

BUILDER:

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LOGO

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SHEET LIST

SITE PLAN	A0.1
FLOOR PLANS	A1.0
ROOF PLAN	A1.1
ELEVATIONS	A2.0
ELEVATIONS	A2.1
BUILDING SECTION	A3.0
BUILDING SECTION	A3.1
DOOR SCHEDULE/ELEVATIONS	A3.2
DETAILS	A4.0
DETAILS	A4.1

DETACHED GARAGE SUITE

NEW PROPOSED DEVELOPMENT

1420 6th ST. N.W.
CALGARY, ALBERTA

Lots 31 & 32, Block 17, Plan 5299T



NOTE: AI RENDER FOR ARTISTIC REFERENCE ONLY,
FINAL MATERIALS AND COLORS MAY VARY ON SITE

PROJECT INFO

CLIENT/PROJECT: S&O - GARAGE SUITE
LEGAL ADDRESS: Lots 31 & 32, Block 17, Plan 5299T
CIVIC ADDRESS: 1420 6th ST. N.W.

DRAWING INFORMATION

STATUS: DEVELOPMENT PERMIT
PROJECT LEAD: J.WILLSIE
CHECKED BY: STUDIO
SCALE: 1/4" = 1'-0"
COPYRIGHT ALL RIGHTS RESERVED ARCH C: 18" x 24"

REVISION HISTORY		DATE
JW	PRELIMINARY SITE	NOV 14, 2025
JW	PRESENTATION #1	DEC 15, 2025
JW	PRESENTATION #2	JAN 15, 2026
JW	DEVELOPMENT PERMIT	FEB 13, 2026
SV	TENDER DRAWINGS	FEB 19, 2026
JH	DETAILED REVIEW RESP.	APR 10, 2026

COVER PAGE

A0.0

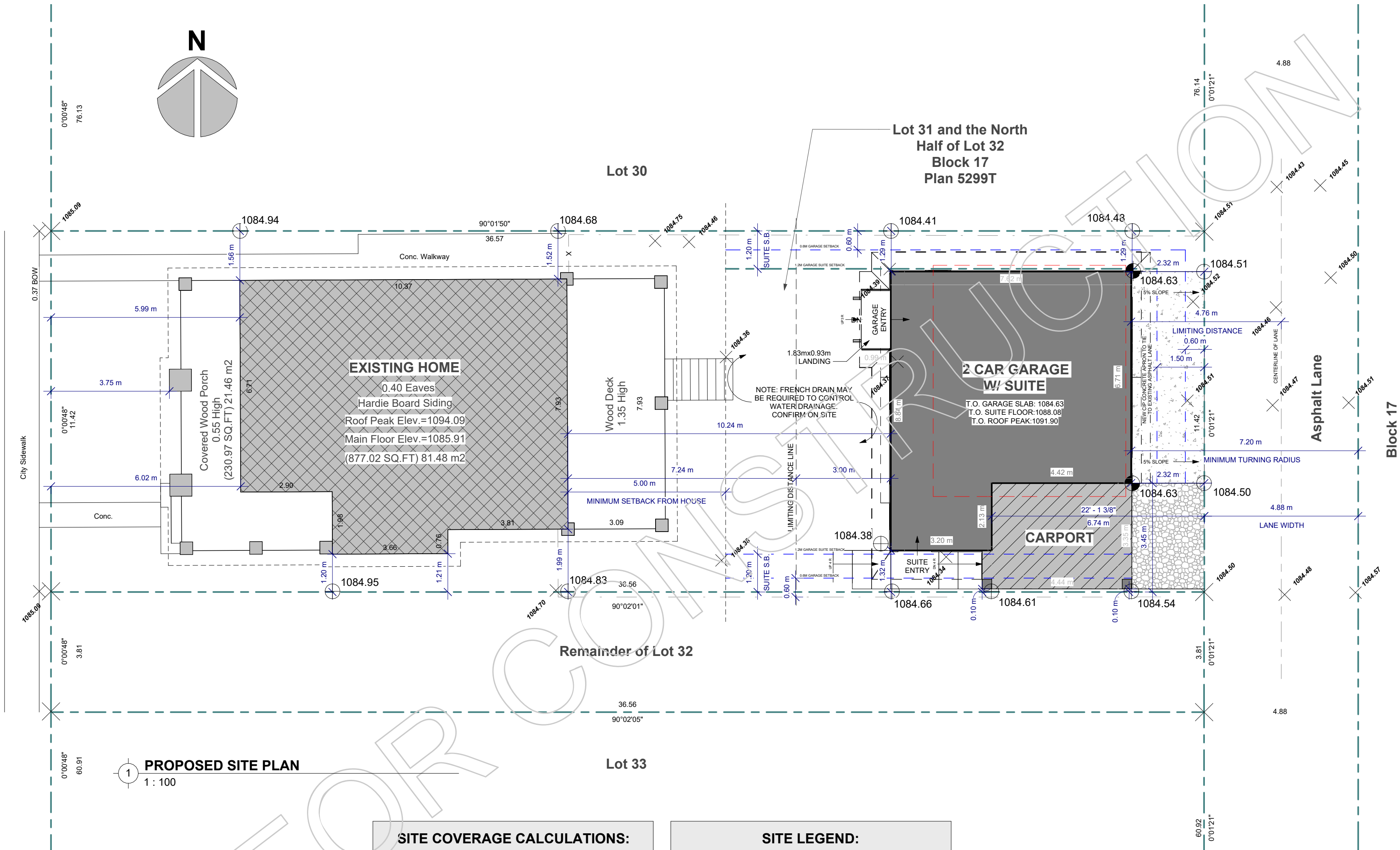
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DETAILS	A4.1



PROPOSED SITE PLAN
1 : 100

SITE COVERAGE CALCULATIONS:

BYLAW REQUIREMENT:		
SITE AREA:	418.29 m ²	
ALLOWED COVERAGE:	188.23 m ²	45.00%
EXISTING HOUSE:		
HOUSE FOOTPRINT:	81.48 m ²	
COVERED PORCH:	21.46 m ²	
TOTAL RESIDENCE:	102.94 m ²	24.61%
PROPOSED GARAGE SUITE:		
GARAGE FOOTPRINT:	57.93 m ²	
CAR PORT:	15.26 m ²	
TOTAL GARAGE SUITE:	73.19 m ²	17.49%
TOTAL ON SITE:	176.13 m ²	42.10%

SITE LEGEND:

PROPERTY LINES:	---
SETBACKS:	---
UTILITY R.O.W. & CAVEATS:	---
ROOF OVERHANG:	---
ELECTRICAL:	---
STORM/SEWER:	---
WATER LINES:	---
GAS LINES:	---
PROPOSED RESIDENCE:	■
PROPOSED CANTILEVERS:	▨
PROPOSED GARAGES:	■
EXISTING BUILDINGS:	▨
CONCRETE PATHS, ETC:	■
GRAVEL:	■
WOOD DECKS/PORCHES:	▨
COVERED DECKS / PORCHES:	▨
PROPOSED GEODETICS:	● 100.00
EXISTING GEODETICS:	⊗ 100.00

DISCLAIMER:
ALL SITE INFORMATION IS BASED OFF OFF THIRD PARTY DRAWINGS. ELLERGODT DESIGN TAKES NO REPONSIBILITY FOR INACCURATE GRADING POINTS, SITE FURNITURE, EXISTING SERVICE SIZES OR LOCATIONS, BUILDER TO VERIFY ALL CRITICAL DIMENSIONS ON SITE PRIOR TO STARTING CONSTRUCTION.

DEVELOPMENT PERMIT

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CHECKED BY:	STUDIO
SCALE:	As indicated

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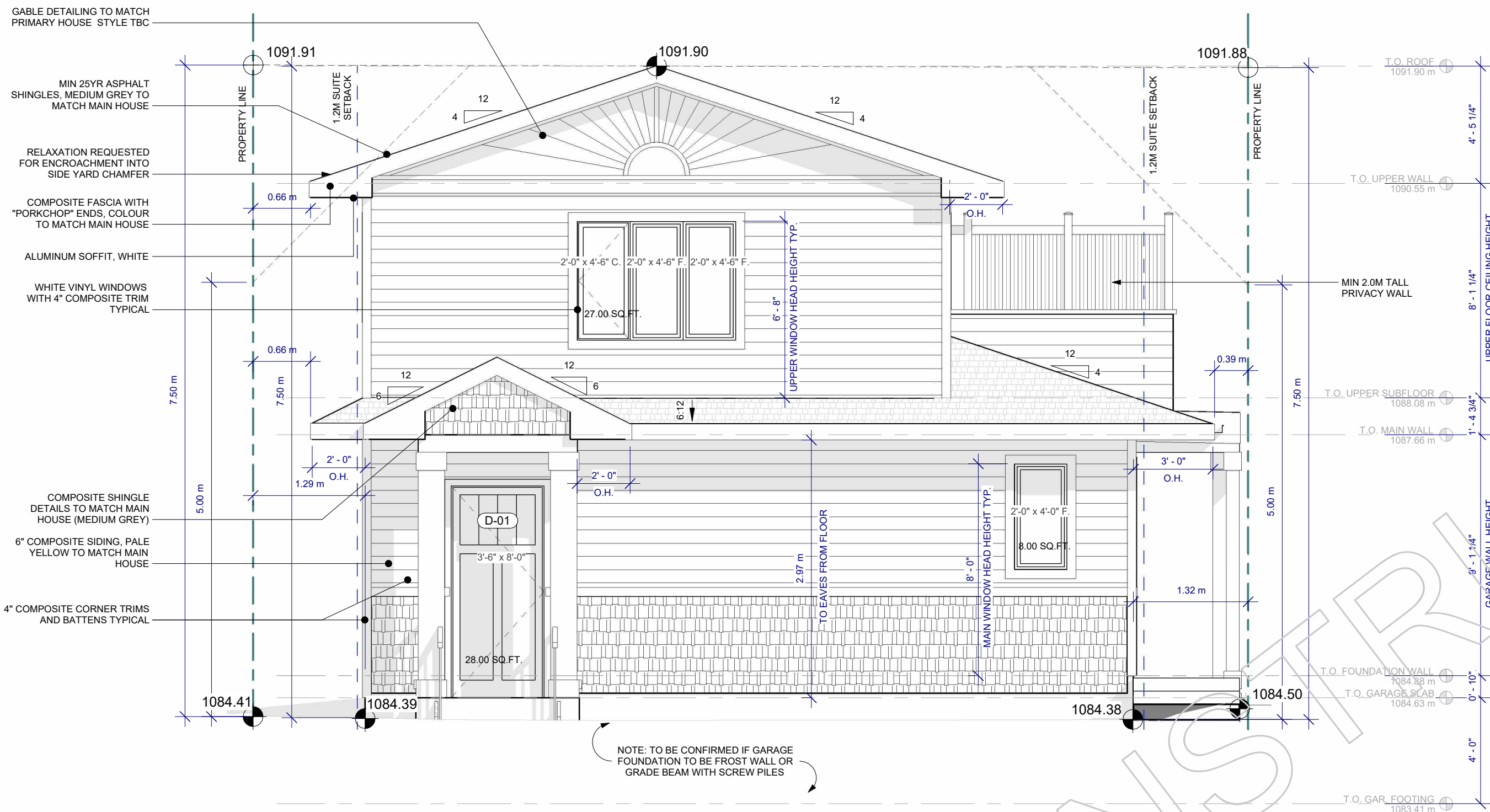
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SITE PLAN

A0.1

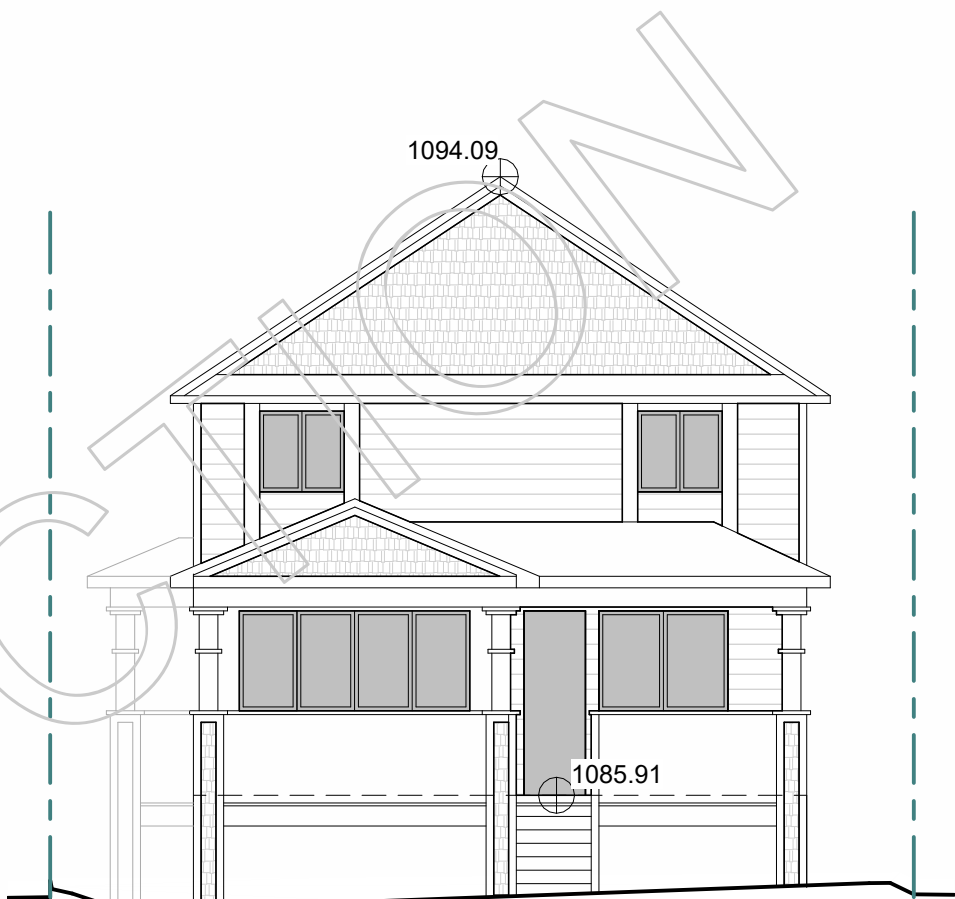
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GARAGE LIMITING DISTANCE CALCULATION

WALL FACE AREA:	560.25 ft ²	52.05 m ²
WINDOW AREA:	63.00 ft ²	5.85 m ²
LIMITING DISTANCE:	3.00 m	
ACTUAL COVERAGE:	11.24 %	
ALLOWED COVERAGE:	13.5 %	



HOUSE LIMITING DISTANCE CALCULATION

WALL FACE AREA:	585.28 ft ²	54.37 m ²
WINDOW AREA:	114.00 ft ²	10.59 m ²
LIMITING DISTANCE:	7.42 m	
ACTUAL COVERAGE:	19.48 %	
ALLOWED COVERAGE:	49.62 %	

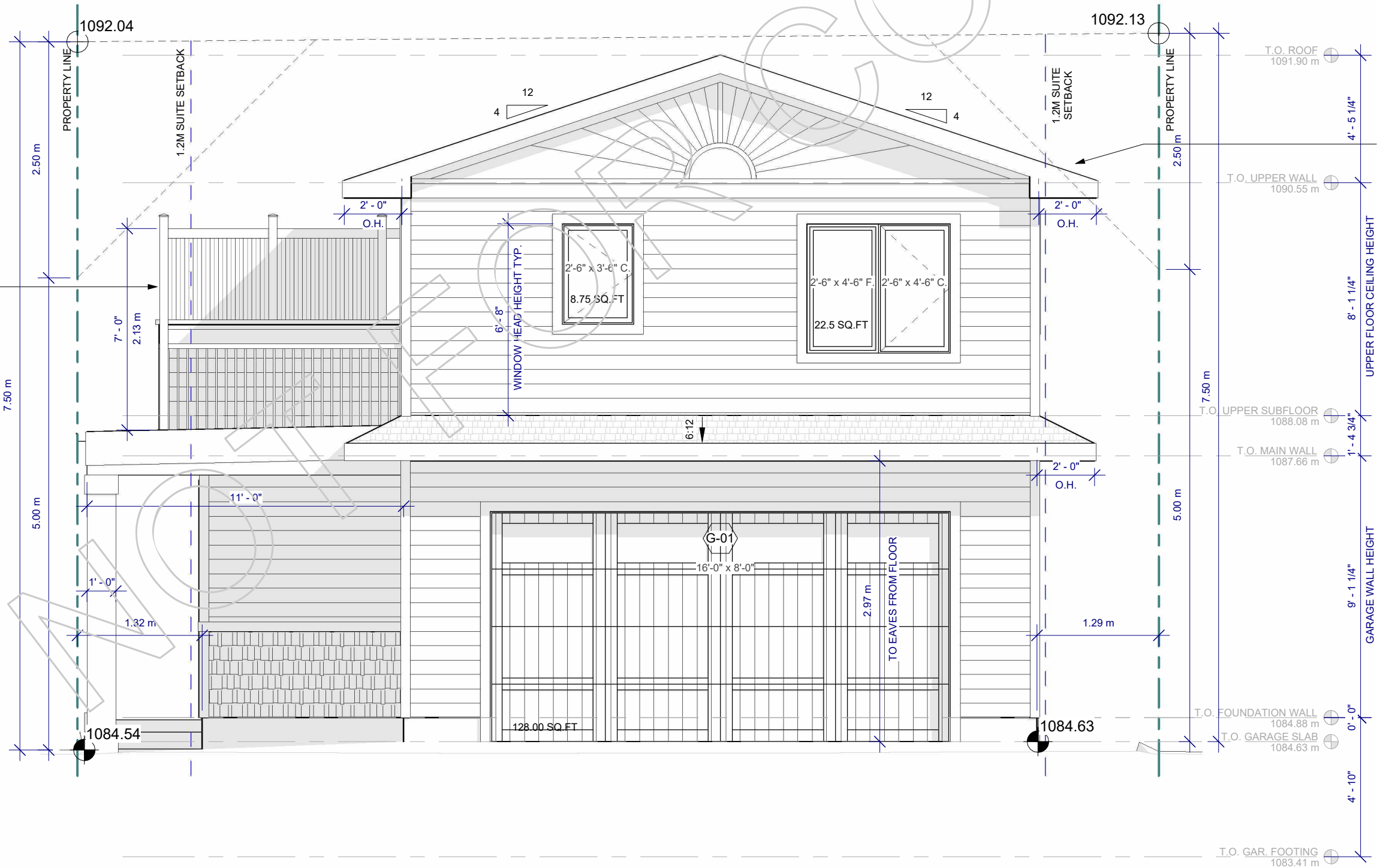
NOTE: NUMBERS ARE APPROXIMATE BASED OFF SURVEY HOUSE DIMENSIONS AND ASSUMED WINDOW SIZES.

EXISTING HOUSE - LIMITING DISTANCE

1 : 100

PROPOSED FRONT ELEVATION

1/4" = 1'-0"



LIMITING DISTANCE CALCULATION

WALL FACE AREA:	560.25 ft ²	52.05 m ²
WINDOW AREA:	159.25 ft ²	14.79 m ²
LIMITING DISTANCE:	4.76 m (TO LANE CL)	
ACTUAL COVERAGE:	SQUARED = 22.66 m ² MAX	28.41 %

RELAXATION REQUESTED FOR ENCROACHMENT INTO SIDE YARD CHAMFER



EXTERIOR PERSPECTIVE VIEW 1

3D PERSPECTIVES FOR ARTISTIC REFERENCE ONLY, NOT TO SCALE

PROPOSED REAR ELEVATION

1/4" = 1'-0"

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ELEVATIONS

A2.0



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