



KINGSWOOD CABINETS NEW FACILITY

10750 14TH STREET NE

CALGARY, AB

ISSUED FOR:

DEVELOPMENT PERMIT

EXISTING SITE PICTURES



PIC. #1: PROJECT NORTHWEST CORNER LOOKING SOUTH TOWARDS DEERFOOT TRAIL. EXISTING KINGSWOOD CABINETS BUILDING ON THE LEFT.



PIC. #2: PROJECT SOUTHWEST CORNER OF SITE AT END OF EXISTING ROAD. LOOKING NORTH TOWARDS EXISTING KINGSWOOD CABINETS BUILDING.



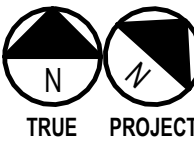
PIC. #3: PROJECT NORTHEAST CORNER OF SITE FROM DEERFOOT TRAIL. EXISTING KINGSWOOD CABINETS BUILDING YARD ON THE RIGHT.



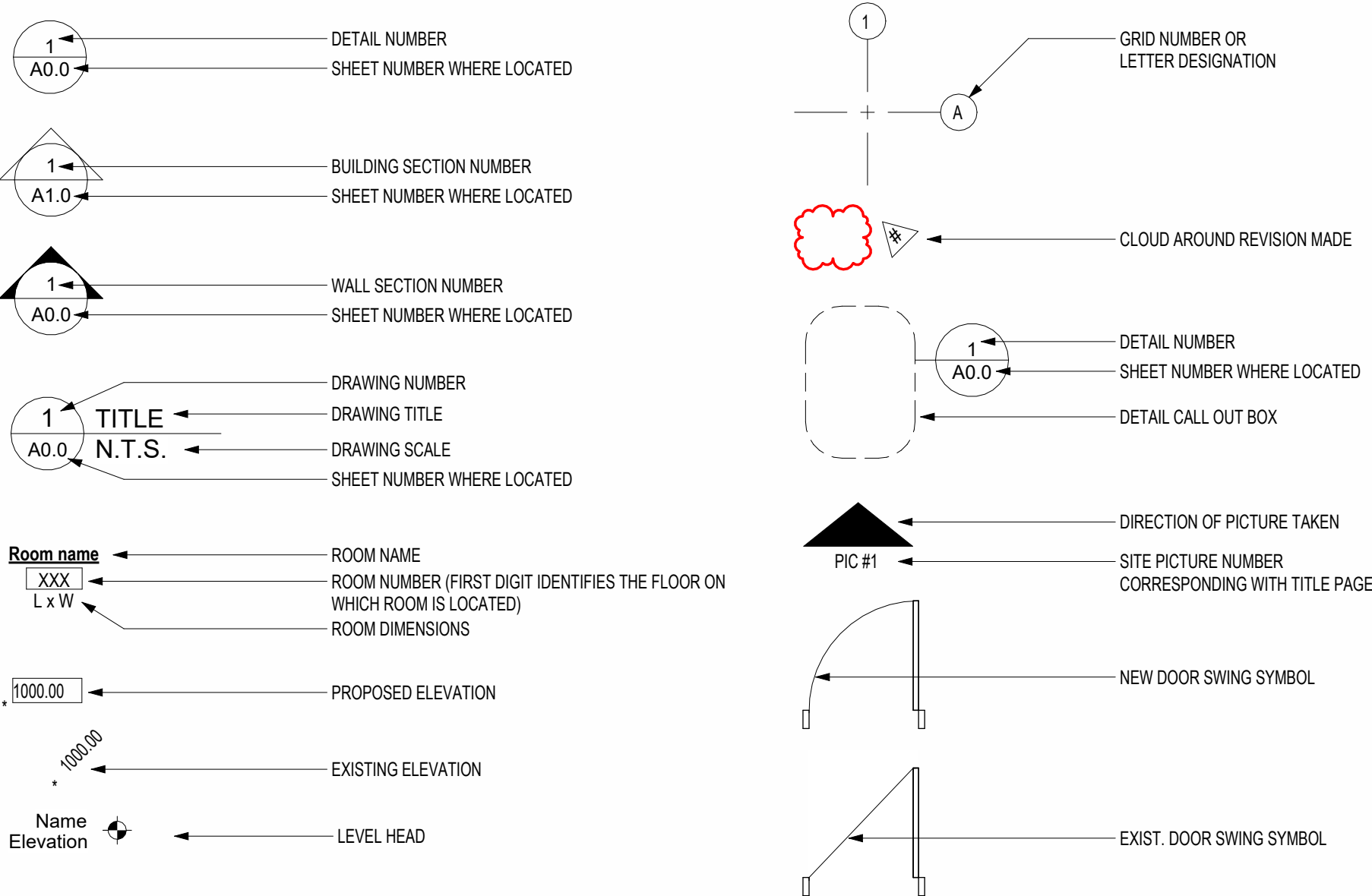
PIC. #4: PROJECT SOUTHEAST CORNER OF SITE. LOOKING WEST TOWARDS 14th STREET NE. EXISTING KINGSWOOD CABINETS BUILDING ON THE RIGHT.

 J A ARCHITECTURE Attn: Andrew Martin / Jayson Hood 4503 Brisebois Drive NW Calgary, AB T2L 2G3 p: 403.796.9646 / 587.892.7040		 RICHVIEW ENGINEERING INC Attn: Robin Li Unit 130, 201 38th Ave NE Calgary, AB T2E 2M3 p: 403.230.3218	
ARCHITECTURAL DRAWING LIST		CIVIL DRAWING LIST	
SHEET #	DRAWING TITLE	SHEET #	DRAWING TITLE
DP0.0	TITLE SHEET		
DP1.0	SITE PLAN & INFORMATION	C01	SITE SERVICING PLAN
DP1.1	LANDSCAPING PLAN	C02	SITE GRADING PLAN
DP1.2	SITE DETAILS		
DP1.3	SITE CROSS SECTIONS		
DP2.0	OVERALL BUILDING MAIN FLOOR PLAN		
DP2.1	MEZZANINE FLOOR PLAN		
DP3.0	EXTERIOR ELEVATIONS		

LOCATION MAP



DRAWING REFERENCE SYMBOLS



METRIC :

ALL DIMENSIONS ARE IN METERS AND MILLIMETERS UNLESS OTHERWISE NOTED.
IMPERIAL IN BRACKETS.
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2	MAR 10/2026	ISSUED FOR DP
1	JAN 30/2026	ISSUED FOR MELCOR REVIEW
REV	DATE	DESCRIPTION

REVISIONS

BP#:

DP#:

DO NOT SCALE THESE DRAWINGS
CONTRACTOR TO REVIEW ALL DIMENSIONS
PRIOR TO CONSTRUCTION START.
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KINGSWOOD CABINETS NEW FACILITY

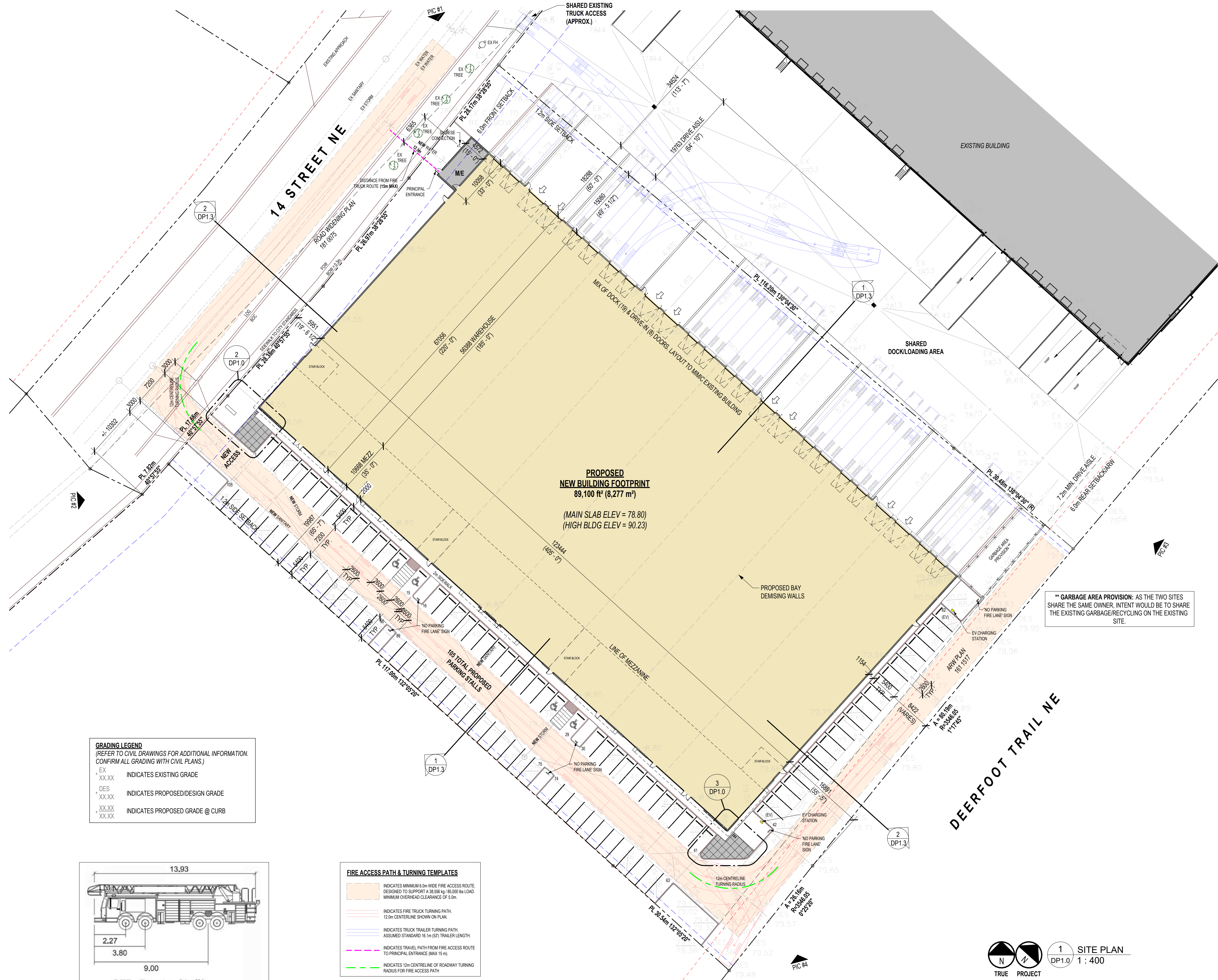
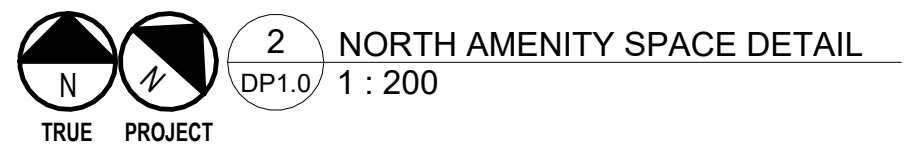
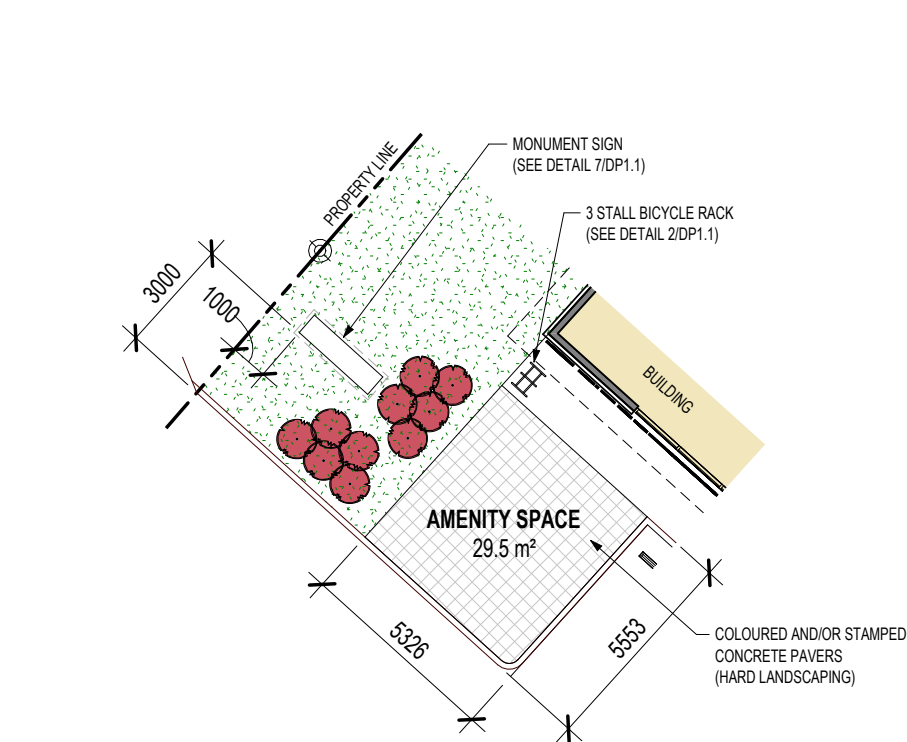
TITLE SHEET

SCALE:	1/4" = 1'-0"
DATE:	2026-03-10
DRAWN BY:	JM
ISSUED:	

PROJECT #

DRAWING SHEET #

DP0.0



SITE & BUILDING INFORMATION	
MUNICIPAL ADDRESS: 10750 14th STREET NE CALGARY, ALBERTA	PROPOSED BUILDING AREAS: MAIN BUILDING: 89,100 ft² (8,277 m²) ME ROOM: 495 ft² (46 m²) TOTAL FOOTPRINT: 89,595 ft² (8,323 m²)
LEGAL ADDRESS: LOT 5, BLOCK 5, PLAN 091 5074	MEZZANINES: 14,175 ft² (1,317 m²) TOTAL BUILDING AREA: 103,770 ft² (9,640 m²)
ZONING PER LAND USE BYLAW (LUB): DIRECT CONTROL DISTRICT 143D2022 (I-G), DC SITE 2	PARKING REQUIREMENTS: (GENERAL INDUSTRIAL - LIGHT) = 1.0 STALLS / 100 m² GFA = 9,452 m² / 100 m² = 94.52 = 95 STALLS
USE (PER LUB): GENERAL INDUSTRIAL - LIGHT	PROPOSED PARKING PROVIDED: 105 STALLS (INCL 4 BARRIER-FREE)
LOT AREA: 15,171 m² 3.75 acres 1.52 ha	BICYCLE PARKING REQUIREMENTS: (GENERAL INDUSTRIAL - LIGHT) CLASS 1 = NOT REQUIRED
LOT COVERAGE (BUILDING ONLY): 54.9%	CLASS 2 = 1.0 STALLS / 2,000 m² GFA = 9,452 m² / 2,000 m² = 4.73 = 5 STALLS
FLOOR AREA RATIO (FAR): BUILDING AREA (9,452 m²) / LOT AREA (15,171 m²) = 0.62	
CODE CLASSIFICATION (NBC 2023 - AE): MAJOR OCCUPANCY CLASSIFICATION = 3.2.2.76.	

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MUNICIPAL ADDRESS:
10750 14th STREET NE
CALGARY, AB

LEGAL ADDRESS:
LOT: 5
BLOCK: 5
PLAN: 1910428

LOT AREA:
3,756 acres | 1.52 ha | 15,200 m²

LOT COVERAGE (BUILDING ONLY):
+/- 63.4%

BUILDING AREAS:
MAIN BUILDING: 89,100 ft² (8,277 m²)
ME ROOM: 495 ft² (46 m²)
TOTAL FOOTPRINT: 89,595 ft² (8,323 m²)

MEZZANINES:
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KINGSWOOD CABINETS NEW FACILITY

SITE PLAN & INFORMATION

SCALE:	As indicated
DATE:	2026-03-10
DRAWN BY:	JM
ISSUED:	
PROJECT #	DRAWING SHEET #
	DP1.0

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KINGSWOOD CABINETS
NEW FACILITY

LANDSCAPING PLAN

SCALE: As indicated

DATE: 2026-03-10

DRAWN BY: JM

ISSUED:

PROJECT #

DRAWING SHEET #

DP1.1



LANDSCAPING REQUIREMENTS

LANDSCAPE AREA PROVIDED:
SOFT LANDSCAPING (SOD): 537 m²
HARD LANDSCAPING (PAVERS, GRAVEL): 236 m²
TOTAL: 773 m²
% OF SITE LANDSCAPED: 5.1%

TREES & SHRUBS REQUIRED
(CALCULATED FOR LOW WATER IRRIGATION SYSTEM)

= 1 TREE / 50 m² OF PROVIDED LANDSCAPING
= 773 m² / 50 m² = 15.46 = 16 TREES

= 2 SHRUBS / 50 m² OF PROVIDED LANDSCAPING
= 773 m² / 50 m² = 15.46 x 2 = 30.92 = 31 SHRUBS

PLANTING REQUIREMENTS

- MINIMUM 25% OF ALL TREES MUST BE CONIFEROUS (4 TREES)

- DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 50mm,
WITH 50% HAVING A MINIMUM CALLIPER OF 75mm AT TIME OF PLANTING.

- CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0m,
WITH 50% HAVING A MINIMUM HEIGHT OF 3.0m AT TIME OF PLANTING.

- SHRUBS MUST BE A MINIMUM HEIGHT OR SPREAD OF 0.6m AT TIME OF PLANTING.

NOTE:

- ANY EXISTING LANDSCAPING IS TO BE REMOVED. ALL LANDSCAPING SHOWN IS NEW.
- LANDSCAPING TO BE WATERED BY LOW WATER IRRIGATION. IRRIGATION PROVIDED
ONLY TO ONLY TREE AND SHRUB AREAS.
- ALL TREES/SHRUBS ARE LOW WATER REQUIRED.

REQ'D PROVIDED

6	7	
6	9	
2	3	
2	2	
31	50	

LANDSCAPING

DECIDUOUS TREES
MINIMUM SIZE 75mm CALIPER
Species: Bur Oak (Quercus macrocarpa), Green Ash (Fraxinus pennsylvanica)

DECIDUOUS TREES
MINIMUM SIZE 50mm CALIPER
Species: Shubert Chokecherry (Prunus virginiana 'Schubert'), Mayday (Prunus padus commutata)

LARGE CONIFEROUS TREES
MINIMUM HGT. 3m
Species: White Spruce (Picea glauca)

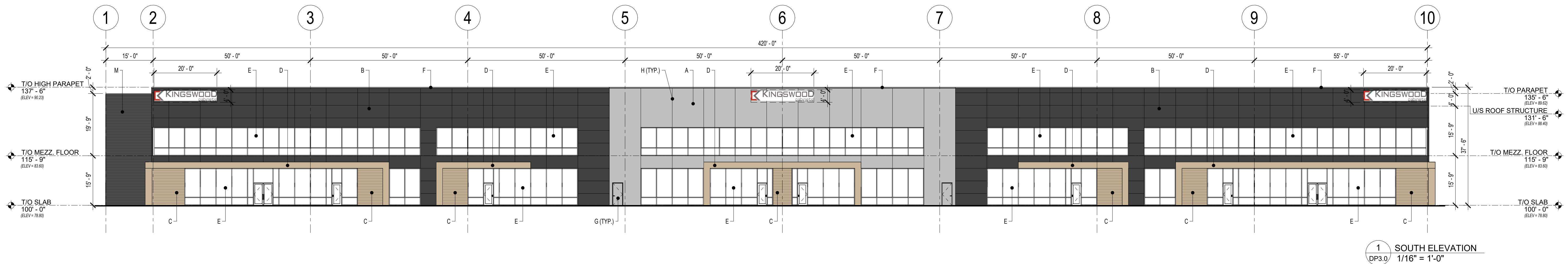
SMALL CONIFEROUS TREES
MINIMUM HGT. 2m
Species: Jack Pine (Pinus banksiana)

SHRUBS
MINIMUM 0.6m HEIGHT OR SPREAD
Species: Hawthorn (Crataegus spp.), Mugo Pine (Pinus mugo), Wild gooseberry (Ribes oxycanthoides)

INDICATES ANTICIPATED CONSTRUCTION DISTURBANCE BOUNDARY
AND CONSTRUCTION FENCE PERIMETER

LANDSCAPED AREAS

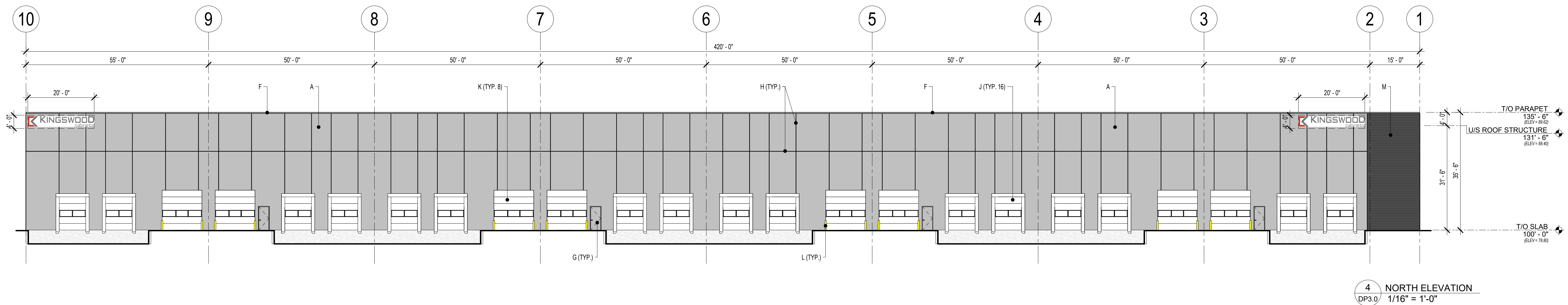
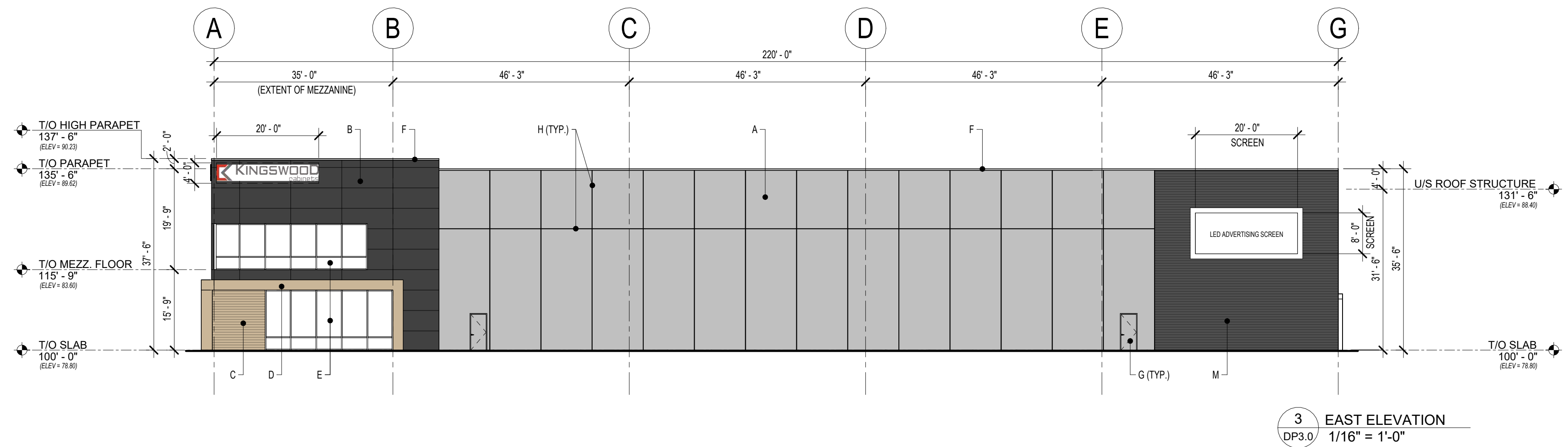
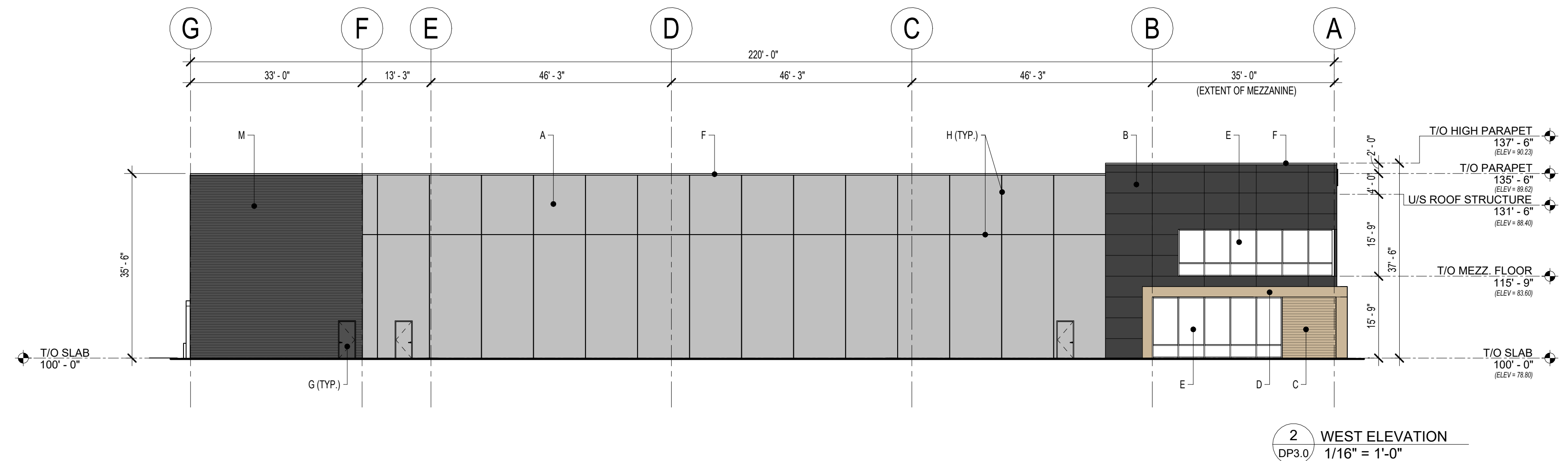
	GRASS		CONC. PAVERS (COLOURED OR STAMPED)		GRAVEL OR ROCK
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EXTERIOR FINISHES LEGEND

A - INSULATED CONCRETE TILT-UP PANEL
Colour = Medium Grey
B - METAL PANEL
Colour = Charcoal/Black
C - HORIZONTAL LONGBOARD SIDING
Colour = Wood Grain
D - BUILT OUT CANOPY
Colour = Wood Grain
E - CURTAIN WALL GLAZING
Colour = Clear glazing, anodized mullions
F - PREFINISHED METAL CAP FLASHING
Colour = match material colour
G - INSULATED METAL MAN DOOR
Colour = to match wall
H - 1" REVEAL (TYP.)
J - INSULATED DOCK DOOR w/ LEVELLER
Colour = to match wall
K - INSULATED OVERHEAD DOOR
Colour = to match wall
L - CONCRETE FILLED BOLLARD
Colour = Safety Yellow
M - HORIZONTAL CORRUGATED METAL
Colour = Charcoal/Black

GENERAL ELEVATION NOTES:
1. ALL ROOF TOP EQUIPMENT TO BE SCREENED TO THE ACCEPTANCE OF THE CITY OF CALGARY.
2. ALL SIGNAGE AREAS ARE SHOWN FOR INTENT ONLY. SIGNAGE WILL BE SUBMITTED AS PART OF A SEPARATE PERMIT BY THE SIGN MANUFACTURER/PROVIDER.



IMPERIAL :
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BLOCK: 5
PLAN: 1910428

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LOT COVERAGE (BUILDING ONLY):
+/- 63.4%

BUILDING AREAS:
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TOTAL BUILDING AREA: 103,770 ft² (9,640 m²)

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EXTERIOR ELEVATIONS

SCALE: As indicated

DATE: 2026-03-10

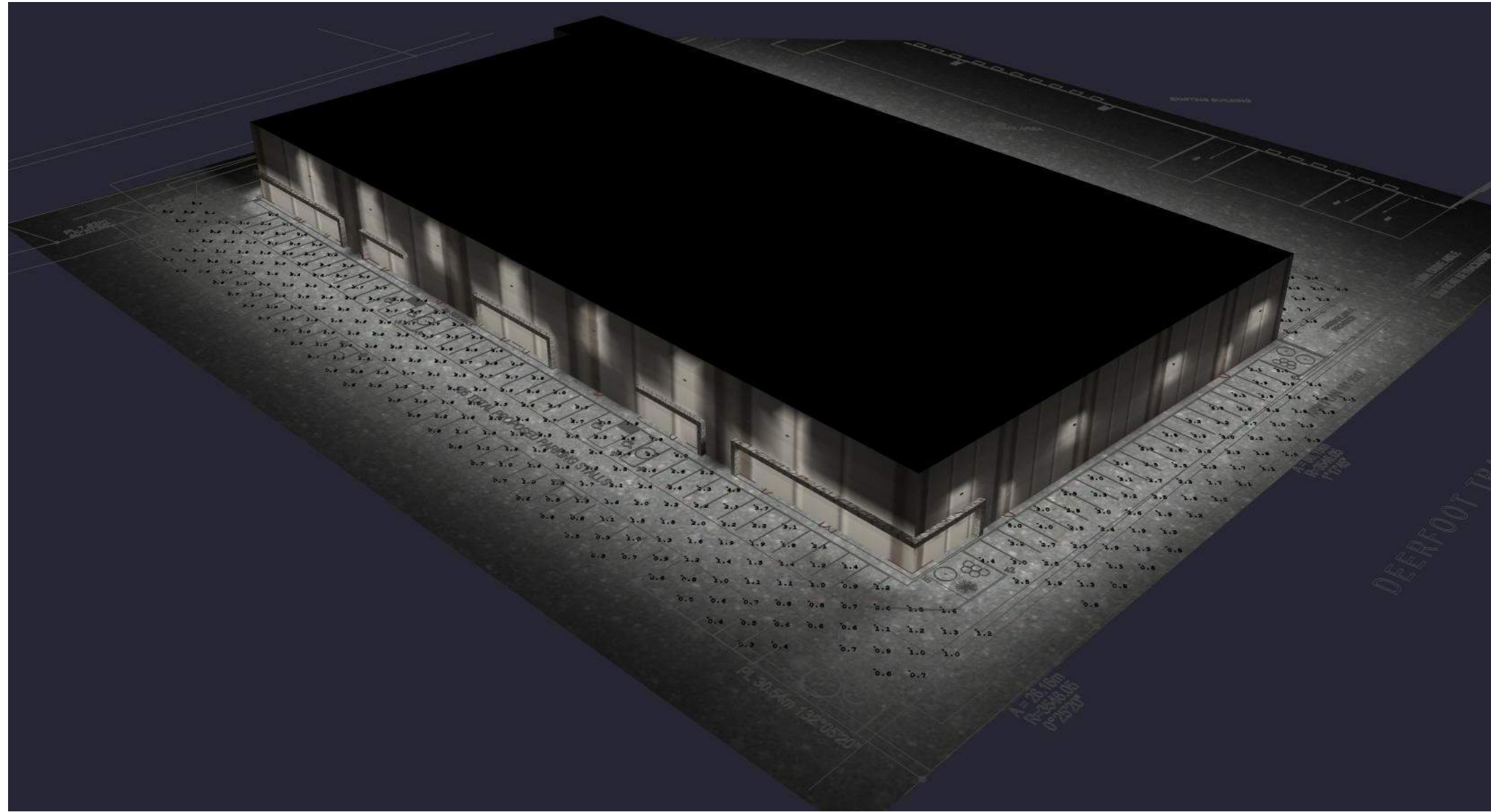
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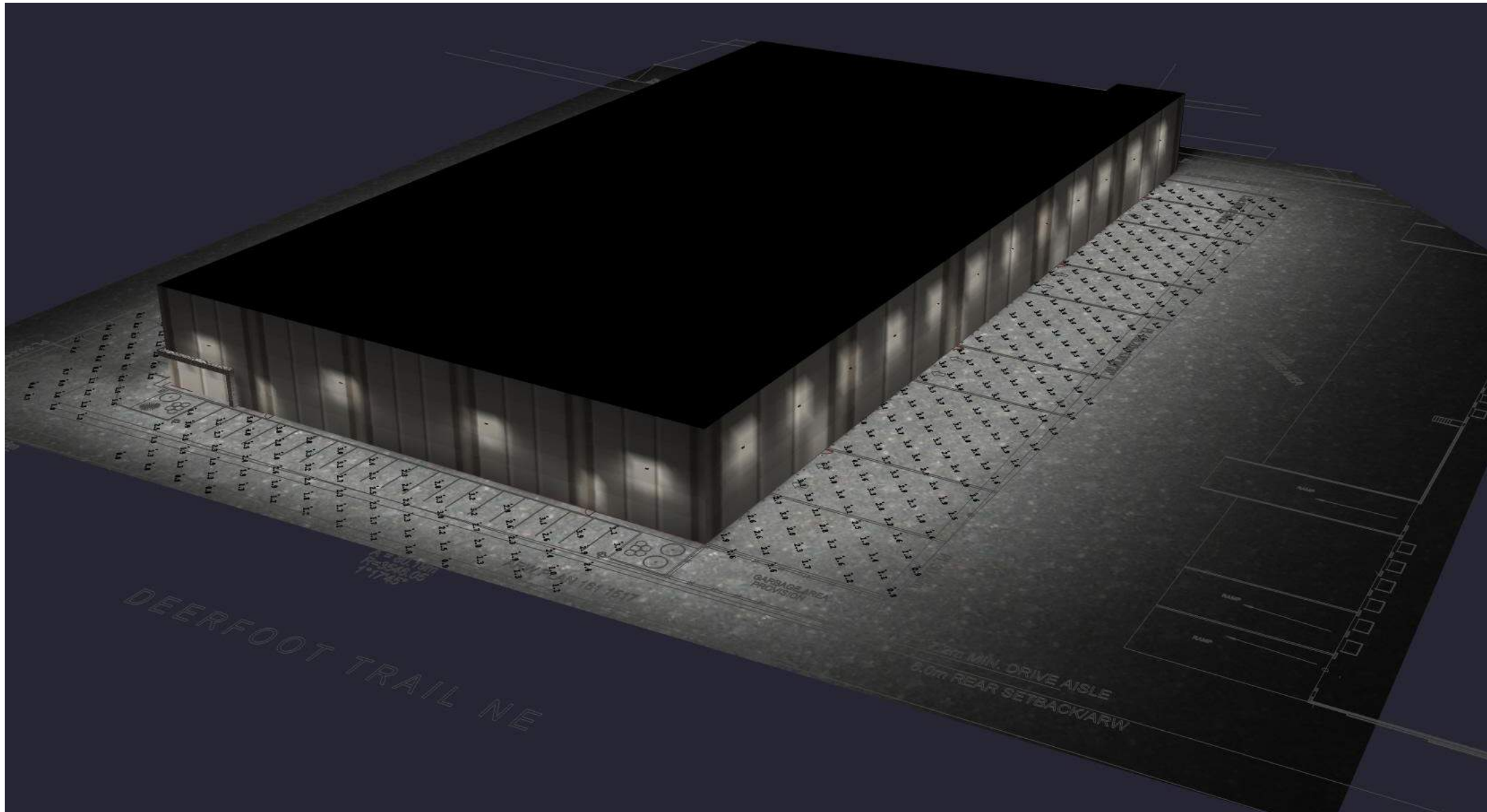
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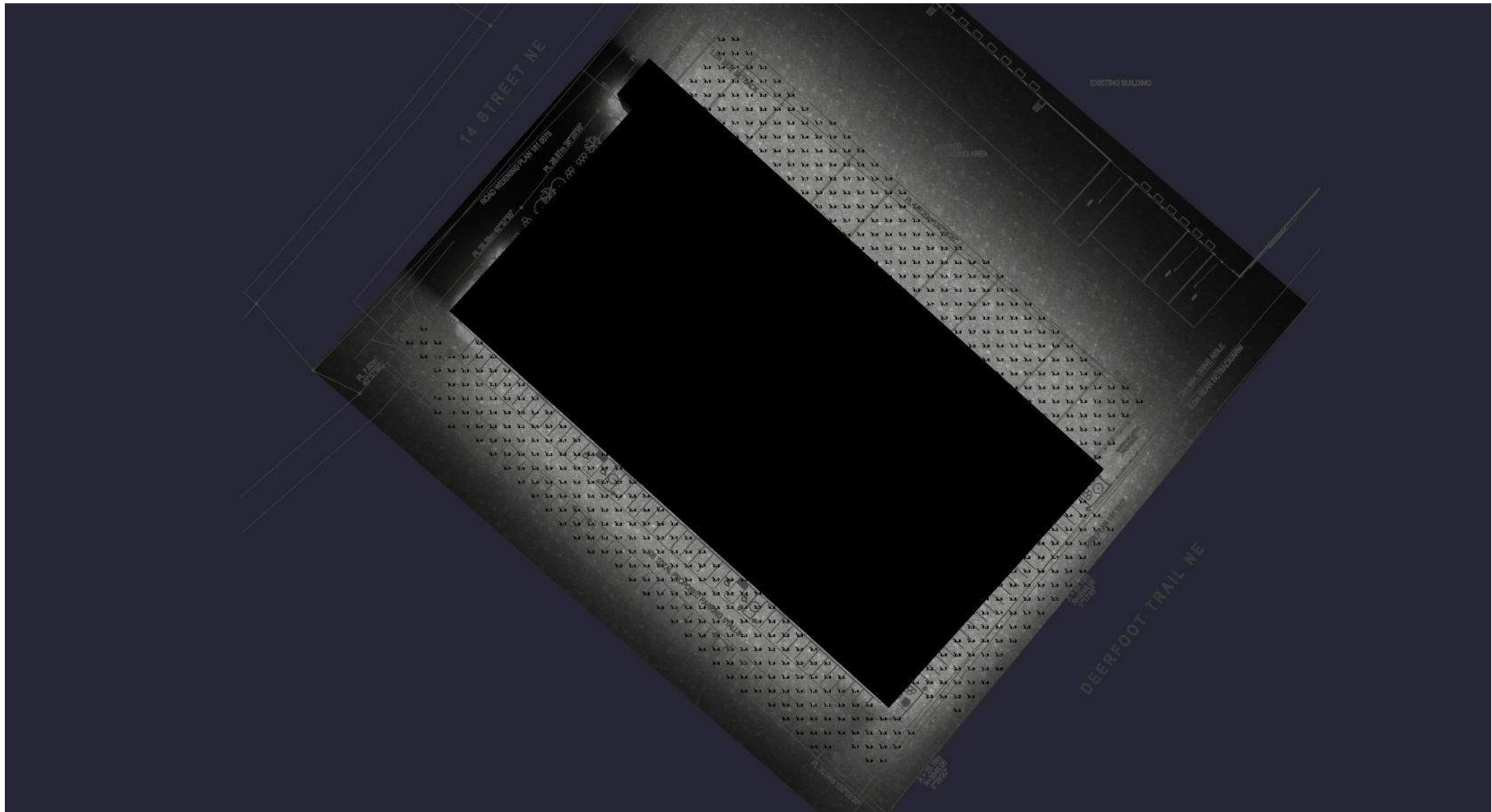
DP3.0



1 RENDERING 1
DPE003 NTS



2 RENDERING 2
DPE003 NTS



3 RENDERING 3
DPE003 NTS



EMBE
Consulting Engineers Inc.
121 15th AVENUE SE, CALGARY, AB, T2G 1G1
403-460-2277 | info@embeconsulting.ca

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M/E ROOM: 495 ft² (46 m²)
TOTAL FOOTPRINT: 89,595 ft² (8,323 m²)

MEZZANINES: 12,150 ft² (1,129 m²)

TOTAL BUILDING AREA: 101,746 ft² (9,452 m²)

1	2026-02-25	ISSUED FOR DP
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KINGSWOOD CABINETS NEW FACILITY

SITE LIGHTING - RENDERING

SCALE: NTS

DATE: 2026-02-25

DRAWN BY: Author

ISSUED:

PROJECT #

26027

DRAWING SHEET #

DPE003