



RIO AT 640 - CRU ADDITION & PLAZA RENOVATION - DP

ARCHITECTURAL

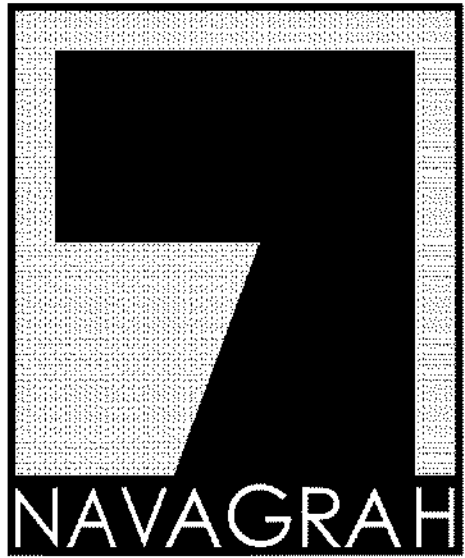


#300 - 1410 1st Street SW, Calgary, Alberta T2R 0V8
bus: (403) 287-9960 info@ckarch.ca

CIVIL



LANDSCAPE



STRUCTURAL



104 - 5610 3rd STREET SW CALGARY, AB T2H 1J3
PHONE (403) 283-2566

ELECTRICAL



100, 4723 1st ST SW, Calgary, Alberta T2G 4Y8
bus: (403) 269-2125

CLIENT



104 - 5610 3rd STREET SW CALGARY, AB T2H 1J3
PHONE (403) 283-2566
WWW.KANAS.CA

MECHANICAL



104 - 5610 3rd STREET SW CALGARY, AB T2H 1J3
PHONE (403) 283-2566

Drawing List - DP

- Architectural
- DP0.0 TITLE PAGE, LIST OF CONSULTANTS, DRAWING INDEX
 - DP0.1 SITE SURVEY
 - DP0.2 SITE PHOTOS
 - DP1.0 SITE PLAN - EXISTING
 - DP1.1 SITE PLAN - PROPOSED
 - DP1.2 SCHEDULES & STATS
 - DP1.3 SITE DETAILS
 - DP2.0 FLOOR PLANS
 - DP3.0 ELEVATIONS
 - DP4.0 BUILDING SECTIONS
- Landscape
- L-1.0 GROUND LEVEL REFERENCE
 - L-1.1 GROUND LEVEL REFERENCE
 - L-1.2 GROUND LEVEL LAYOUT PLAN

GENERAL NOTES

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2026/02/03	ISSUED FOR DP

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS

Suite 300, 1410 1st street SW, Calgary AB T2R 0V8
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

RIO AT 640

PROJECT ADDRESS
640 5TH AVE SW

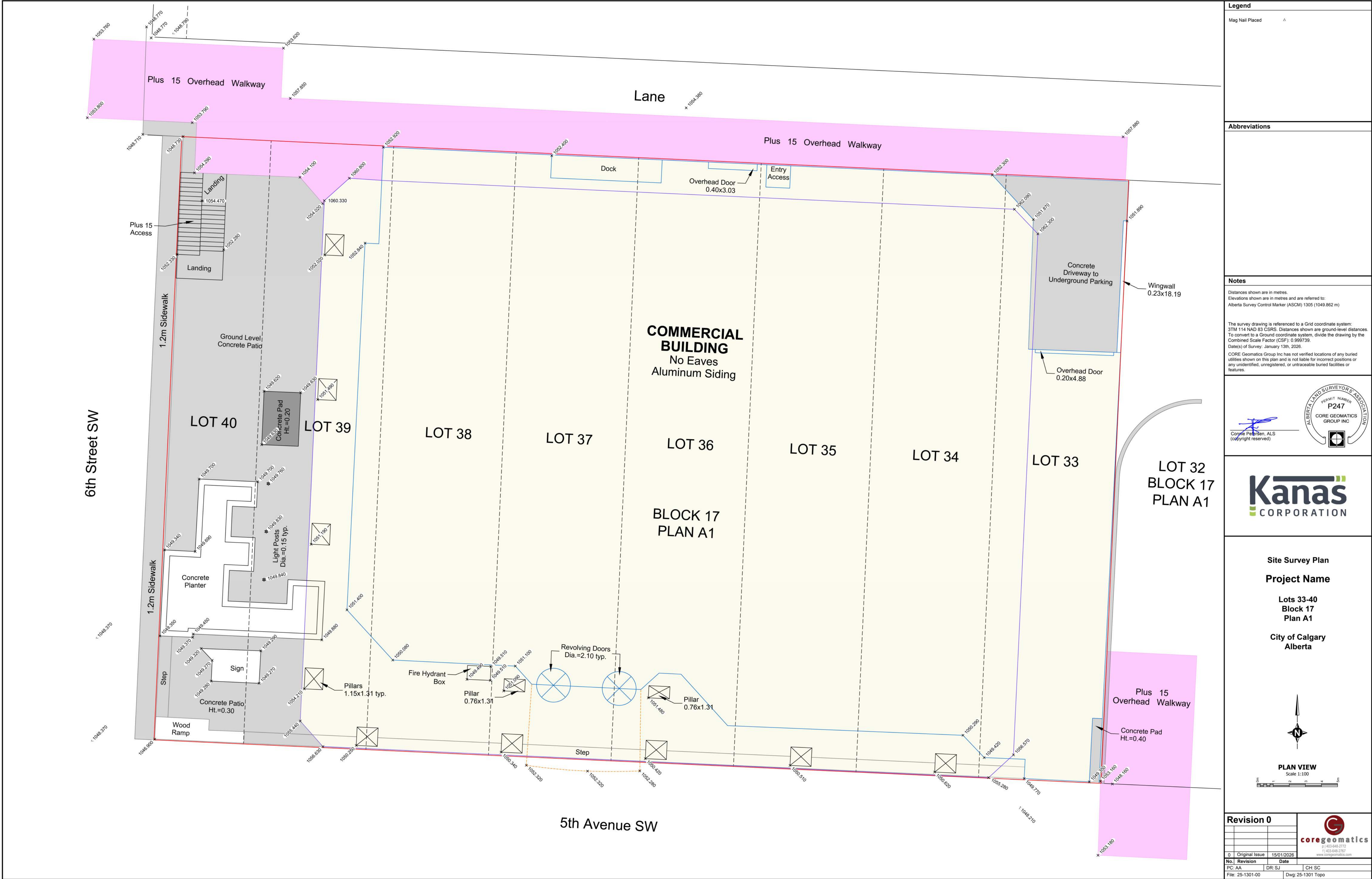
Lot 33 to 40: Block 17, Plan A1

DRAWING

TITLE PAGE, LIST OF CONSULTANTS, DRAWING INDEX

DRAWN BY	JOB NO.	Building Permit #
Author	2501	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
2025/04		
SCALE		
AS NOTED		

DP0.0



Legend

Mag Nail Placed

Abbreviations

Notes

Distances shown are in metres.
Elevations shown are in metres and are referred to:
Alberta Survey Control Marker (ASCM) 1305 (1049.862 m)

The survey drawing is referenced to a Grid coordinate system:
3TM 114 NAD 83 CSRS. Distances shown are ground-level distances.
To convert to a Ground coordinate system, divide the drawing by the
Combined Scale Factor (CSF): 0.999739.
Date(s) of Survey: January 13th, 2026.
CORE Geomatics Group Inc has not verified locations of any buried
utilities shown on this plan and is not liable for incorrect positions or
any unidentified, unregistered, or untraceable buried facilities or
features.

Core Geomatics Group Inc
P247
CORE GEOMATICS
GROUP INC

Kanas Corporation

Site Survey Plan
Project Name
Lots 33-40
Block 17
Plan A1
City of Calgary
Alberta

PLAN VIEW
Scale 1:100

Revision 0

No.	Revision	Date	CH
0	Original Issue	15/01/2026	SC

PC: AA DR: SJ CH: SC
File: 25-1301-00 Dwg: 25-1301 Topo

GENERAL NOTES

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2026/02/03	ISSUED FOR DP

PERMIT TO PRACTICE

STAMP

PROJECT NAME AND ADDRESS
RIO AT 640
PROJECT ADDRESS
640 5TH AVE SW
Lot 33 to 40: Block 17, Plan A1

DRAWING
SITE SURVEY

DRAWN BY	JOB NO.	Building Permit #
Author	2501	

CHECKED BY		SHEET
Checker		

ISSUE DATE (yy/mm)
2025/04

SCALE
AS NOTED

DP0.1



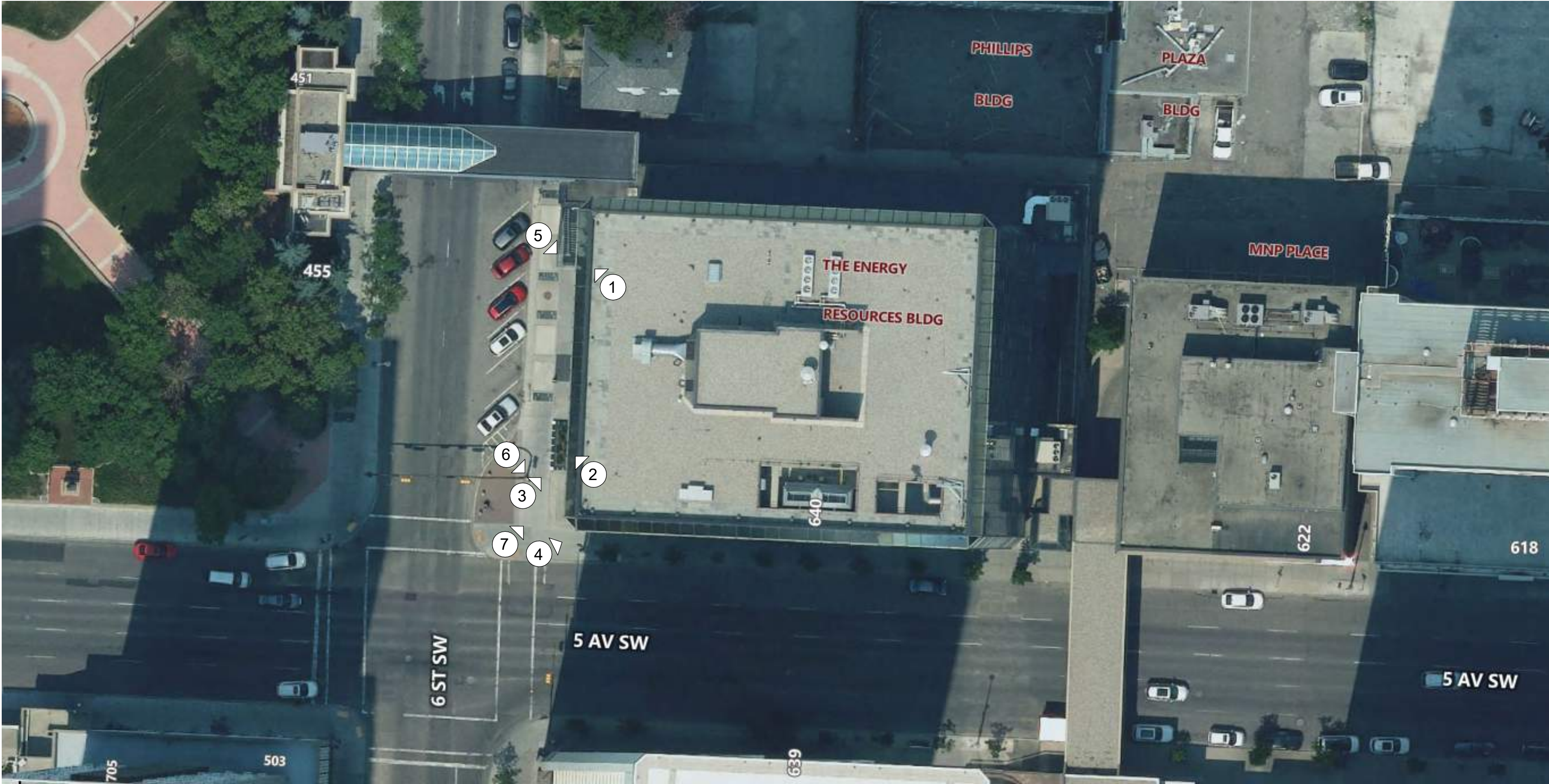
1 - +15 WITH THE SPACE FOR THE FUTURE CRU UNDERNEATH



2 - PLAZA PLANTER



5 - NE CORNER - TIM HORTONS AND THE DOGHOUSE



BLOCK PLAN - NOT TO SCALE



3 - PLAZA PLANTER IN FRONT OF TIM HORTONS



4 - SW CORNER - COLUMNS IN FRONT OF THE MAIN ENTRANCE TO THE BUILDING



6 - DOGHOUSE IN THE SW CORNER FROM THE BACK



7 - DOGHOUSE IN THE SW CORNER FROM THE FRONT

GENERAL NOTES

This drawing and all it's contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2026/02/03	ISSUED FOR DP

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola-koppe

ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

RIO AT 640

PROJECT ADDRESS

640 5TH AVE SW

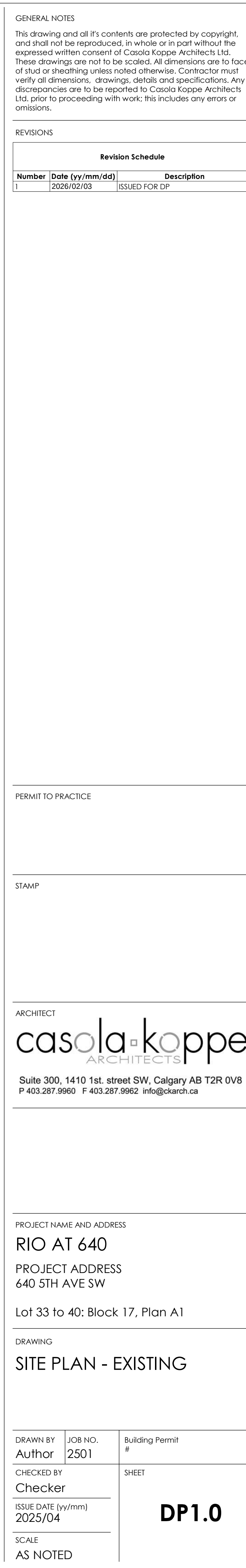
Lot 33 to 40: Block 17, Plan A1

DRAWING

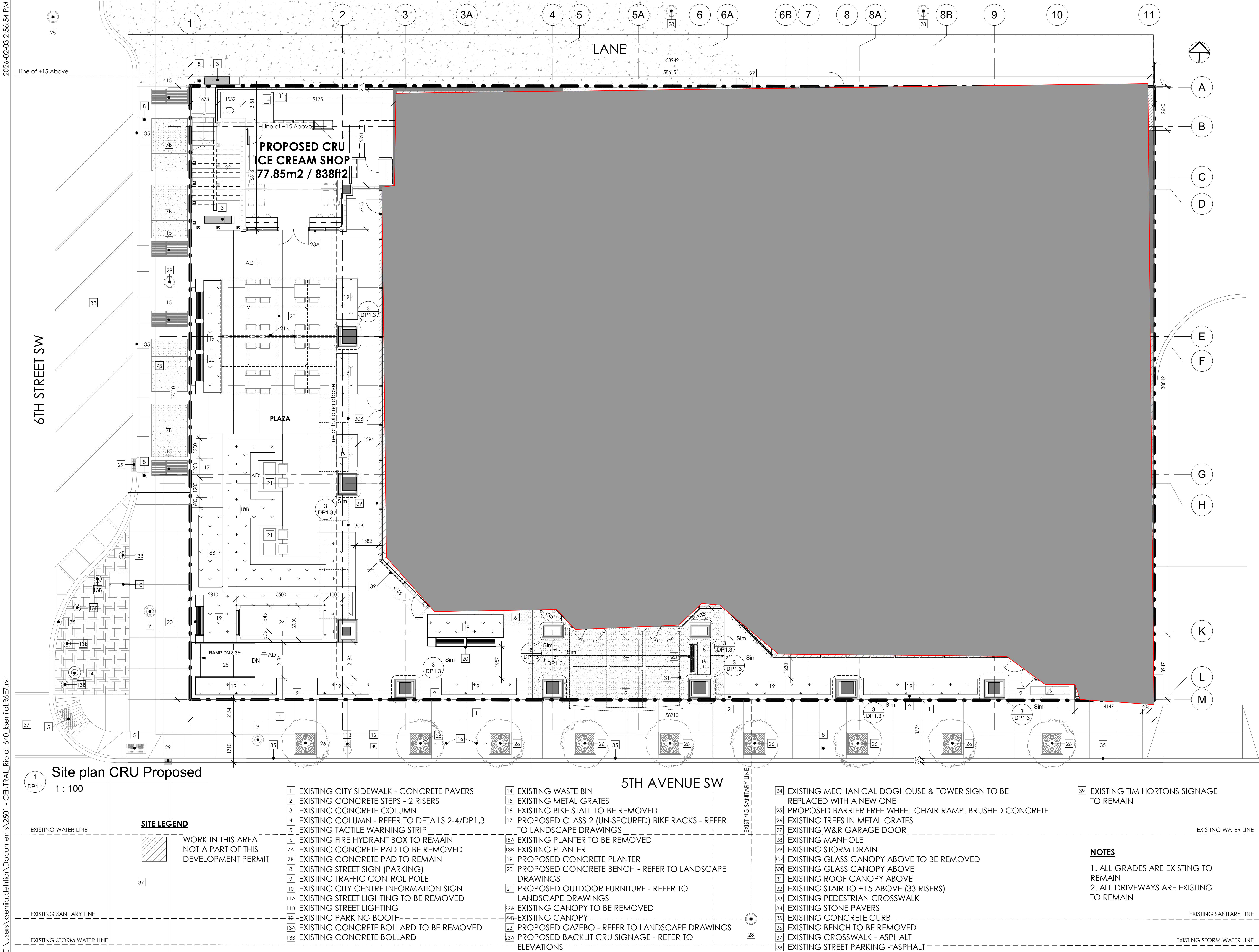
SITE PHOTOS

DRAWN BY	JOB NO.	Building Permit #
Author	2501	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
2025/04		
SCALE		
AS NOTED		

DP0.2



C:\Users\ksentia\Documents\2501 - CENTRAL_Rio at 640_ksentia\647.rvt 2026-02-03 2:56:54 PM



GENERAL NOTES

This drawing and all it's contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2026/02/03	ISSUED FOR DP

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

RIO AT 640

PROJECT ADDRESS
640 5TH AVE SW

Lot 33 to 40: Block 17, Plan A1

DRAWING

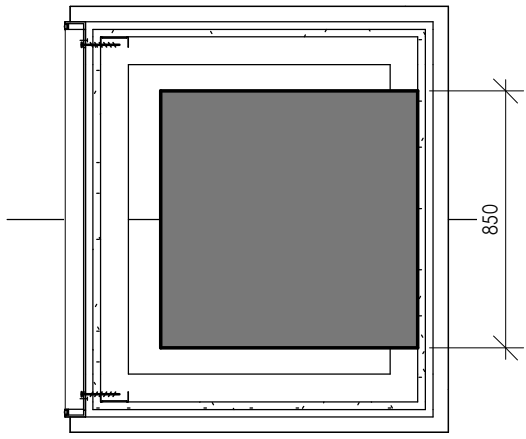
SITE PLAN - PROPOSED

DRAWN BY	JOB NO.	Building Permit #
Author	2501	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
2025/04		
SCALE		
AS NOTED		

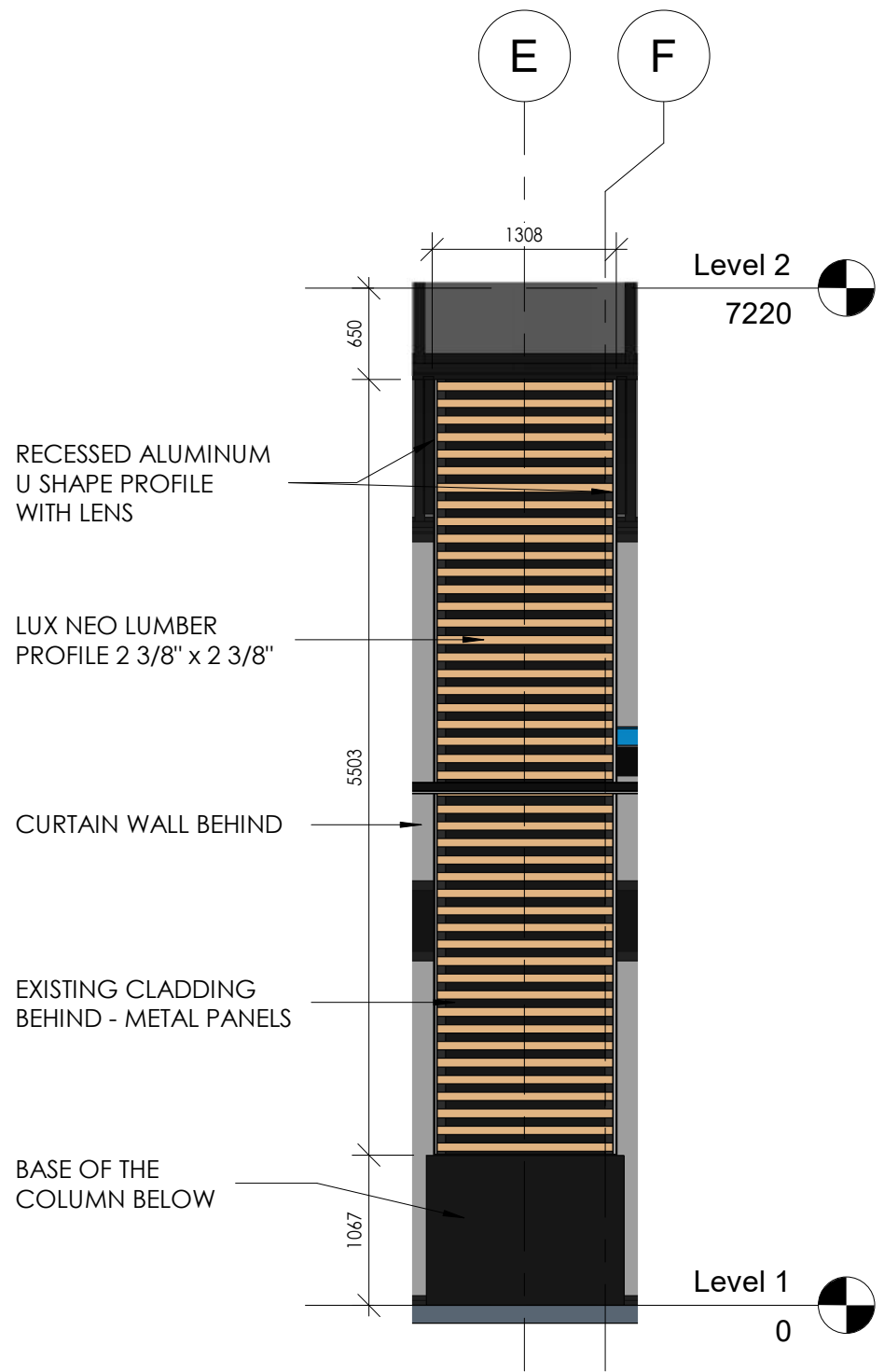
DP1.1

C:\Users\ksenia.dehtiar\Documents\2501 - CENTRAL_Rio at 640_ksenia\640_rv

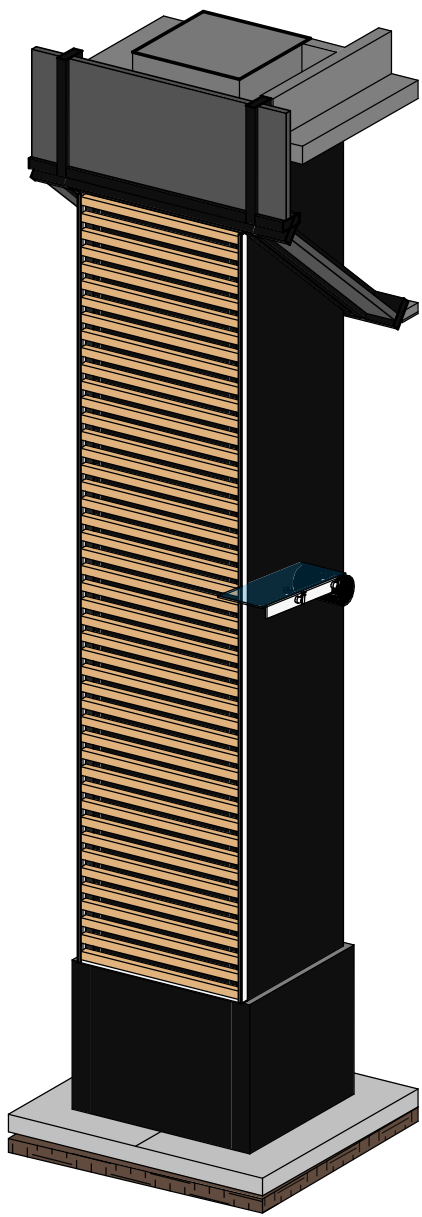
2026-02-03 2:57:01 PM



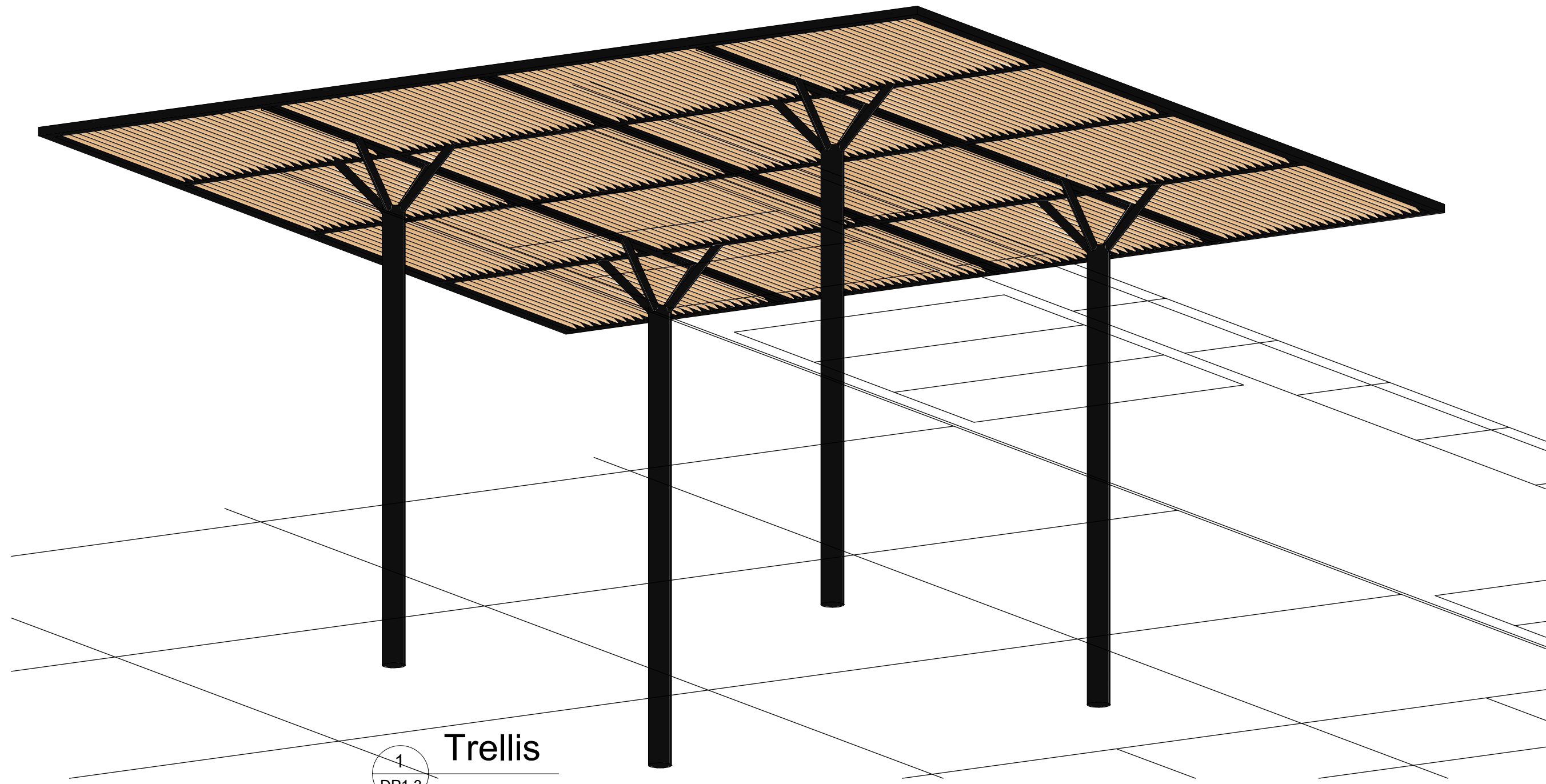
3
DP1.3
Plaza Column - Plan Detail
1 : 25



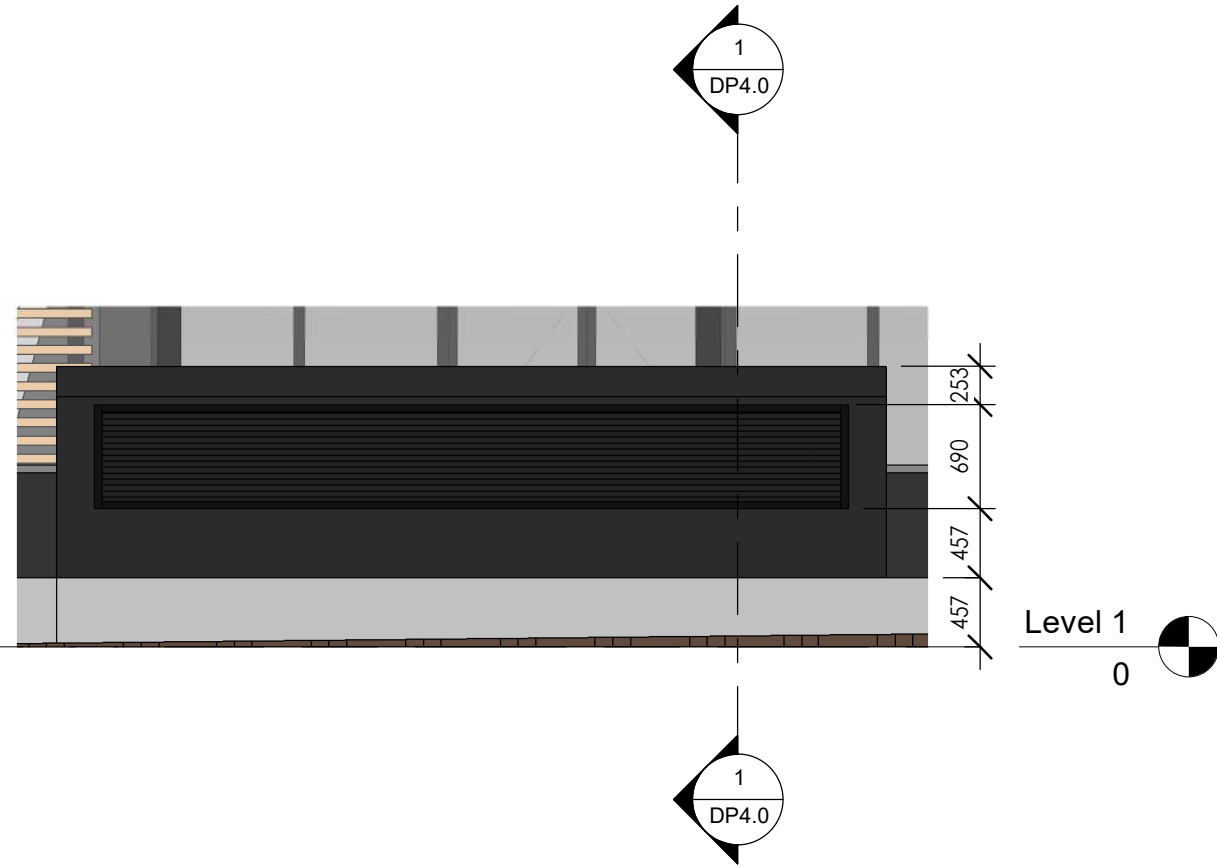
4
DP1.3
Plaza Column Elevation
1 : 50



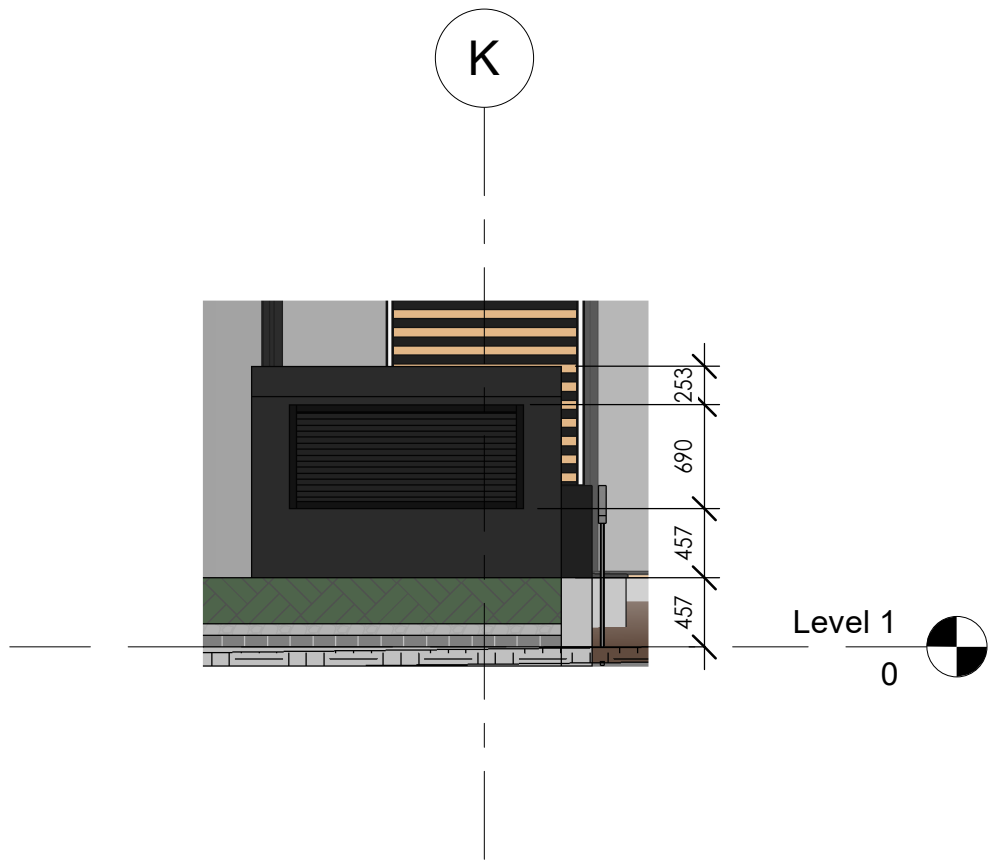
2
DP1.3
Plaza Column 3d



1
DP1.3
Trellis



5
DP1.3
Mech Doghouse South Elevation
1 : 50



6
DP1.3
Mech Doghouse West Elevation
1 : 50

GENERAL NOTES

This drawing and all it's contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2026/02/03	ISSUED FOR DP

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe

ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8

P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

RIO AT 640

PROJECT ADDRESS

640 5TH AVE SW

Lot 33 to 40: Block 17, Plan A1

DRAWING

SITE DETAILS

DRAWN BY

Author

CHECKED BY

Checker

ISSUE DATE (yy/mm)

2025/04

SCALE

AS NOTED

JOB NO.

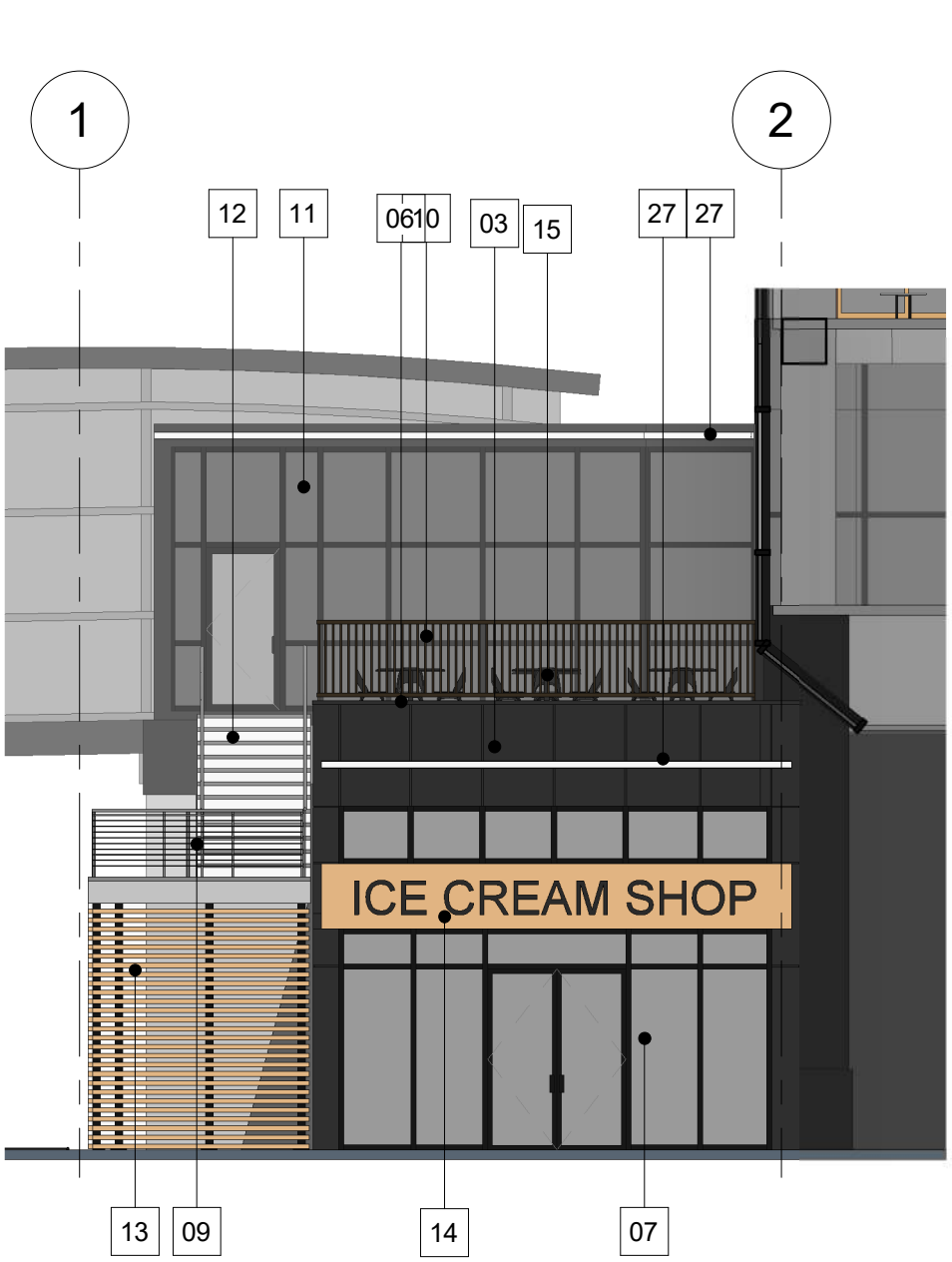
2501

Building Permit #

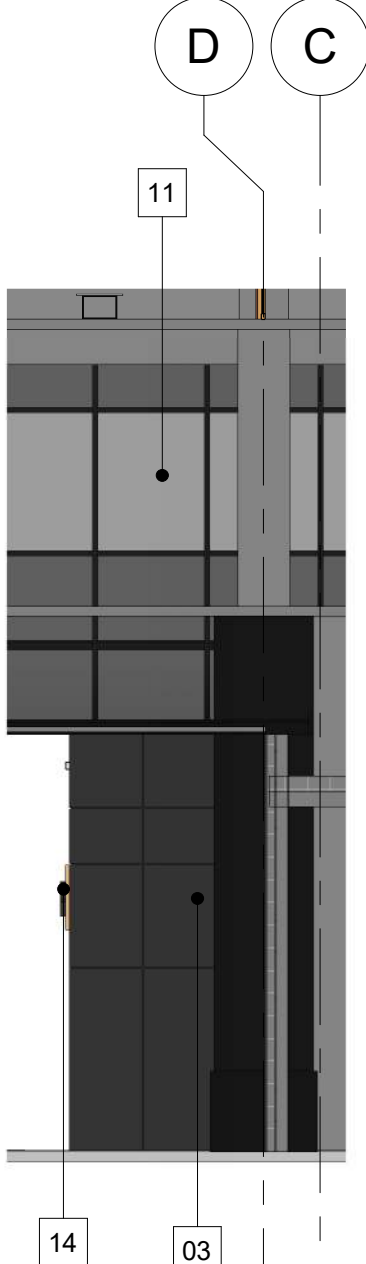
SHEET

DP1.3

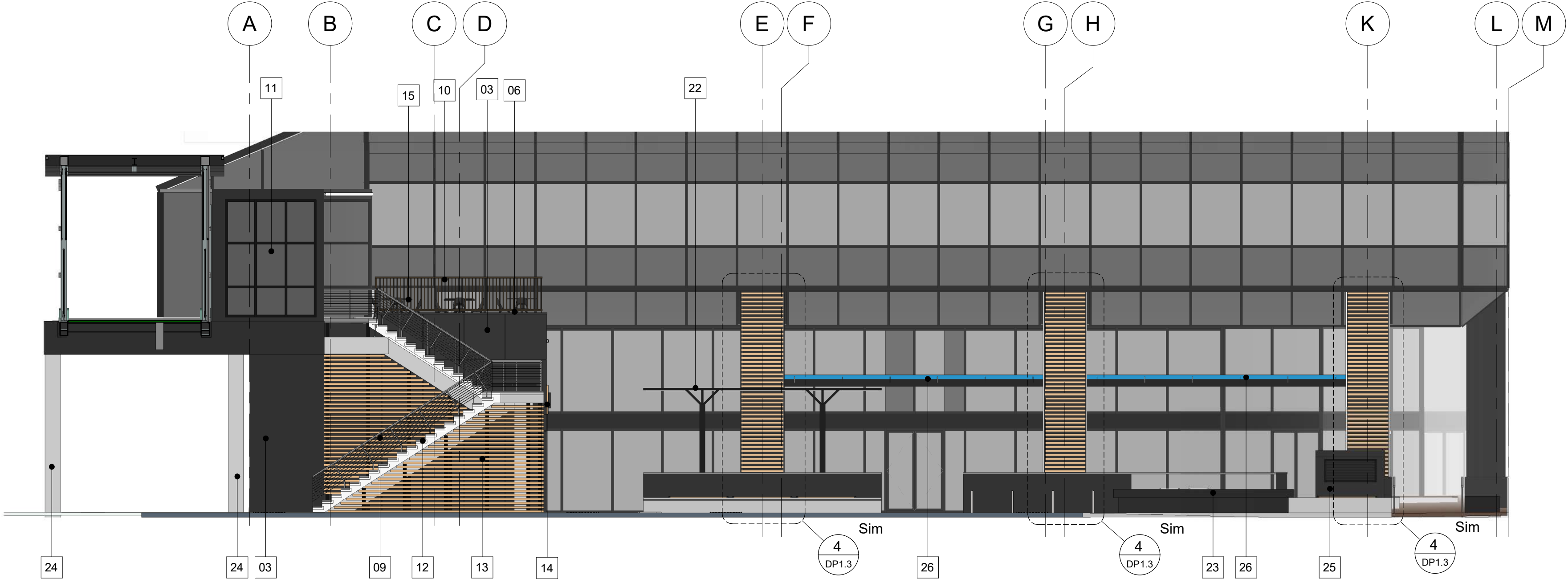
C:\Users\ksenia.dehtiar\Documents\2501 - CENTRAL_Rio at 640_ksenia\6E7.rvt 2026-02-03 2:57:15 PM



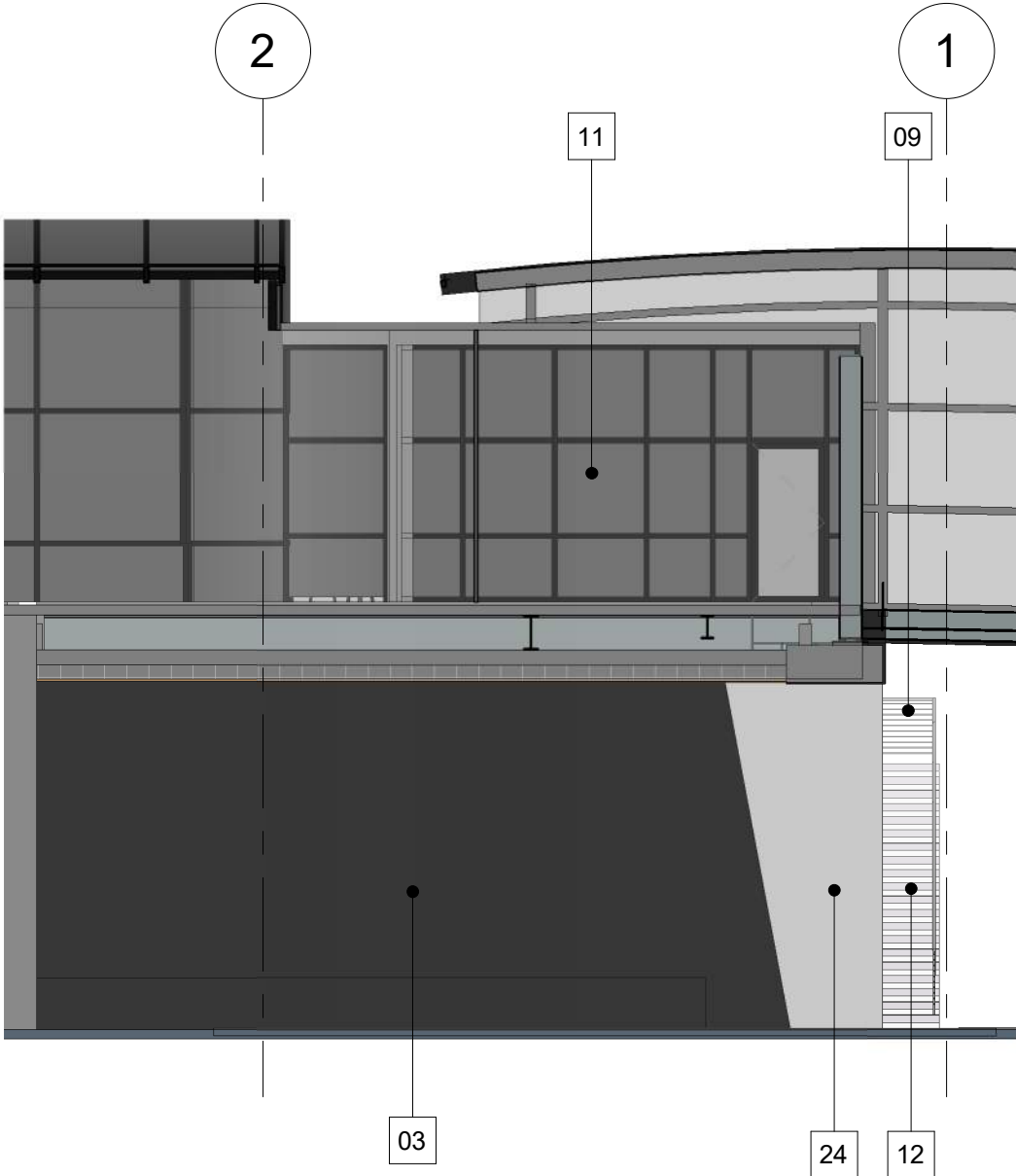
1
DP3.0
CRU South Elevation
1 : 100



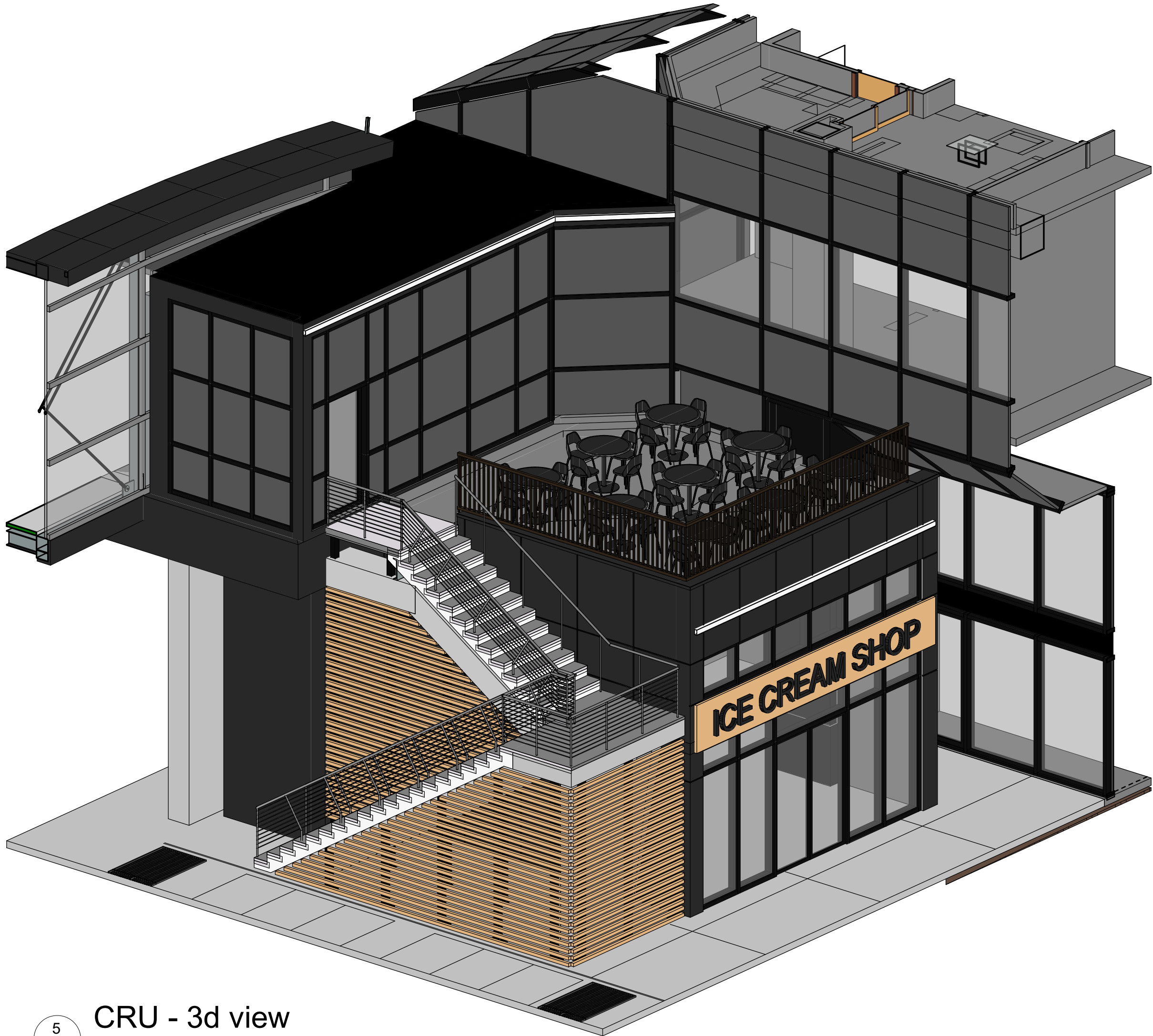
2
DP3.0
CRU East Elevation
1 : 100



3
DP3.0
CRU West Elevation
1 : 100



4
DP3.0
CRU North Elevation
1 : 100



5
DP3.0
CRU - 3d view

Elevations Keynotes	
Key Value	Keynote Text
01	New Metal Louvre - Anodized Aluminum - Colour to Match Existing
02	New Glass Spandrel Panel to Match Existing Curtain Wall Colour
03	Metal Panel - Iron Ore
04	Metal Panel - Colour to match existing
06	Metal Flashing - Iron Ore
07	Curtain Wall with Double Door - Black Anodized Alum. Mullions + Clear Glass
09	Existing Railing
10	New CRU Patio Railing - Black Metal Picket
11	Existing +15
12	Existing Stairs
13	Lux Neo Lumber - Wood look, mounted to black metal HSS posts
14	Black Backlit Signage - Wood Look Metal Panel
15	Patio Furniture - Refer to Landscape Drawings
22	Gazebo - Refer to Landscape Drawings
23	Planter - Refer to Landscape Drawings
24	Existing Concrete Column
25	Mechanical Doghouse
26	Existing Canopy to Remain
27	Linear LED Lighting Fixture

GENERAL NOTES

This drawing and all it's contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2026/02/03	ISSUED FOR DP

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola-koppe

ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8

P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

RIO AT 640

PROJECT ADDRESS

640 5TH AVE SW

Lot 33 to 40: Block 17, Plan A1

DRAWING

ELEVATIONS

DRAWN BY

Author

CHECKED BY

Checker

ISSUE DATE (yy/mm)

2025/04

SCALE

AS NOTED

JOB NO.

2501

Building Permit #

SHEET

DP3.0



