

PROJECT INFORMATION

- DRAWINGS ARE NOT TO BE SCALED
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE
- BUILDER IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS + INFORMATION ON DRAWINGS
- ANY DISCREPANCIES MUST BE REPORTED TO SDP FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- **ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED**
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK

LEGAL ADDRESS:

PLAN: 2844JK
BLOCK: 10
LOT: 7

PROPERTY INFORMATION:

LAND-USE DISTRICT = R-CG
YEAR OF CONSTRUCTION = YES / NO
WALK-OUT = YES / NO
FLOOD FRINGE = YES / NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = YES / NO
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = YES / NO
LANLESS LOT = YES / NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = YES / NO
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING = YES / NO
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES = YES / NO
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT = YES / NO
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) = YES / NO
*IF YES: SHOW ON SITE W/ GEODETICS



Drawing List

- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 Project Specific Notes
- A0.3 General Notes
- A0.4 Construction Assemblies
- A1.0 Site Plan
- A2.0 Floor Plan
- A2.1 Floor Plan
- A2.2 Foundation Plan
- A2.3 Roof Plan
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A4.0 Sections
- A4.1 Sections
- A5.0 Details
- A5.1 Details
- A6.0 Energy Code (Walls)
- A6.1 Energy Code (Floor)
- A6.2 Energy Code (Roof)



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THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE DESIGNER. IT MAY NOT BE REPRODUCED WITHOUT THE DESIGNERS PERMISSION, NOR WITHOUT THE DESIGNERS NAME ON THE REPRODUCTION IN WHOLE OR IN PART.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH AND GOVERNED BY ALL CURRENT NATIONAL, PROVINCIAL AND LOCAL CODES AND REGULATIONS.

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THIS DRAWING IS INVALID UNLESS CLEARLY INDICATED EITHER 'FOR BP SUBMISSION' OR 'FOR DP SUBMISSION'

IF P.ENG IS REQUIRED:

- BUILDER/OWNER TO SEND PHOTOS OF ANY APPLICABLE ENGINEERED SCOPE:**
- INCLUDING (BUT NOT LIMITED TO):
 - CONCRETE: REBAR + FORM WORK PRIOR TO POUR
 - FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC.
 - SCREW PILES: TORQUE REPORT
 - SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

GENERAL CONTRACTOR



ENGINEER

PROJECT SCOPE

- **Backyard Suite**
- -
- -

RELAXATIONS

- **HEIGHT (CHAMFER RULE)**
- **ACCESSORY SIZE**
- **SUITE AREA (75.237m²)**

3747 Logan Cr SW
Calgary, AB

Backyard Suite

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Cover Sheet

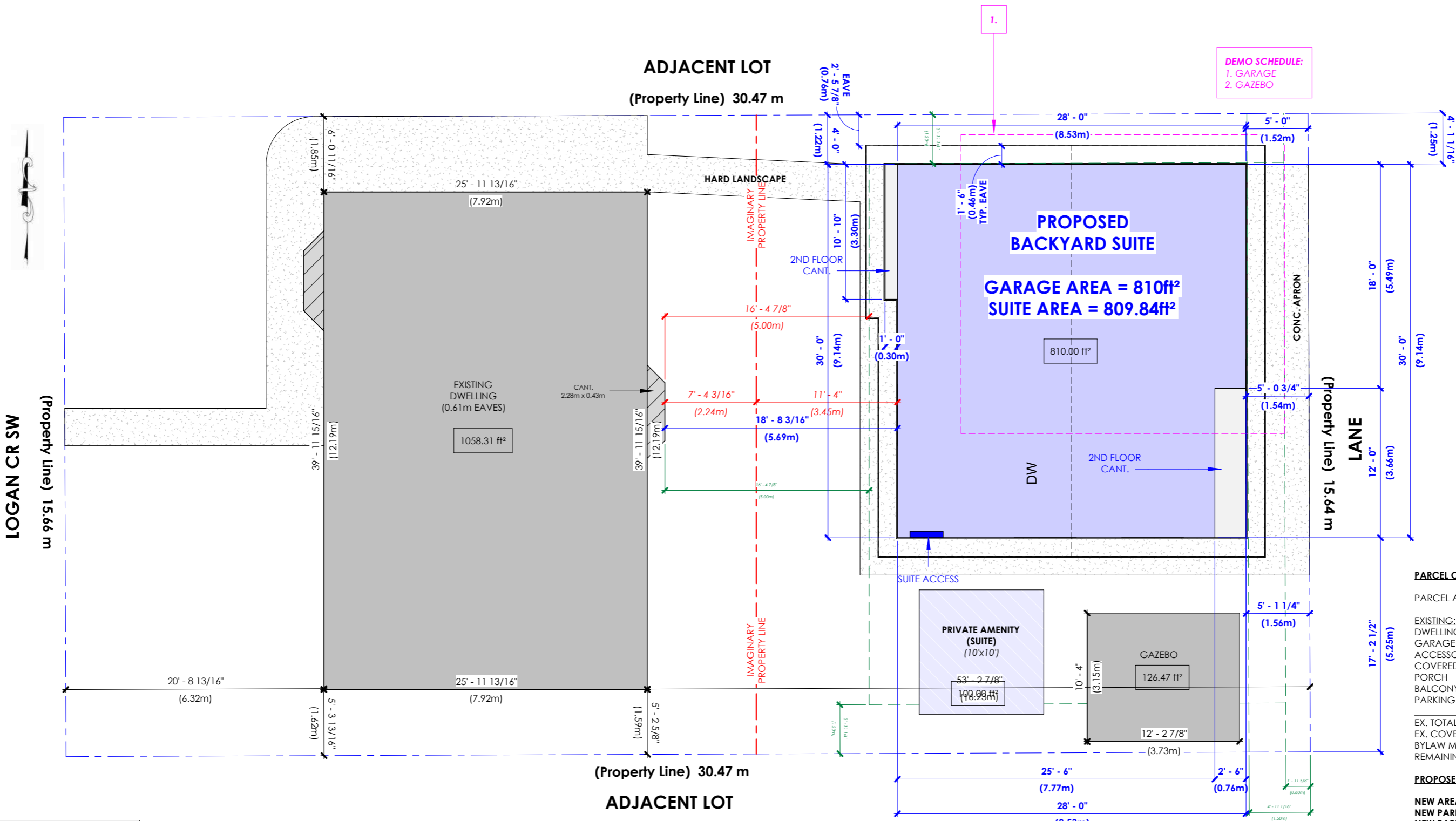
Project : 2026-020

Scale:

Drawn By: RFC

A0.0

DEMO SCHEDULE:
 1. GARAGE
 2. GAZEBO



PARCEL COVERAGE:

PARCEL AREA	=	5132.60 ft ²
EXISTING:		
DWELLING	=	1058.31 ft ²
GARAGE	=	0.00 ft ²
ACCESSORY	=	126.47 ft ²
COVERED DECK	=	0.00 ft ²
PORCH	=	0.00 ft ²
BALCONY	=	0.00 ft ²
PARKING STALLS	=	#0
EX. TOTAL	=	1184.78 ft ²
EX. COVERAGE	=	23.08 %
BYLAW MAX (%)	=	45 %
REMAINING PERMITTED	=	1124.89 ft ²
PROPOSED:		
NEW AREA	=	810.00 ft²
NEW PARKING STALLS	=	#0
NEW PARKING AREA	=	0 ft²
NEW TOTAL AREA	=	1994.78 ft²
NEW REMAINING	=	314.89 ft²
RELAXATION (%)	=	-13.63 %
PARCEL COVERAGE	=	38.86 %

NOTE:
 • ALL MATERIAL STORAGE ON SITE
 • SITE ACCESS FROM ROAD OR LANE AS APPLICABLE
 • ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED
 • BUILDER TO CONFIRM ALL MEASUREMENTS PRIOR TO CONSTRUCTION
 • BUILDER TO CONFIRM ROOF SLOPE AND HEEL HEIGHT PRIOR TO CONSTRUCTION (IF APPLICABLE)

NOTE:
 PROPERTY LINE VALUES AND EXISTING SITE INFORMATION TO BE CONFIRMED PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS PLAN ACQUIRED FROM SUPPLIED RPR/SURVEY

1 Site
 1 : 100

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EMAIL: ROB@SEVENDAYPERMITS.CA
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- SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

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ENGINEER

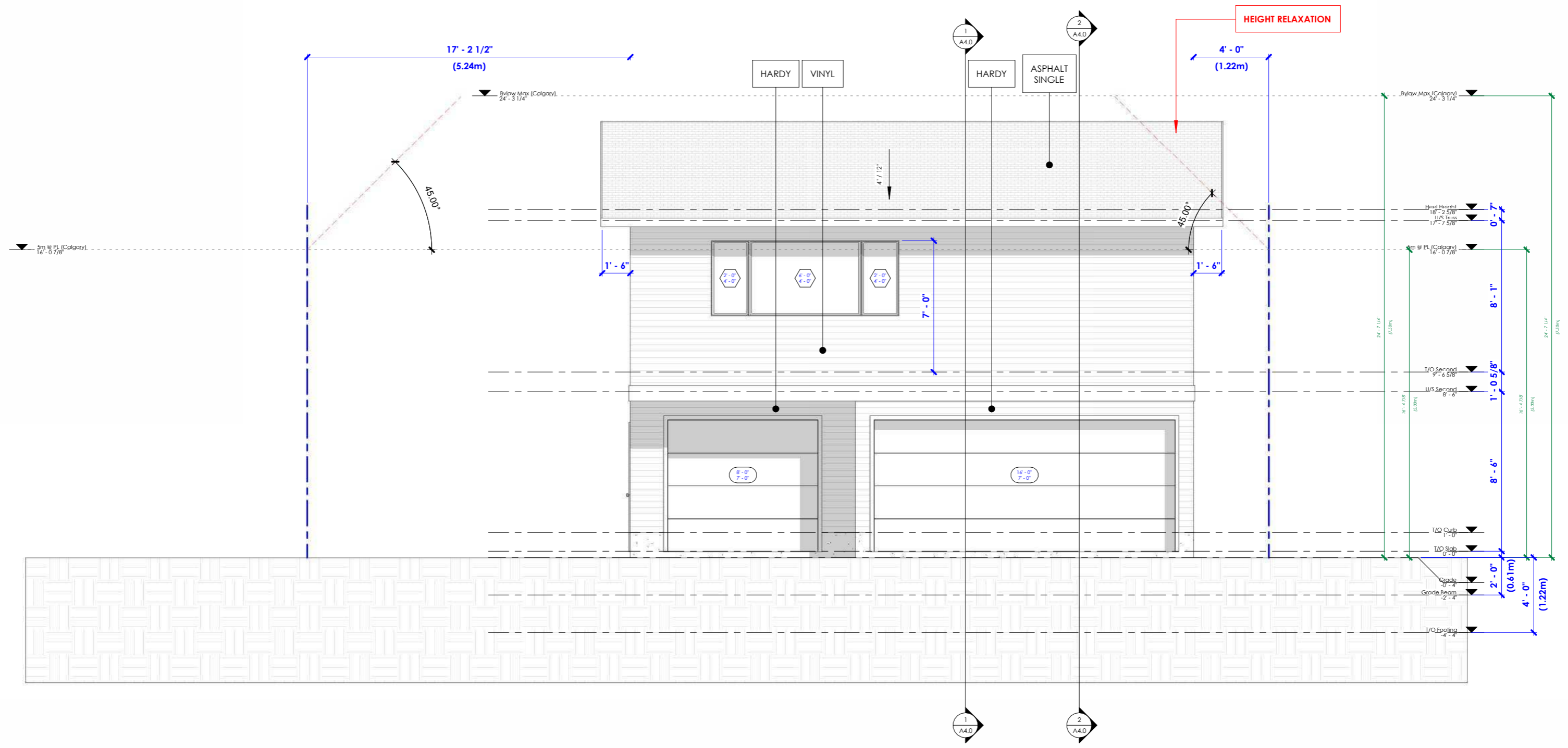
GENERAL CONTRACTOR

3747 Logan Cr SW
 Calgary, AB

Backyard Suite

Site Plan	
Project :	2026-020
Scale:	1 : 100
Drawn By:	RFC
A1.0	

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION AND NOTIFY SDP OF ANY DISCREPANCIES



1 Front Elevation
3/16" = 1'-0"



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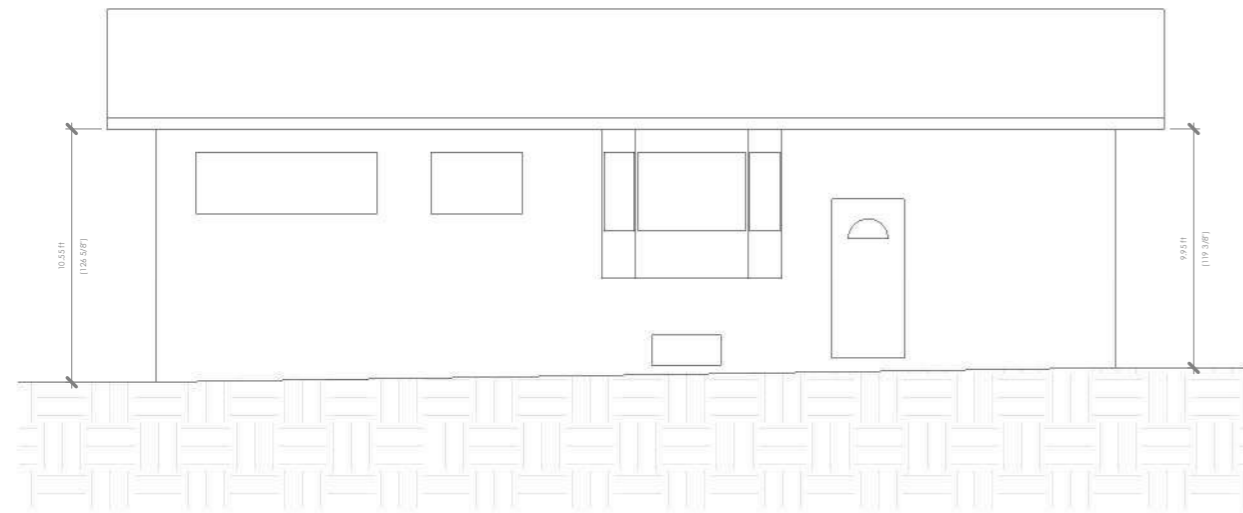


GENERAL CONTRACTOR

3747 Logan Cr Sw
Calgary, AB

Backyard Suite

Elevations	
Project :	2026-020
Scale:	3/16" = 1'-0"
Drawn By:	RFK
A3.0	

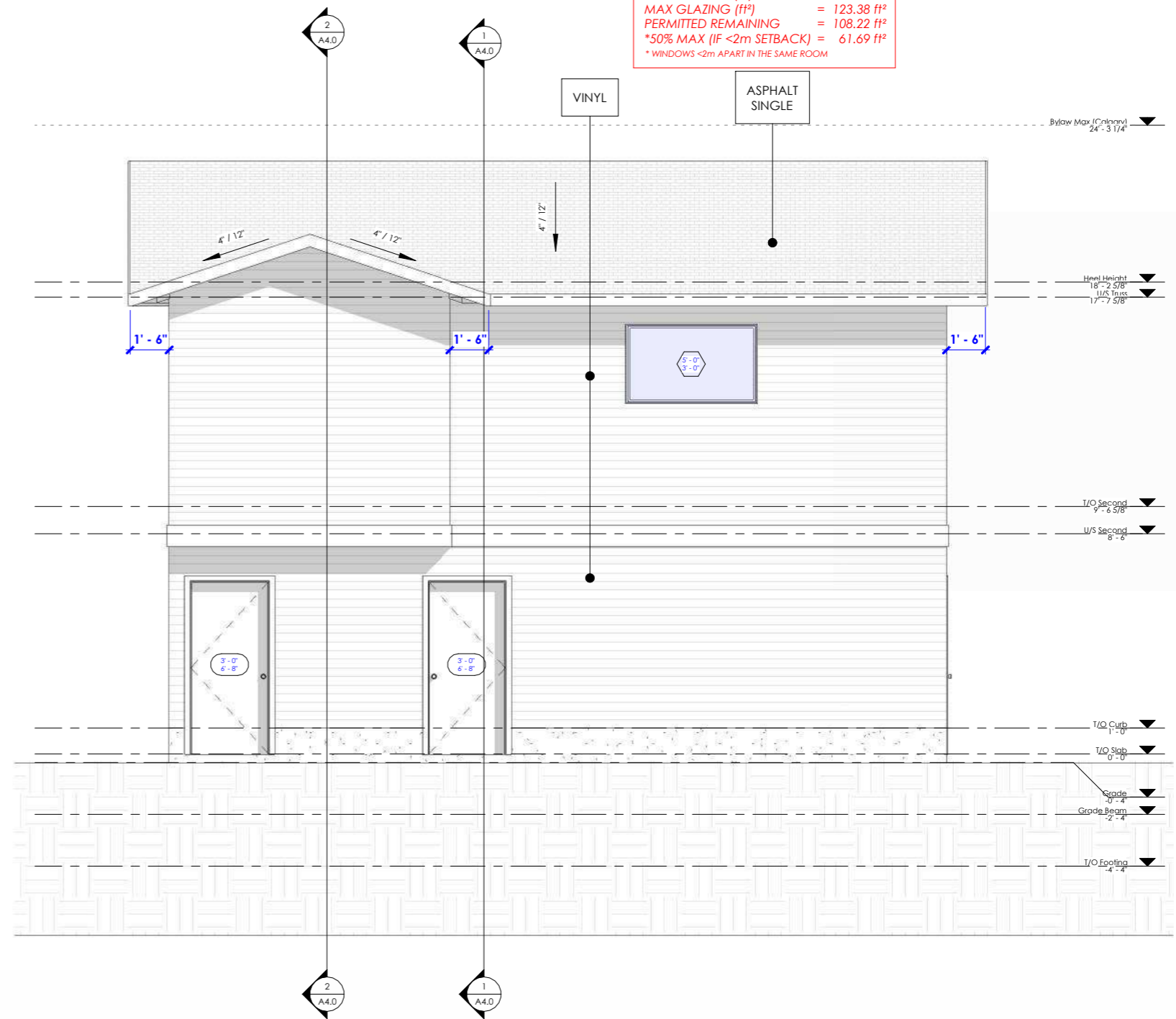


2 Dwelling Rear (Backyard Suite)
1/8" = 1'-0"

EXISTING DWELLING	
WALL AREA	= 409.93 ft ²
WINDOW AREA	= 56.35 ft ²
GLAZING LIMITING DISTANCE	= 13.75 %
	= 2.24 m
MAX GLAZING (%)	= 13.85 %
MAX GLAZING (ft ²)	= 56.78 ft ²
PERMITTED REMAINING	= 0.43 ft ²
*50% MAX (IF <2m SETBACK)	= 28.39 ft ²
* WINDOWS <2m APART IN THE SAME ROOM	

EXISTING DWELLING	
WALL AREA	= 529.06 ft ²
WINDOW AREA	= 15.16 ft ²
GLAZING LIMITING DISTANCE	= 2.87 %
	= 3.45 m
MAX GLAZING (%)	= 23.32 %
MAX GLAZING (ft ²)	= 123.38 ft ²
PERMITTED REMAINING	= 108.22 ft ²
*50% MAX (IF <2m SETBACK)	= 61.69 ft ²
* WINDOWS <2m APART IN THE SAME ROOM	

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION AND NOTIFY SDP OF ANY DISCREPANCIES



1 Rear Elevation
3/16" = 1'-0"



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ENGINEER

GENERAL CONTRACTOR



3747 Logan Cr SW
Calgary, AB

Backyard Suite

Elevations

Project : 2026-020

Scale: As indicated

Drawn By: RFC

A3.1

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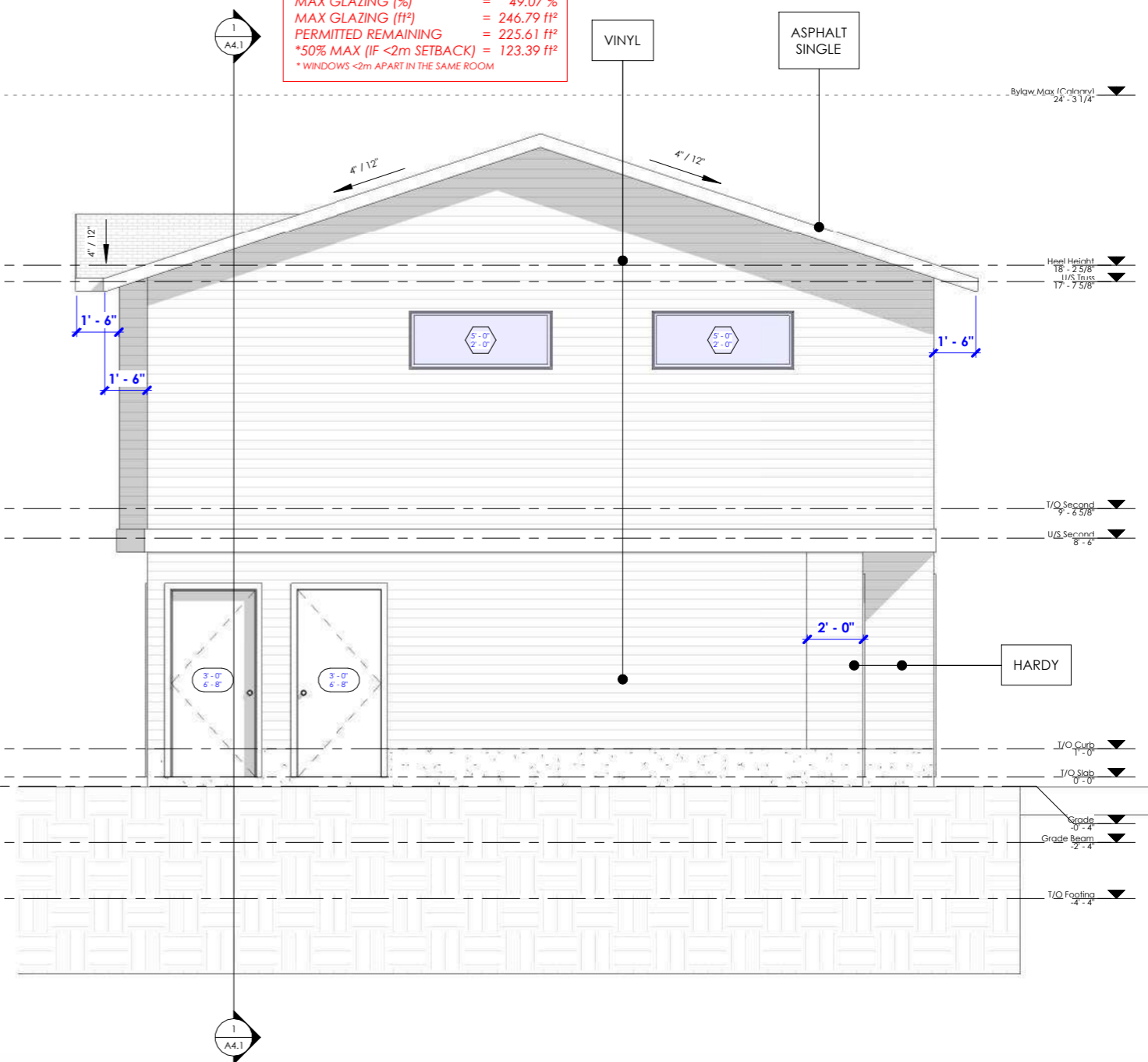
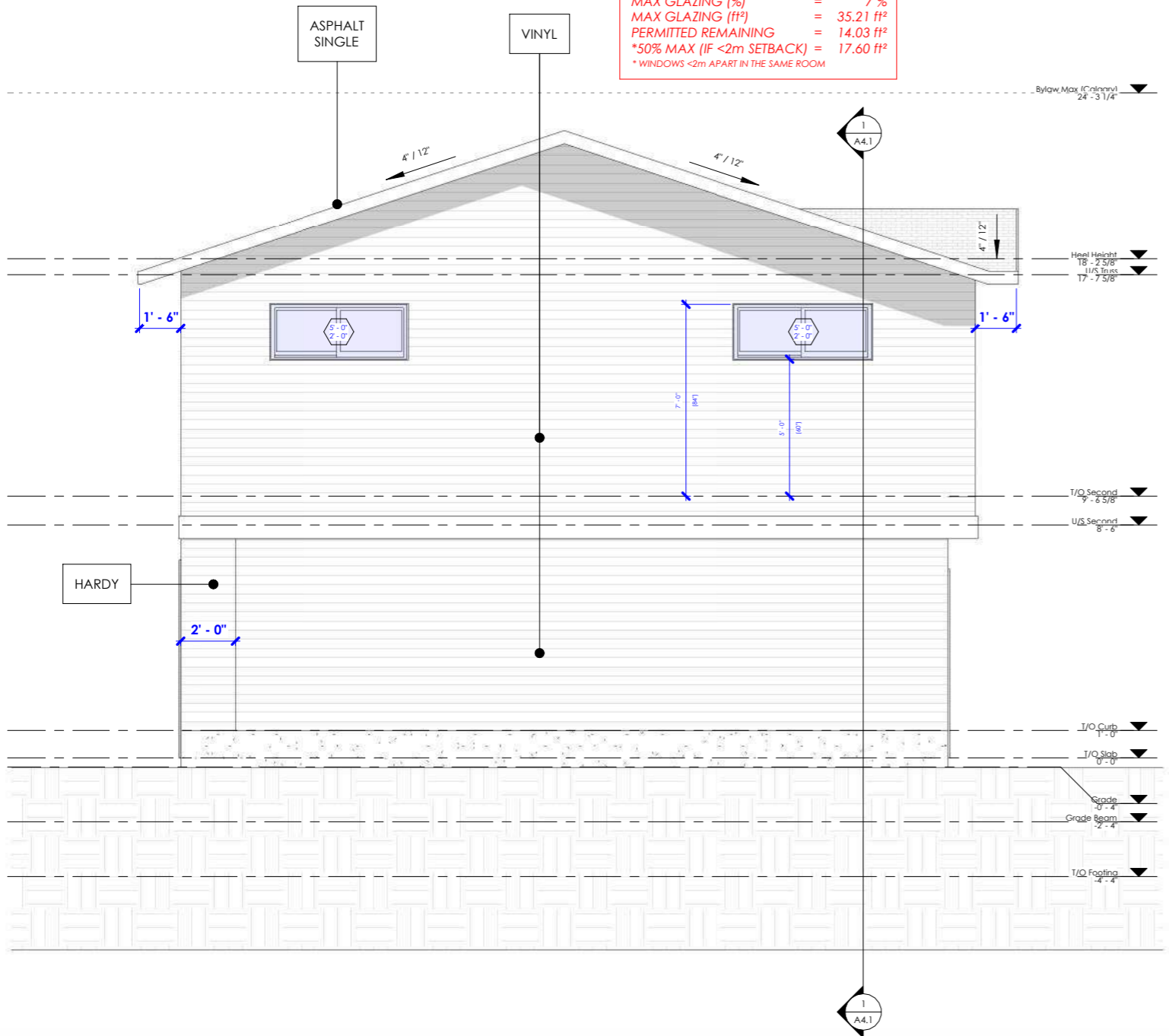
Glazing Calculation Notes:
 New windows:
 Window R/O is 1" larger than window measurements:
 48x30 window = 49x31 R/O
 When boxing out windows with Window Hatch, offset window by 0.5" E/W

EXISTING DWELLING	
WALL AREA	= 502.93 ff ²
WINDOW AREA	= 21.18 ff ²
GLAZING LIMITING DISTANCE = 4.21 %	
LIMITING DISTANCE = 1.2 m	
MAX GLAZING (%)	= 7 %
MAX GLAZING (ff ²)	= 35.21 ff ²
PERMITTED REMAINING	= 14.03 ff ²
*50% MAX (IF <2m SETBACK)	= 17.60 ff ²
* WINDOWS <2m APART IN THE SAME ROOM	

Glazing Calculation Notes:
 New windows:
 Window R/O is 1" larger than window measurements:
 48x30 window = 49x31 R/O
 When boxing out windows with Window Hatch, offset window by 0.5" E/W

EXISTING DWELLING	
WALL AREA	= 502.93 ff ²
WINDOW AREA	= 21.18 ff ²
GLAZING LIMITING DISTANCE = 4.21 %	
LIMITING DISTANCE = 5.25 m	
MAX GLAZING (%)	= 49.07 %
MAX GLAZING (ff ²)	= 246.79 ff ²
PERMITTED REMAINING	= 225.61 ff ²
*50% MAX (IF <2m SETBACK)	= 123.39 ff ²
* WINDOWS <2m APART IN THE SAME ROOM	

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2 Right Elevation
 3/16" = 1'-0"

1 Left Elevation
 3/16" = 1'-0"



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ENGINEER

GENERAL CONTRACTOR

GARAGE SUITES

3747 Logan Cr SW
 Calgary, AB

Backyard Suite

Elevations	
Project :	2026-020
Scale:	3/16" = 1'-0"
Drawn By:	RFC
A3.2	