

BUILDER:

THIS DESIGN AND DRAWINGS, IN ANY FORM, ARE THE EXCLUSIVE PROPERTY OF ELLERGODT DESIGN INC. AND SHALL NOT BE CHANGED OR REPRODUCED IN WHOLE OR IN PART BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN INC. THESE DESIGNS AND DRAWINGS ARE TO BE USED SOLEY FOR THE PROJECT LISTED BELOW AND MAY NOT BE USED BY OR DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN.

GENERAL NOTES:

DO NOT SCALE DRAWINGS
THIS DRAWING SUPERCEEDS PREVIOUS ISSUES. PLEASE USE THE LATEST ISSUED DRAWINGS. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL LABELLED "ISSUED FOR CONSTRUCTION" BY ELLERGODT DESIGN INC.
CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS & DATUM POINTS PRIOR TO CONSTRUCTION ON SITE AND REPORT ANY DISCREPENCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
ELLERGODT DESIGN LIABILITY IS LIMITED TO CORRECTION OF WORKING DRAWINGS ONLY.

SHEET LIST

SITE PLAN	A0.1
FLOOR PLANS	A1.0
ROOF PLAN	A1.1
ELEVATIONS	A2.0
ELEVATIONS	A2.1
BUILDING SECTION	A3.0
BUILDING SECTION	A3.1
DETAILS	A4.0
DETAILS	A4.1

DETACHED GARAGE SUITE

NEW PROPOSED DEVELOPMENT

1420 6th ST. N.W.
CALGARY, ALBERTA

Lots 31 & 32, Block 17, Plan 5299T



NOTE: AI RENDER FOR ARTISTIC REFERENCE ONLY,
FINAL MATERIALS AND COLORS MAY VARY ON SITE

PROJECT INFO

CLIENT/PROJECT: S&O - GARAGE SUITE
LEGAL ADDRESS: Lots 31 & 32, Block 17, Plan 5299T
CIVIC ADDRESS: 1420 6th ST. N.W.

DRAWING INFORMATION

STATUS: DEVELOPMENT PERMIT
PROJECT LEAD: J.WILLSIE
CHECKED BY: STUDIO
SCALE: 1/4" = 1'-0"
COPYRIGHT ALL RIGHTS RESERVED ARCH C: 18" x 24"

REVISION HISTORY	DATE
JW PRELIMINARY SITE	NOV 14, 2025
JW PRESENTATION #1	DEC 15, 2025
JW PRESENTATION #2	JAN 15, 2026
JW DEVELOPMENT PERMIT	FEB 13, 2025

COVER PAGE

A0.0

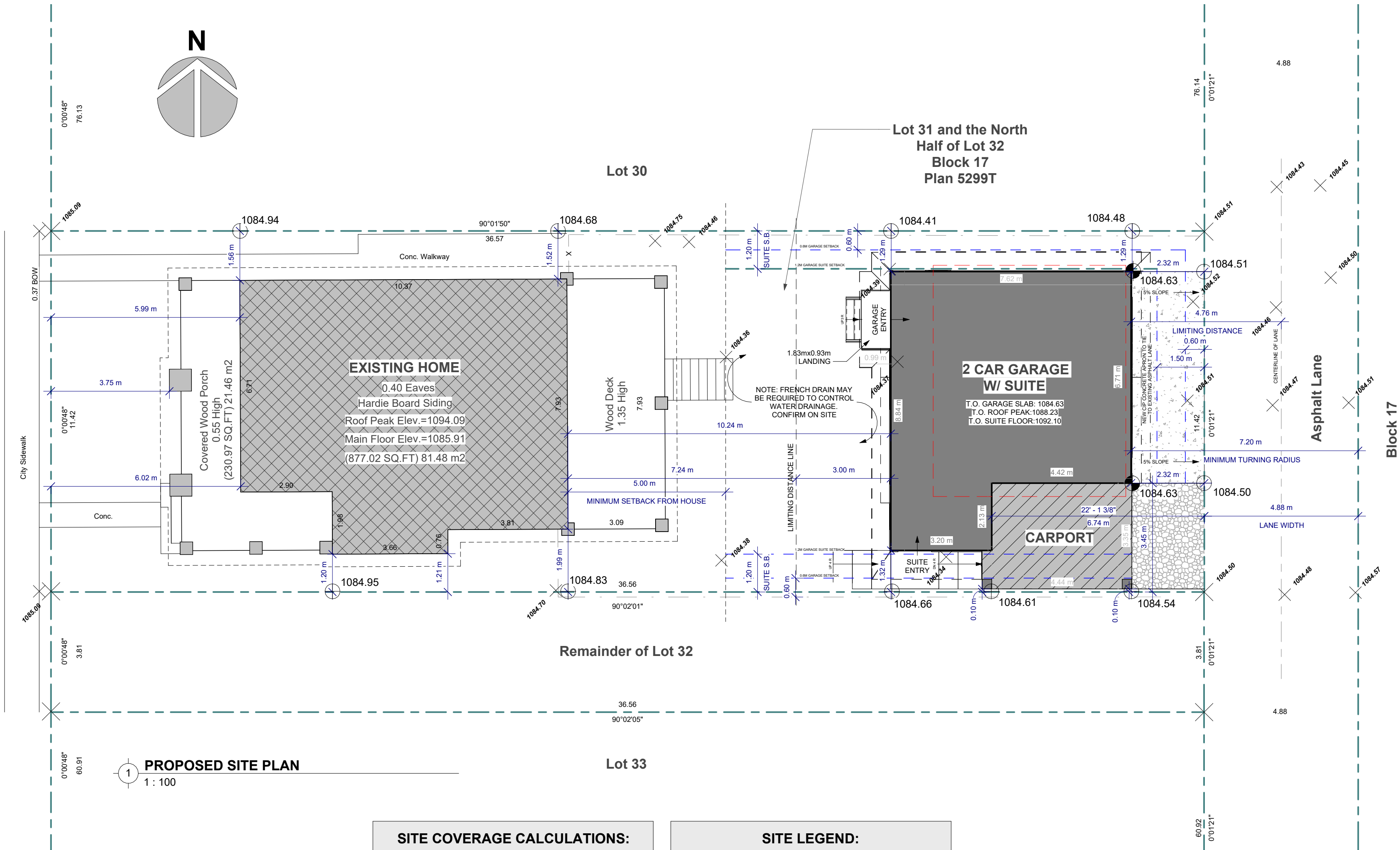
DEVELOPMENT PERMIT

THIS DESIGN AND DRAWINGS, IN ANY FORM, ARE THE EXCLUSIVE PROPERTY OF ELLERGODT DESIGN INC. AND SHALL NOT BE CHANGED OR REPRODUCED IN WHOLE OR IN PART BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN INC. THESE DESIGNS AND DRAWINGS ARE TO BE USED SOLELY FOR THE PROJECT LISTED BELOW AND MAY NOT BE USED BY OR DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN.

GENERAL NOTES:
DO NOT SCALE DRAWINGS
THIS DRAWING SUPERCEDES PREVIOUS ISSUES. PLEASE USE THE LATEST ISSUED DRAWINGS. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL LABELLED "ISSUED FOR CONSTRUCTION" BY ELLERGODT DESIGN INC.
CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS & DATUM POINTS PRIOR TO CONSTRUCTION ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
ELLERGODT DESIGN LIABILITY IS LIMITED TO CORRECTION OF WORKING DRAWINGS ONLY.

SHEET LIST

SITE PLAN	A0.1
FLOOR PLANS	A1.0
ROOF PLAN	A1.1
ELEVATIONS	A2.0
ELEVATIONS	A2.1
BUILDING SECTION	A3.0
BUILDING SECTION	A3.1
DETAILS	A4.0
DETAILS	A4.1



1 PROPOSED SITE PLAN
1 : 100

SITE COVERAGE CALCULATIONS:

BYLAW REQUIREMENT:			
SITE AREA:	418.29 m ²		
ALLOWED COVERAGE:	188.23 m ²	45.00%	
EXISTING HOUSE:			
HOUSE FOOTPRINT:	81.48 m ²		
COVERED PORCH:	21.46 m ²		
TOTAL RESIDENCE:	102.94 m²	24.61%	
PROPOSED GARAGE SUITE:			
GARAGE FOOTPRINT:	57.93 m ²		
CAR PORT:	15.26 m ²		
TOTAL GARAGE SUITE:	73.19 m²	17.49%	
TOTAL ON SITE:	176.13 m²	42.10%	

SITE LEGEND:

PROPERTY LINES:	---
SETBACKS:	---
UTILITY R.O.W. & CAVEATS:	---
ROOF OVERHANG:	---
ELECTRICAL:	---
STORM/SEWER:	---
WATER LINES:	---
GAS LINES:	---
PROPOSED RESIDENCE:	■
PROPOSED CANTILEVERS:	▨
PROPOSED GARAGES:	■
EXISTING BUILDINGS:	▨
CONCRETE PATHS, ETC:	■
GRAVEL:	■
WOOD DECKS/PORCHES:	▨
COVERED DECKS / PORCHES:	▨
PROPOSED GEODETICS:	● 100.00
EXISTING GEODETICS:	⊗ 100.00

DISCLAIMER:
ALL SITE INFORMATION IS BASED OFF OFF THIRD PARTY DRAWINGS. ELLERGODT DESIGN TAKES NO REPSONSIBILITY FOR INACCURATE GRADING POINTS, SITE FURNITURE, EXISTING SERVICE SIZES OR LOCATIONS, BUILDER TO VERIFY ALL CRITICAL DIMENSIONS ON SITE PRIOR TO STARTING CONSTRUCTION.

DEVELOPMENT PERMIT

PROJECT INFO

CLIENT/PROJECT:	S&O - GARAGE SUITE
LEGAL ADDRESS:	Lots 31 & 32, Block 17, Plan 5299T
CIVIC ADDRESS:	1420 6th ST. N.W.

DRAWING INFORMATION

STATUS:	DEVELOPMENT PERMIT
PROJECT LEAD:	J.WILLSIE
CHECKED BY:	STUDIO
SCALE:	As indicated

COPYRIGHT ALL RIGHTS RESERVED ARCH C: 18" x 24"

REVISION HISTORY	DATE
JW PRELIMINARY SITE	NOV 14, 2025
JW PRESENTATION #1	DEC 15, 2025
JW PRESENTATION #2	JAN 15, 2026
JW DEVELOPMENT PERMIT	FEB 13, 2025

SITE PLAN

A0.1

THIS DESIGN AND DRAWINGS, IN ANY FORM, ARE THE EXCLUSIVE PROPERTY OF ELLERGODT DESIGN INC. AND SHALL NOT BE CHANGED OR REPRODUCED IN WHOLE OR IN PART BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN INC. THESE DESIGNS AND DRAWINGS ARE TO BE USED SOLELY FOR THE PROJECT LISTED BELOW AND MAY NOT BE USED BY OR DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN.

GENERAL NOTES:
DO NOT SCALE DRAWINGS
THIS DRAWING SUPERCEDES PREVIOUS ISSUES. PLEASE USE THE LATEST ISSUED DRAWINGS. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL LABELLED "ISSUED FOR CONSTRUCTION" BY ELLERGODT DESIGN INC.
CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS & DATUM POINTS PRIOR TO CONSTRUCTION ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
ELLERGODT DESIGN LIABILITY IS LIMITED TO CORRECTION OF WORKING DRAWINGS ONLY.

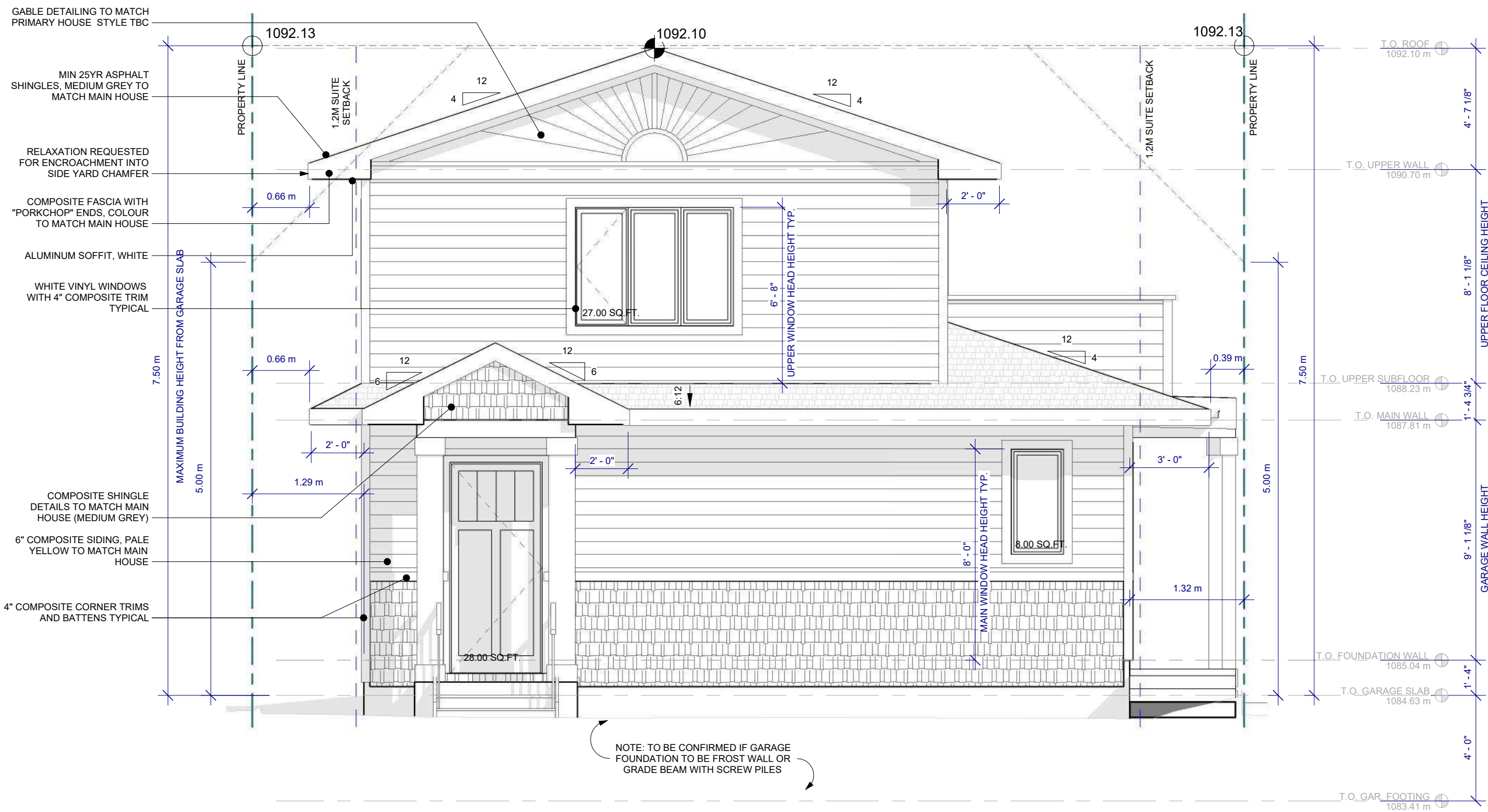
EXT. FINISH SCHEDULE	
PRIMARY WALL FINISH	FINISH TYPE - COLOUR
SECONDARY WALL FINISH	FINISH TYPE - COLOUR
ACCENT MATERIAL 1	FINISH TYPE - COLOUR
ACCENT MATERIAL 2	FINISH TYPE - COLOUR
MASONRY	FINISH TYPE - COLOUR
WINDOW FINISH	METAL CLAD VINYL - COLOUR
EAVESTROUGH AND DOWNSPOUT	ALUMINIUM - COLOUR
ROOFING	25 YR ASPHALT SHINGLES - COLOUR
ROOFING - ACCENT	FINISH TYPE - COLOUR
TRIM WORK	COMPOSITE TRIM - COLOUR
FRONT STEPS	PRECAST CONCRETE - NATURAL
REAR STEPS	DIMENSIONAL LUMBER - P.T. BROWN
FRONT PORCH	PRECAST CONCRETE - NATURAL
REAR DECK	DIMENSIONAL LUMBER - STAINED MED. BROWN
REAR PATIO	CAST IN PLACE CONC. - NATURAL BROOM FINISH
DRIVEWAY	CAST IN PLACE CONC. - NATURAL BROOM FINISH

PROJECT INFO		
CLIENT/PROJECT:	S&O - GARAGE SUITE	
LEGAL ADDRESS:	Lots 31 & 32, Block 17, Plan 5299T	
CIVIC ADDRESS:	1420 6th ST. N.W.	
DRAWING INFORMATION		
STATUS:	DEVELOPMENT PERMIT	
PROJECT LEAD:	J.WILLSIE	
CHECKED BY:	STUDIO	
SCALE:	As indicated	
COPYRIGHT ALL RIGHTS RESERVED ARCH C: 18" x 24"		
REVISION HISTORY		DATE
JW	PRELIMINARY SITE	NOV 14, 2025
JW	PRESENTATION #1	DEC 15, 2025
JW	PRESENTATION #2	JAN 15, 2026
JW	DEVELOPMENT PERMIT	FEB 13, 2025

DEVELOPMENT PERMIT

ELEVATIONS

A2.0



GARAGE LIMITING DISTANCE CALCULATION	
WALL FACE AREA:	560.25 ft²
WINDOW AREA:	63.00 ft²
LIMITING DISTANCE:	3.00 m
ACTUAL COVERAGE:	11.24 %
ALLOWED COVERAGE:	13.5 %



HOUSE LIMITING DISTANCE CALCULATION	
WALL FACE AREA:	585.28 ft²
WINDOW AREA:	114.00 ft²
LIMITING DISTANCE:	7.42 m
ACTUAL COVERAGE:	19.48 %
ALLOWED COVERAGE:	49.62 %

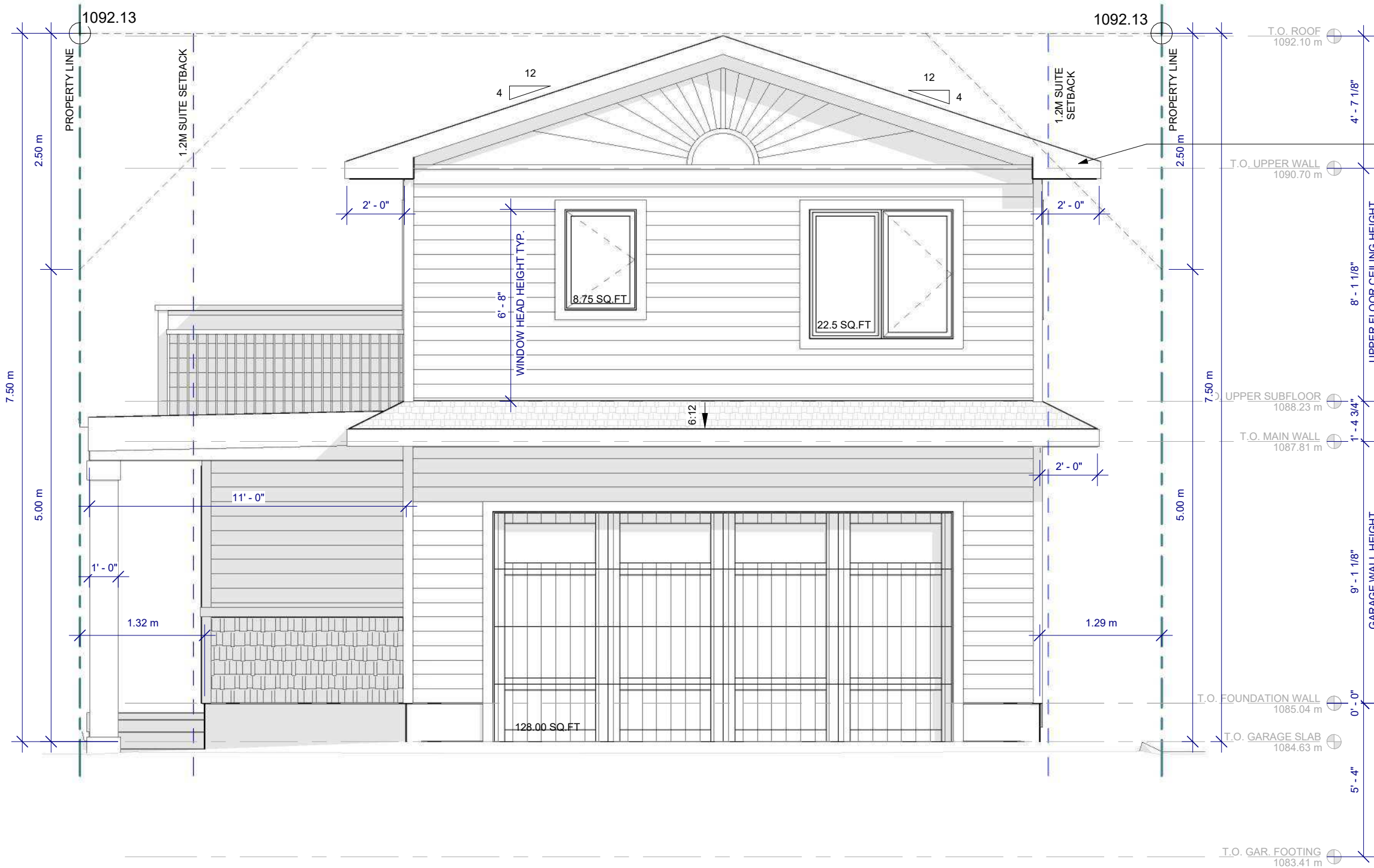
NOTE: NUMBERS ARE APPROXIMATE BASED OFF SURVEY HOUSE DIMENSIONS AND ASSUMED WINDOW SIZES.

EXISTING HOUSE - LIMITING DISTANCE

1 : 100

PROPOSED FRONT ELEVATION

1/4" = 1'-0"



LIMITING DISTANCE CALCULATION	
WALL FACE AREA:	560.25 ft²
WINDOW AREA:	159.25 ft²
LIMITING DISTANCE:	4.76 m (TO LANE CL)
ACTUAL COVERAGE:	SQUARED = 22.66 m² MAX 28.41 %

RELAXATION REQUESTED FOR ENCROACHMENT INTO SIDE YARD CHAMFER



EXTERIOR PERSPECTIVE VIEW 1

3D PERSPECTIVES FOR ARTISTIC REFERENCE ONLY, NOT TO SCALE

THIS DESIGN AND DRAWINGS, IN ANY FORM, ARE THE EXCLUSIVE PROPERTY OF ELLERGODT DESIGN INC. AND SHALL NOT BE CHANGED OR REPRODUCED IN WHOLE OR IN PART BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN INC. THESE DESIGNS AND DRAWINGS ARE TO BE USED SOLELY FOR THE PROJECT LISTED BELOW AND MAY NOT BE USED BY OR DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ELLERGODT DESIGN.

GENERAL NOTES:
DO NOT SCALE DRAWINGS
THIS DRAWING SUPERCEDES PREVIOUS ISSUES. PLEASE USE THE LATEST ISSUED DRAWINGS. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL LABELLED "ISSUED FOR CONSTRUCTION" BY ELLERGODT DESIGN INC.
CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS & DATUM POINTS PRIOR TO CONSTRUCTION ON SITE AND REPORT ANY DISCREPENCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
ELLERGODT DESIGN LIABILITY IS LIMITED TO CORRECTION OF WORKING DRAWINGS ONLY.

EXT. FINISH SCHEDULE	
PRIMARY WALL FINISH	FINISH TYPE - COLOUR
SECONDARY WALL FINISH	FINISH TYPE - COLOUR
ACCENT MATERIAL 1	FINISH TYPE - COLOUR
ACCENT MATERIAL 2	FINISH TYPE - COLOUR
MASONRY	FINISH TYPE - COLOUR
WINDOW FINISH	METAL CLAD VINYL - COLOUR
EAVESTROUGH AND DOWNSPOUT	ALUMINIUM - COLOUR
ROOFING	25 YR ASPHALT SHINGLES - COLOUR
ROOFING - ACCENT	FINISH TYPE - COLOUR
TRIM WORK	COMPOSITE TRIM - COLOUR
FRONT STEPS	PRECAST CONCRETE - NATURAL
REAR STEPS	DIMENSIONAL LUMBER - P.T. BROWN
FRONT PORCH	PRECAST CONCRETE - NATURAL
REAR DECK	DIMENSIONAL LUMBER - STAINED MED. BROWN
REAR PATIO	CAST IN PLACE CONC. - NATURAL BROOM FINISH
DRIVEWAY	CAST IN PLACE CONC. - NATURAL BROOM FINISH

PROJECT INFO		
CLIENT/PROJECT:	S&O - GARAGE SUITE	
LEGAL ADDRESS:	Lots 31 & 32, Block 17, Plan 5299T	
CIVIC ADDRESS:	1420 6th St. N.W.	
DRAWING INFORMATION		
STATUS:	DEVELOPMENT PERMIT	
PROJECT LEAD:	J.WILLSIE	
CHECKED BY:	STUDIO	
SCALE:	As indicated	
COPYRIGHT ALL RIGHTS RESERVED ARCH C: 18" x 24"		
REVISION HISTORY		DATE
JW	PRELIMINARY SITE	NOV 14, 2025
JW	PRESENTATION #1	DEC 15, 2025
JW	PRESENTATION #2	JAN 15, 2026
JW	DEVELOPMENT PERMIT	FEB 13, 2025

DEVELOPMENT PERMIT



1 PROPOSED LEFT ELEVATION
1/4" = 1'-0"



2 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"