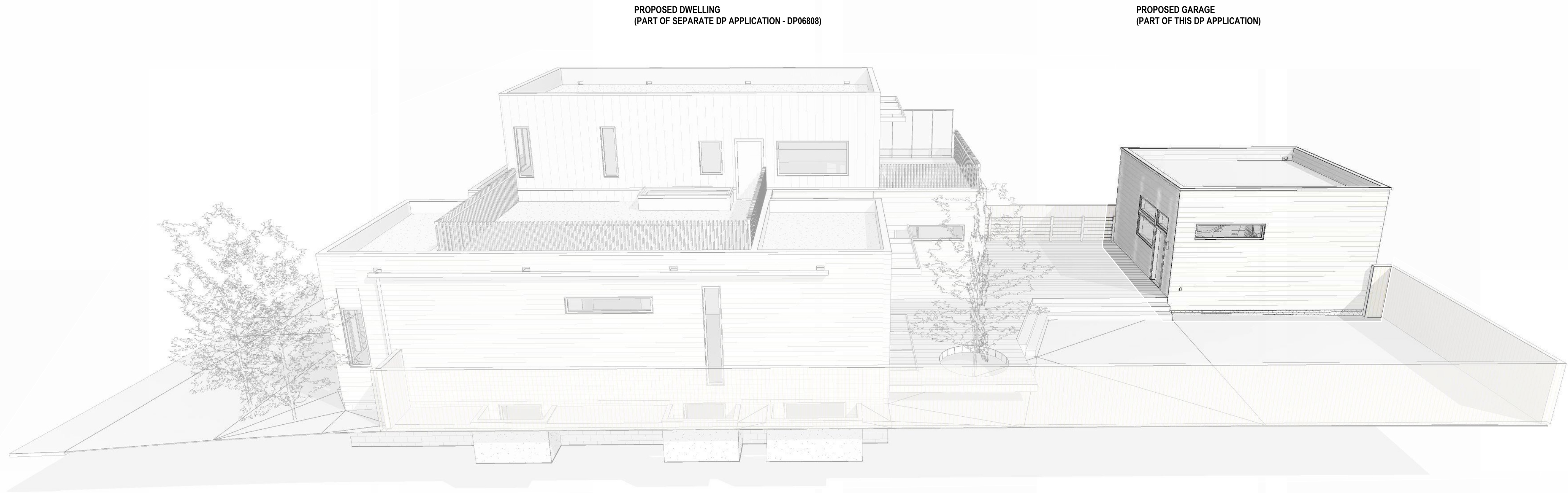
PROJECT NUMBER
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REVISIONS

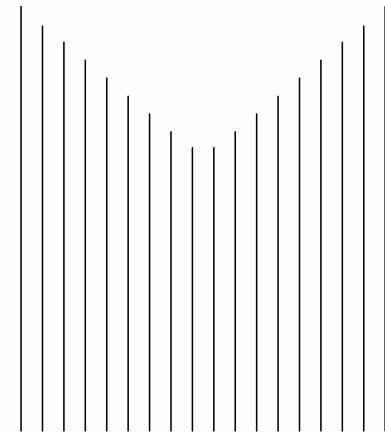
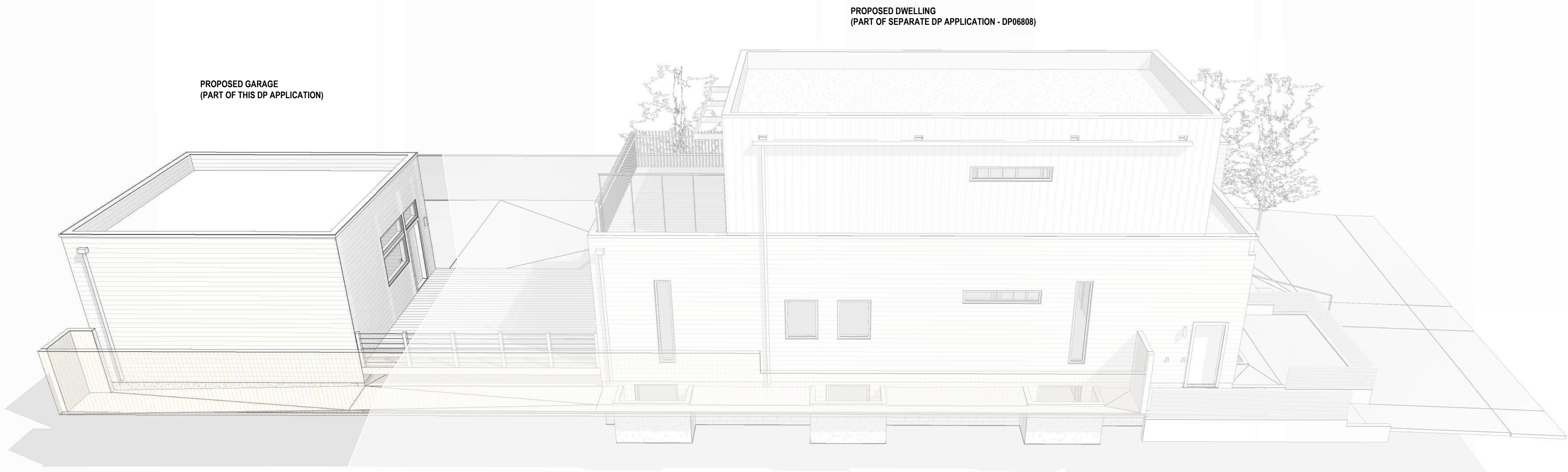
TITLE
GARAGE PLANS AND
ELEVATIONS (G.DP)

SHEET NUMBER
A60.01 (G.DP)

2 3D - PERSPECTIVE (WEST)



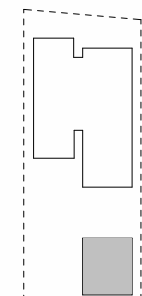
1 3D - PERSPECTIVE (EAST)



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PROJECT

CHINOOK HOUSE

1107 READER CRESCENT NE
LOT 4, BLK 5, PLAN 6133 GA

PROJECT NUMBER

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REVISIONS

TITLE

EXTERIOR
PERSPECTIVES (G.DP)

SHEET NUMBER

A70.01 (G.DP)