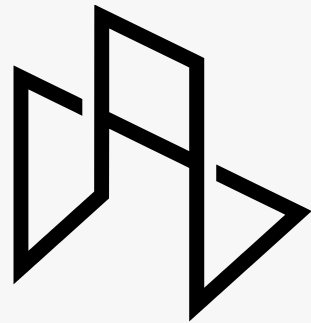
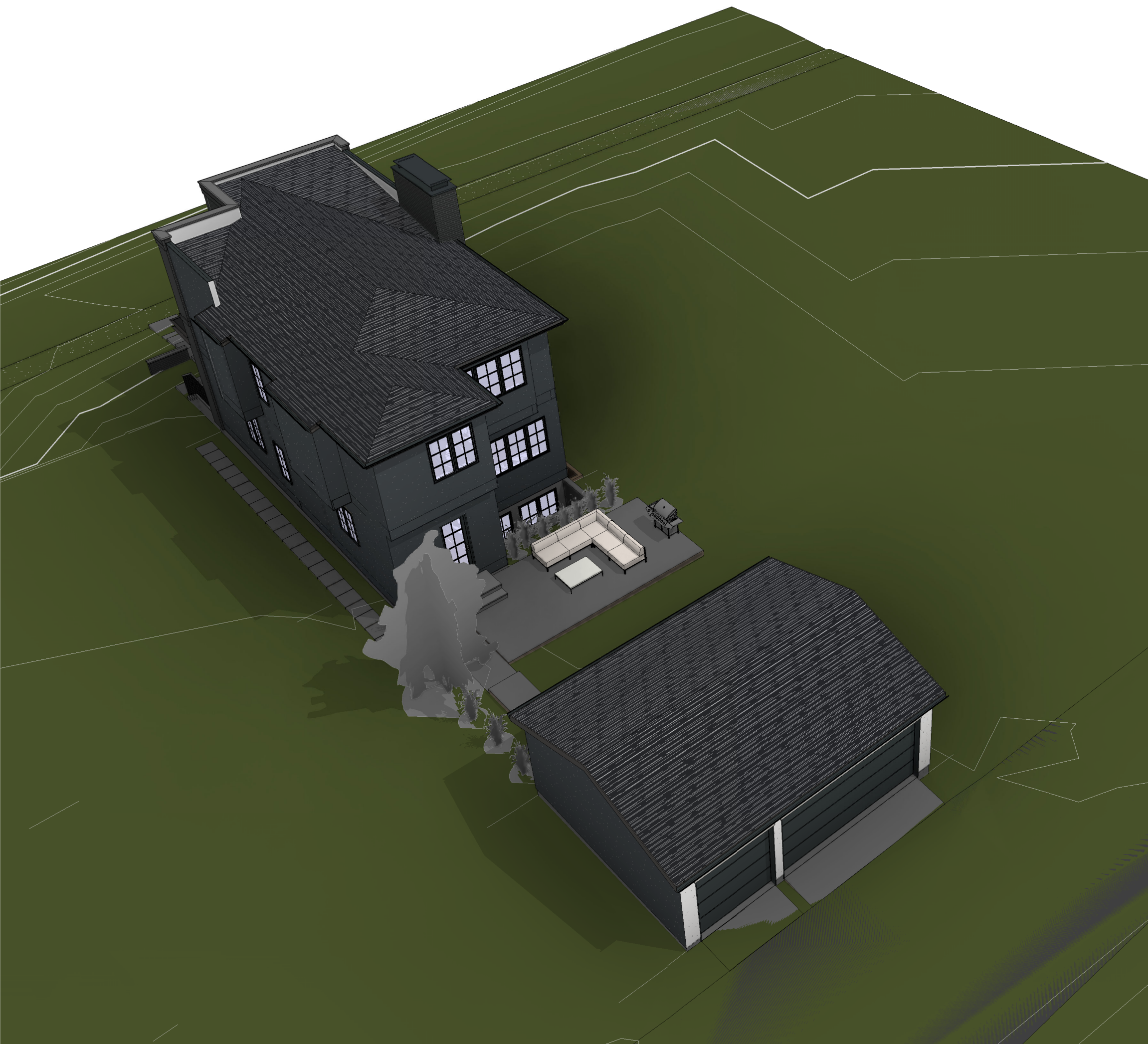




ANDISON RESIDENTIAL DESIGN

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JULY 03, 2026

3611 1A STREET SW

REVISION SCHEDULE

#	REVISION DATE	REVISION DESCRIPTION
1	2025.12.04	Concept Design
4	2026.01.21	Issued for Development Permit
7	2026.07.03	DTR 2

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ISSUED FOR

TENDER

SUNBREAKER COVE,
SYLVAN LAKE, AB.

3611 1A Street SW
CALGARY, ALBERTA

LOT: 40 & 41, BLOCK: C,
PLAN: 923 S

FLOOR AREAS

MAIN FLOOR	1180 SF
SECOND FLOOR	1164 SF
TOTAL:	2345 SF

DEVELOPED BASEMENT	956 SF
GARAGE	616 SF

NOT FOR
CONSTRUCTION

PERSPECTIVES

DP-00

7/3/2026 10:02:11 AM



SITE INFORMATION

LEGAL ADDRESS:
LOT: 39 & 40, BLOCK: C,
PLAN: 923 S

MUNICIPAL ADDRESS:
3609 1A STREET SW
CALGARY, ALBERTA

LAND USE DESIGNATION:
R-CG

COMMUNITY: PARKHILL

SURVEY INFORMATION
Survey completed by:
(Company Name)
(Address)
Phone: (xxx) xxx-xxxx
Dated: mm dd yyyy

Note: Unless otherwise specified, all dimensions relate to distances from property boundary to foundation walls are from the date of the survey. Spot elevations are approximately located.

GRADE MARKER LEGEND

1079.38 EXISTING GRADE
1079.38 ASSUMED GRADE
1079.38 PROPOSED GRADE

LINE TYPE LEGEND

SUBJECT PROPERTY LINES
ADJACENT PROPERTY LINES
EAVES / CANOPIES
UTILITY LINES - POWER
UTILITY LINES - OVERHEAD
UTILITY LINES - WATER
UTILITY LINES - SANITARY
UTILITY LINES - GAS
UTILITY LINES - STORM
EXISTING BUILDING TO BE REMOVED
EXISTING FENCE
PROPOSED PRIVACY SCREEN/ FENCE

WINDOW & DOOR LOCATIONS

LOFT DOORS & WINDOWS
UPPER DOORS & WINDOWS
MAIN DOORS & WINDOWS
BASEMENT DOORS & WINDOWS

PLANTING LEGEND

Coniferous Tree
Shrub / Bush
Deciduous Tree

LANDSCAPING LEGEND

SOFT / PERMEABLE LANDSCAPING

GRASS
GRAVEL
CONCRETE

HARD / NON-PERMEABLE LANDSCAPING

BUILDING FOOTPRINT
NEIGHBORING BUILDING FOOTPRINT
MAIN FLOOR CANTILEVER
SECOND FLOOR CANTILEVER

NON-LANDSCAPED AREAS

PROPOSED ADDITION FOOTPRINT
DECKS
200mm Sanitary Line
200mm Gas Line(AB)

All proposed trees and shrubs are to be of species capable of healthy growth in Calgary. The standards of the Canadian Nursery Landscape Association.

New matured trees to be planted after construction as required by Land Use Bylaw

TREE SCHEDULE:

Tree #	Trunk (Ø2)	Canopy (Ø2)	Height (ft)	Tree ID / Type	Status
T1	0.20	5.00	3.00	Juniperus Shrub T-3202190	To be removed
T2	0.20	3.00	3.00	Pinus Mugo Shrub T-3202189	To be removed
T3	0.20	3.00	3.00	Potentilla Shrub T-3202188	To be removed
T4	0.25	8.00	8.00	Deciduous	To remain
T5	0.18	5.00	3.00	Malus - Crab Apple T31194606	To remain

PARCEL COVERAGE AREA

Name	Imperial	Metric
Footprint	616 ft²	57.23 m²
DETACHED GARAGE	616 ft²	57.23 m²
BUILDING FOOTPRINT	1181 ft²	109.76 m²
SITE AREA	3996 ft²	371.28 m²

ACTUAL PARCEL COVERAGE = 44.97%

GROSS BUILDING AREA

Name	Imperial	Metric
Above Grade		
MAIN FLOOR	1180 ft²	109.65 m²
SECOND FLOOR	1164 ft²	108.17 m²
Developed	2345 ft²	217.82 m²
GARAGE	616 ft²	57.23 m²
Undeveloped	616 ft²	57.23 m²
Below Grade		
DEVELOPED BASEMENT	956 ft²	88.84 m²
Developed	956 ft²	88.84 m²

PARCEL COVERAGE AREA

Name	Imperial	Metric
Footprint	616 ft²	57.23 m²
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LIGHTING NOTE
EXTERIOR WALL SCONCES @ 2.74M FROM GROUND FLOOR, 100 WATT INCANDESCENT OR EQUIV. MAX (TYP)

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SITE AREA	3996 ft²	371.28 m²

ACTUAL PARCEL COVERAGE = 44.97%

TYPICAL FENCE DETAIL

5/4" PRESSURE TREATED OR CEDAR TOP RAIL
PRESSURE TREATED 2X4 ON FLAT
PRESSURE TREATED OR CEDAR FENCE BOARD
PRESSURE TREATED 2X4 ON FLAT
PRESSURE TREATED 2X4 ON FLAT
6X6 PRESSURE TREATED POST
PRESSURE TREATED 2X4 ON FLAT
8" Ø CONCRETE PIER @ 8'-0" O/C

Drawing Index - DP	
SHEET NUMBER	SHEET NAME
DP-00	PERSPECTIVES
DP-02	EAST & NORTH ELEVATIONS
DP-03	WEST & SOUTH ELEVATION
DP-04	FLOOR PLANS

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JULY 03, 2025
SW STREET V1 L196

REVISION SCHEDULE

#	REVISION DATE	REVISION DESCRIPTION
1	2025.12.04	Concept Design
4	2026.01.21	Issued for Development Permit
7	2026.07.03	DTR 2

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ISSUED FOR TENDER

SUNBREAKER COVE, SYLVAN LAKE, AB.

3611 1A Street SW
CALGARY, ALBERTA

LOT: 40 & 41, BLOCK: C,
PLAN: 923 S

FLOOR AREAS

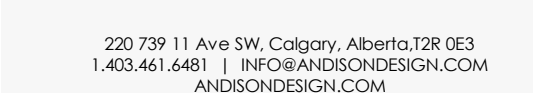
MAIN FLOOR	1180 SF
SECOND FLOOR	1164 SF
TOTAL:	2345 SF
DEVELOPED BASEMENT	956 SF
GARAGE	616 SF

NOT FOR CONSTRUCTION

SITE & BLOCK PLAN

DP-01

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3611 1A STREET SW

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TENDER

3611 1A Street SW
CALGARY, ALBERTA

LOT: 40 & 41, BLOCK: c.
PLAN: 923 S

MAIN FLOOR	1180 SF
SECOND FLOOR	1164 SF
TOTAL:	2345 SF

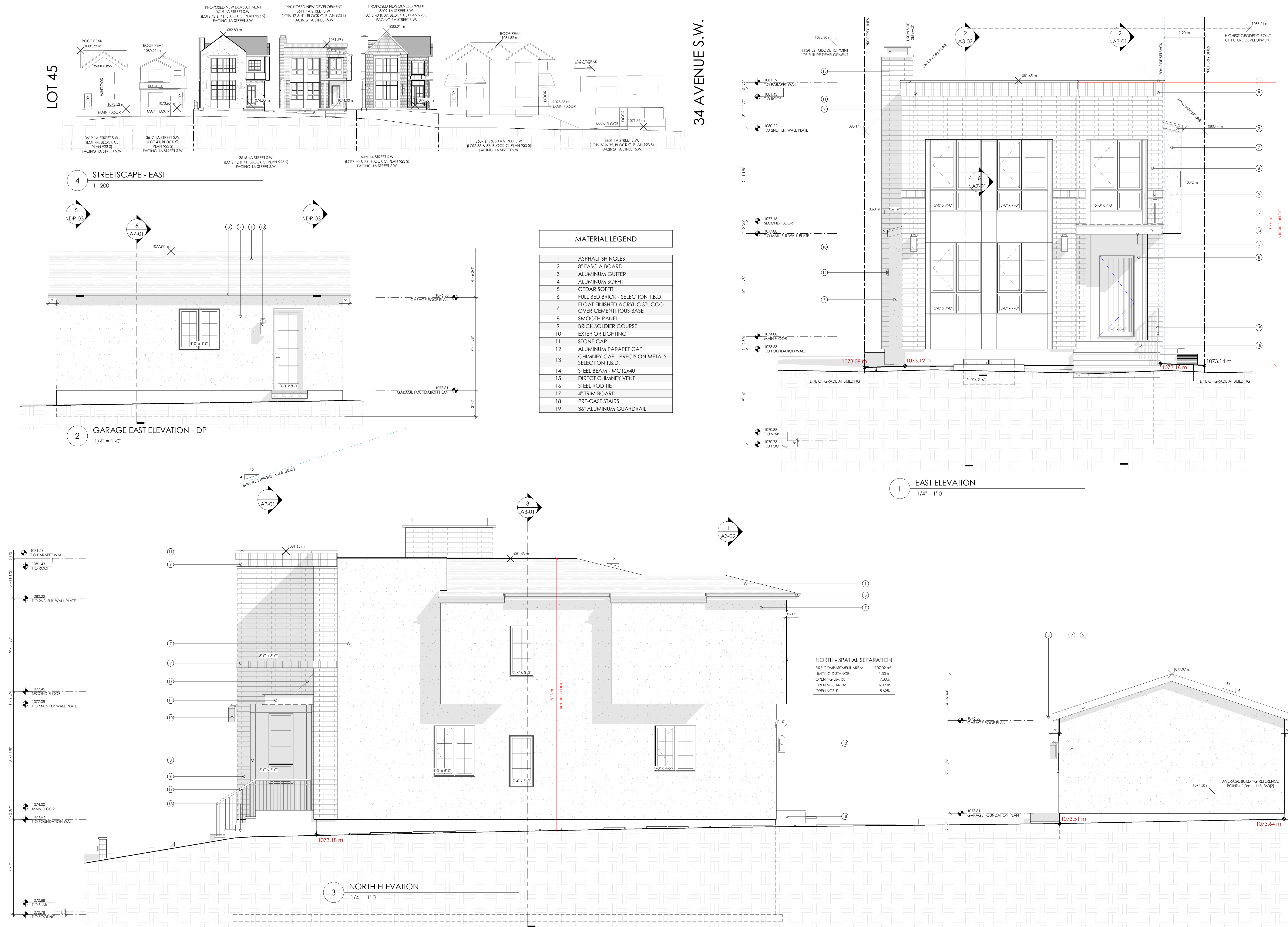
DEVELOPED BASEMENT	956 SF
GARAGE	616 SF

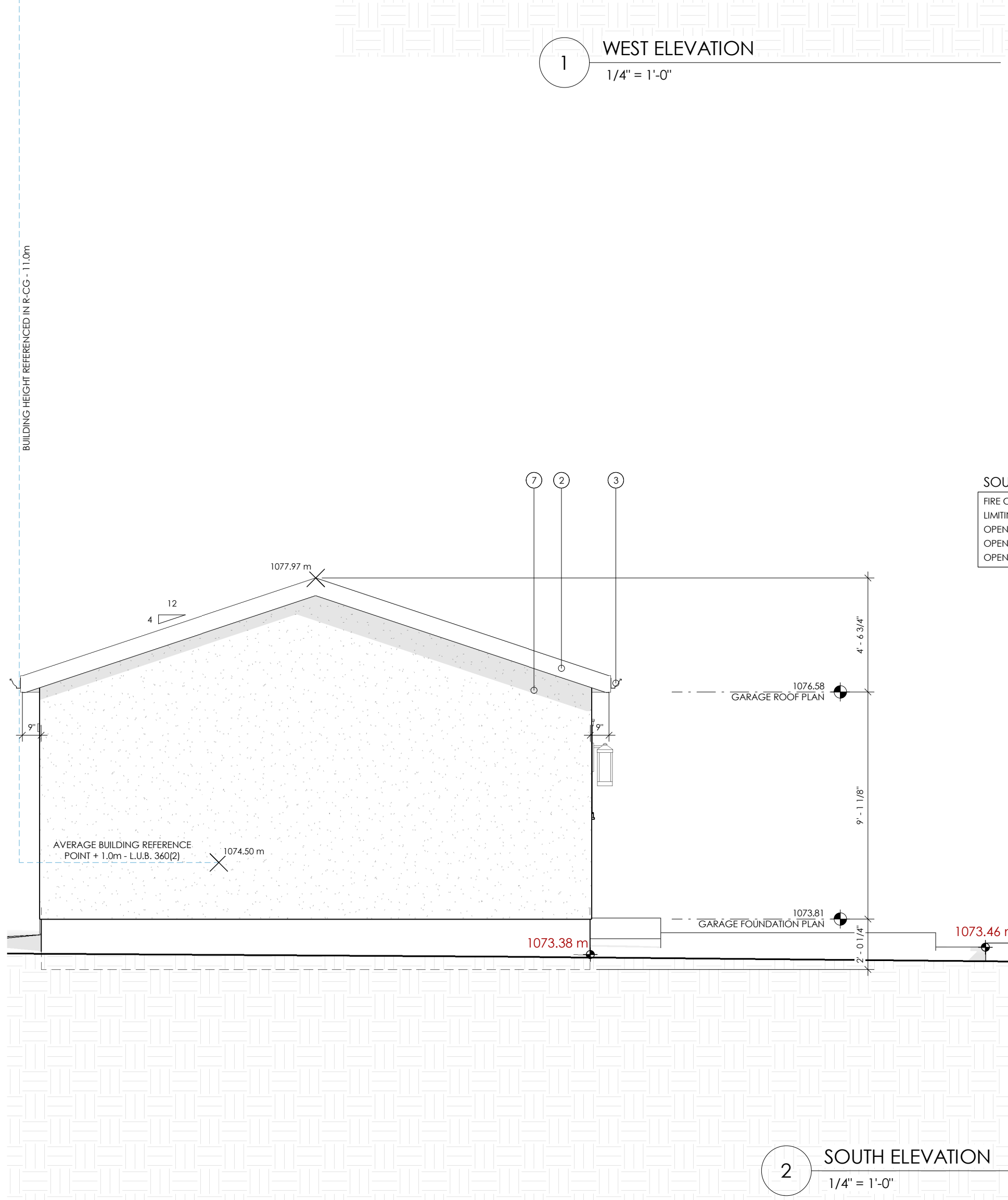
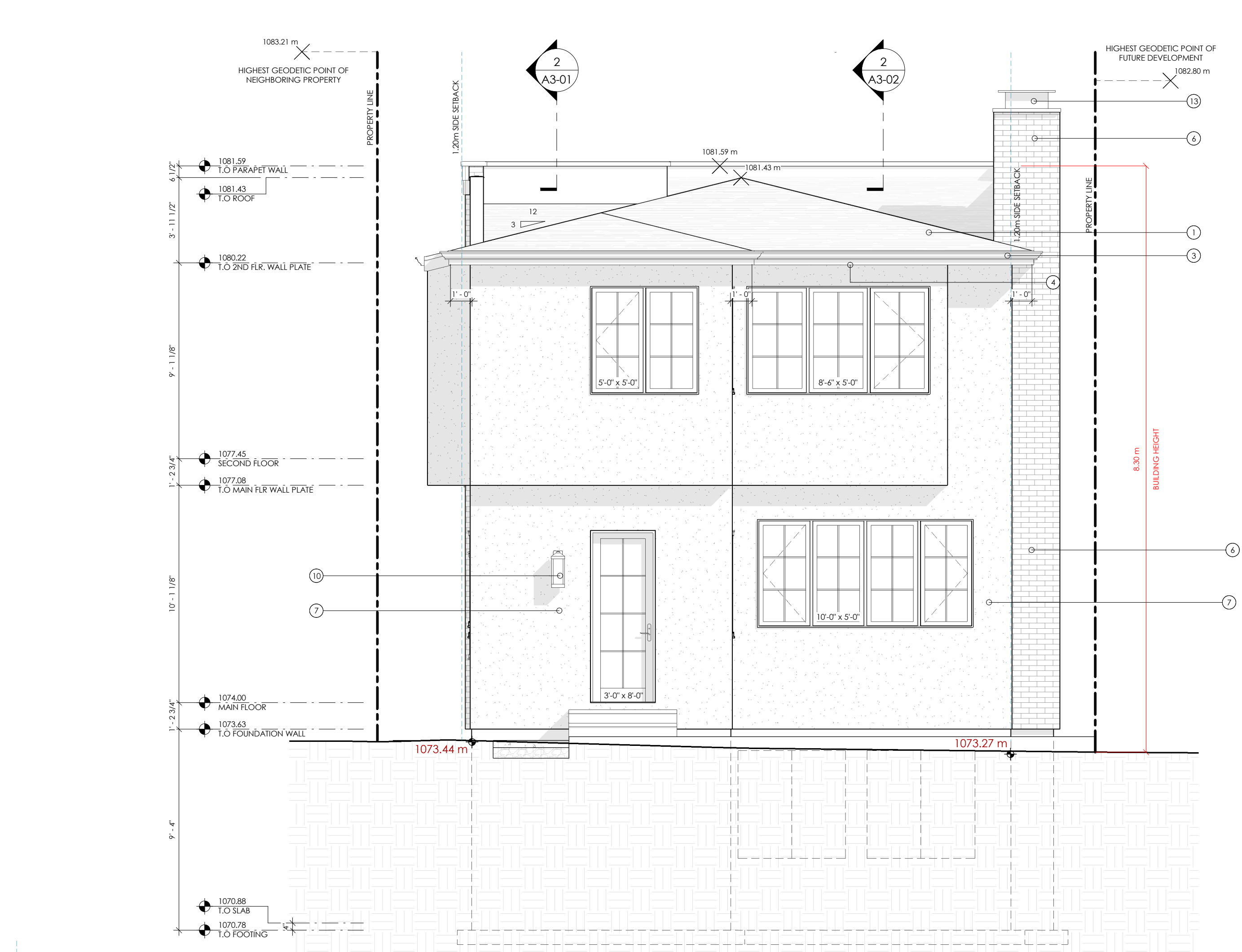
**NOT FOR
CONSTRUCTION**

EAST & NORTH ELEVATIONS

DP-02

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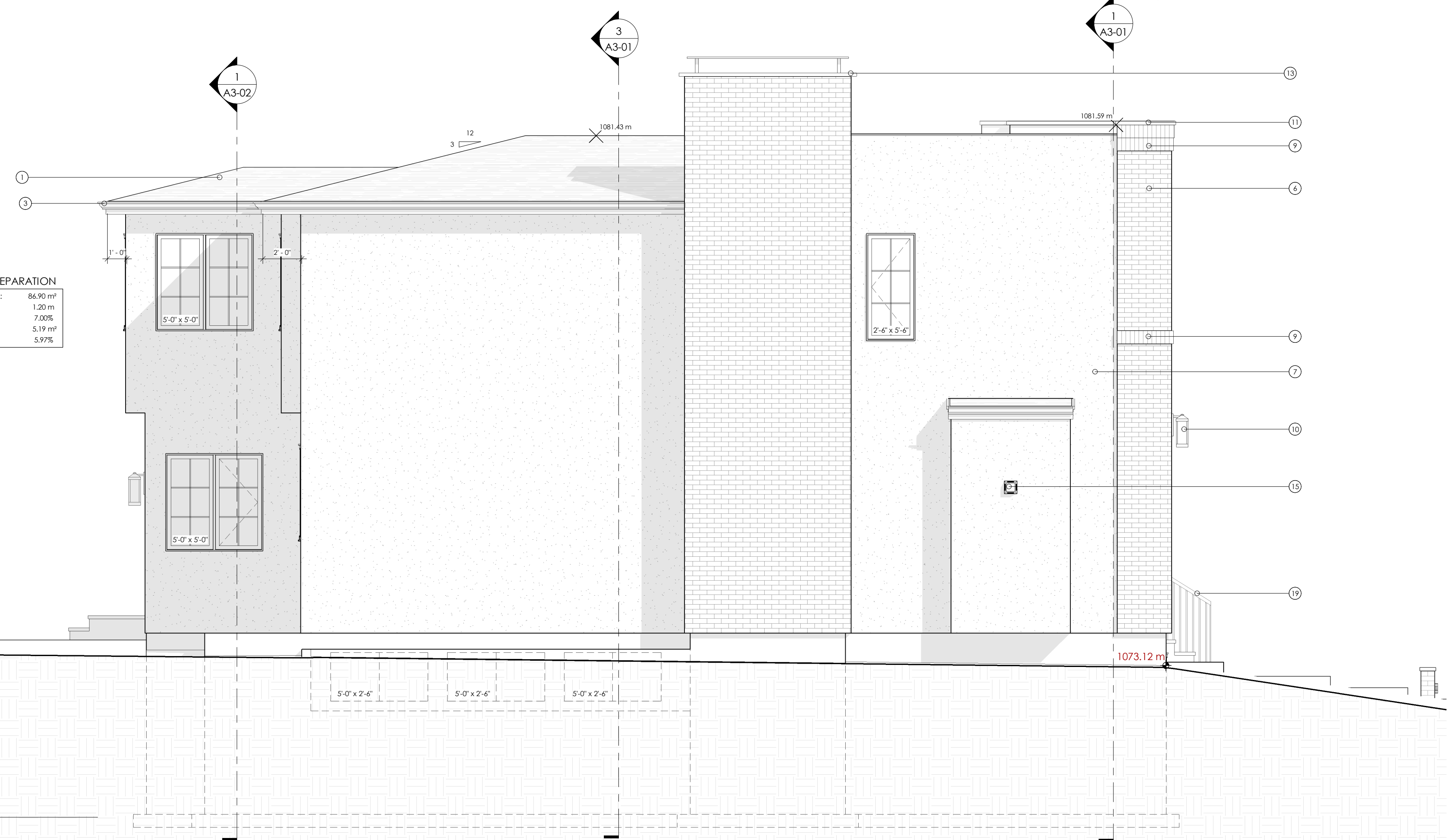
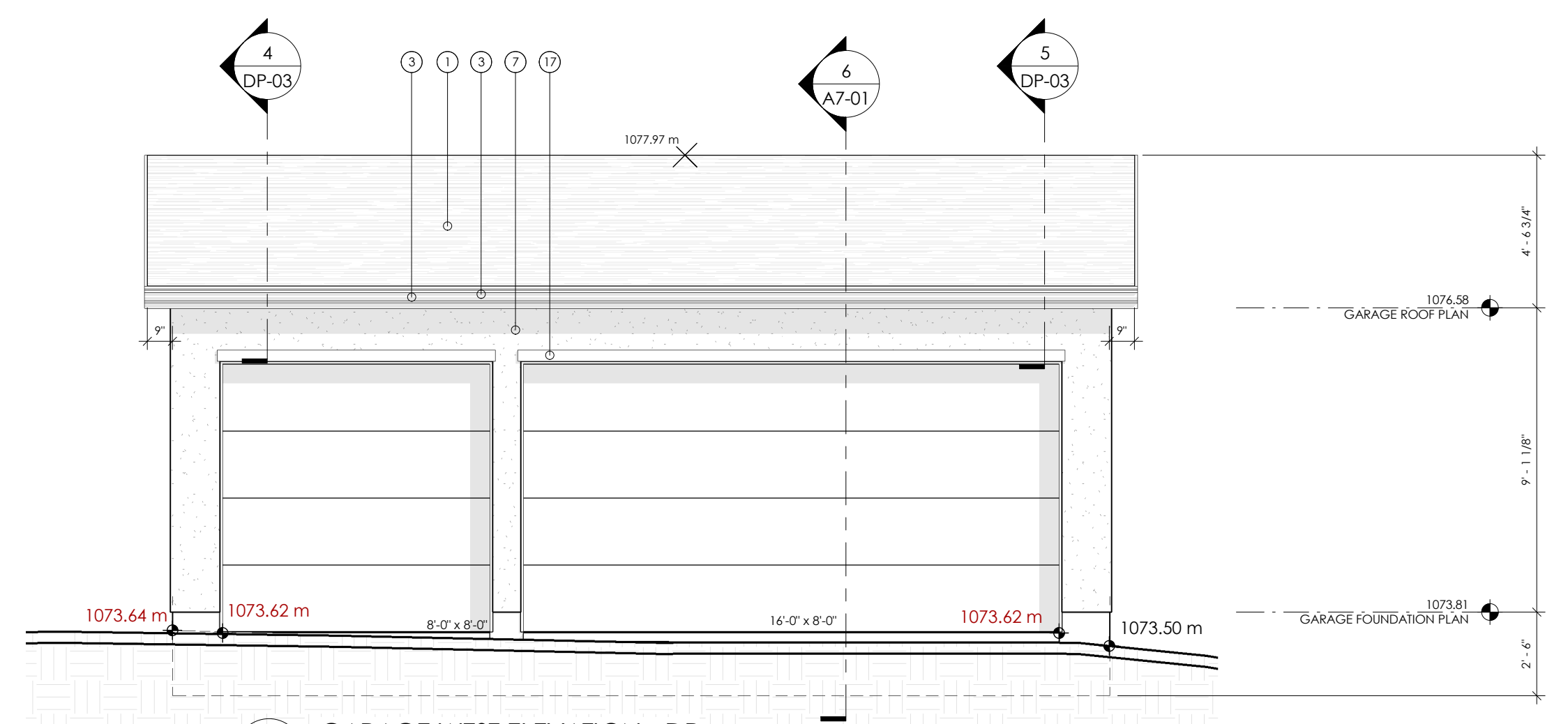
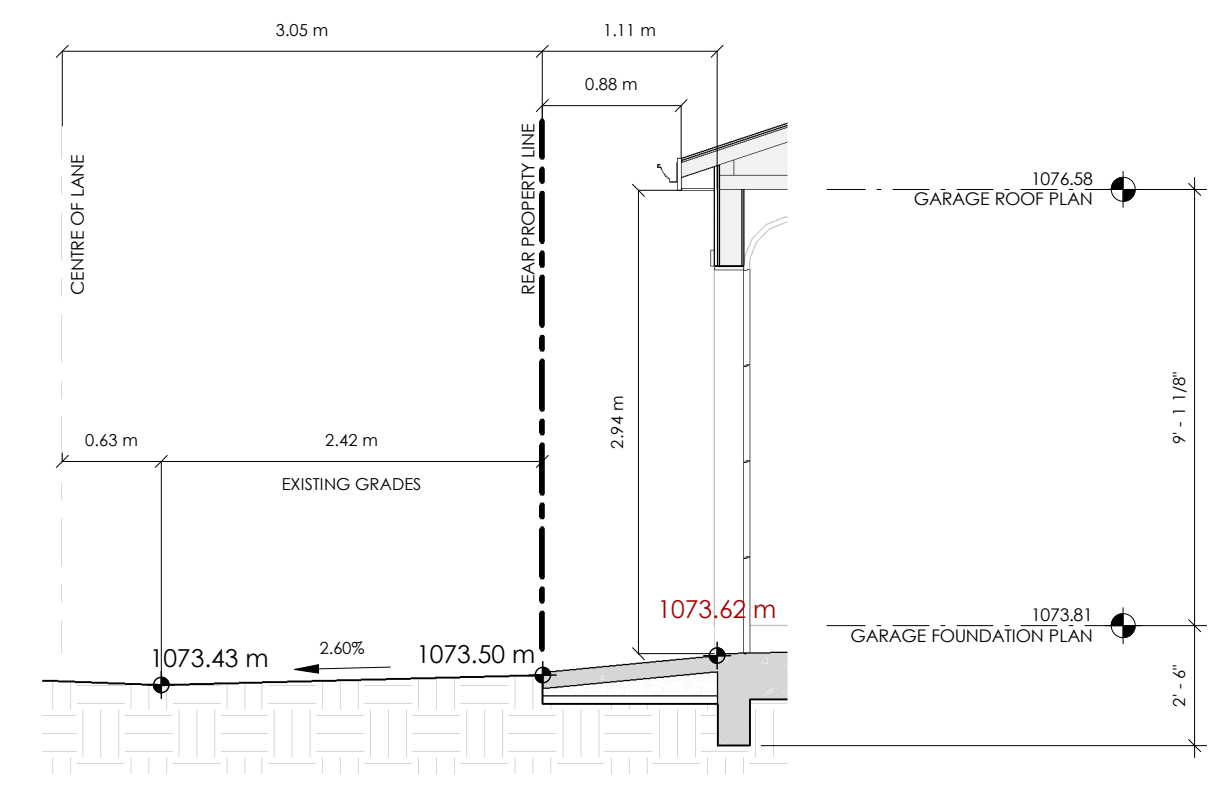
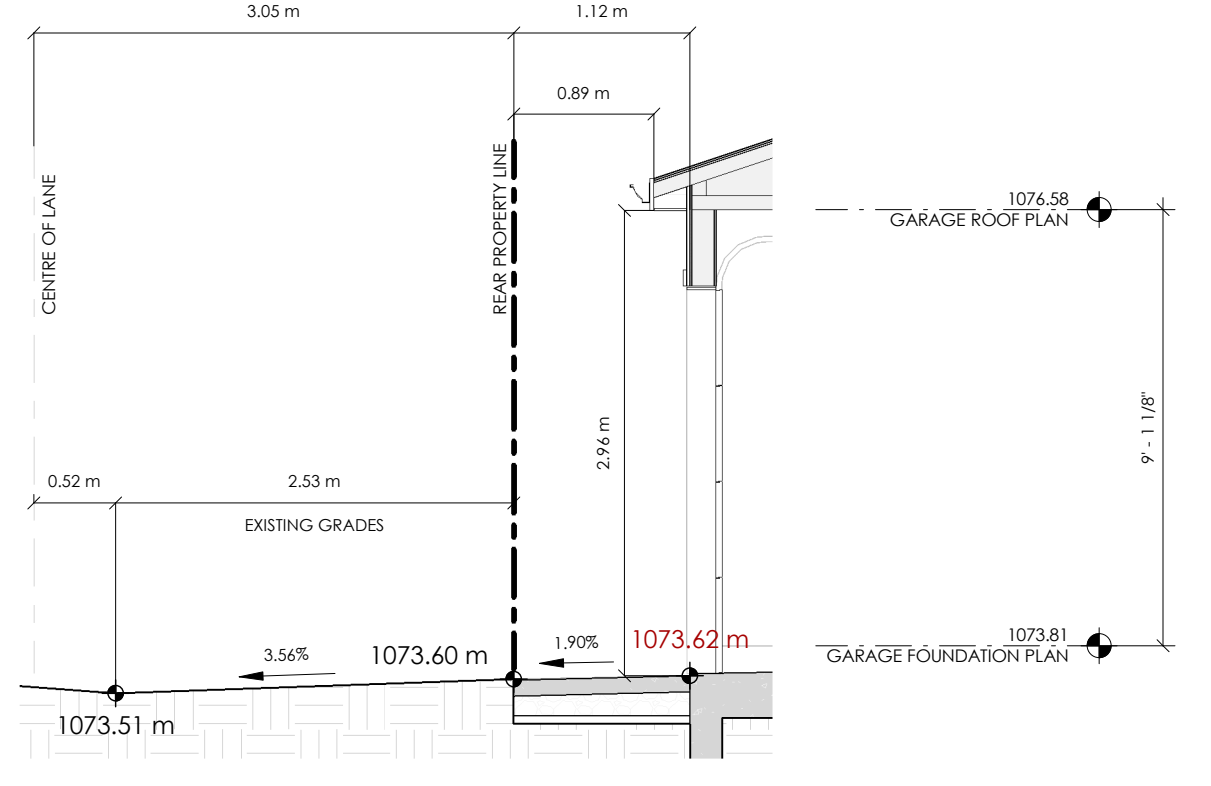


SOUTH - SPATIAL SEPARATION

FIRE COMPARTMENT AREA:	86.90 m²
LIMITING DISTANCE:	1.20 m
OPENING LIMITS:	1.00%
OPENINGS AREA:	5.19 m²
OPENINGS %:	5.97%

MATERIAL LEGEND

1	ASPHALT SHINGLES
2	8" FASCIA BOARD
3	ALUMINUM GUTTER
4	ALUMINUM SOFFIT
5	CEDAR SOFFIT
6	FULL BED BRICK - SELECTION T.B.D.
7	FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE
8	SMOOTH PANEL
9	BRICK SOLDIER COURSE
10	EXTERIOR LIGHTING
11	STONE CAP
12	ALUMINUM PARAPET CAP
13	CHIMNEY CAP - PRECISION METALS - SELECTION T.B.D.
14	STEEL BEAM - MC12x40
15	DIRECT CHIMNEY VENT
16	STEEL ROD TIE
17	4" TRIM BOARD
18	PRE-CAST STAIRS
19	36" ALUMINUM GUARDRAIL



REVISION SCHEDULE

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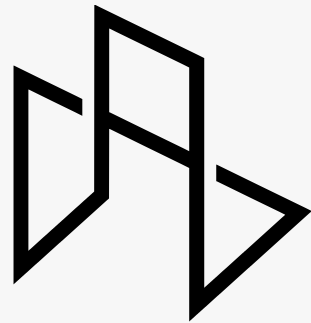
FLOOR AREAS

MAIN FLOOR	1180 SF
SECOND FLOOR	1164 SF
TOTAL:	2345 SF
DEVELOPED BASEMENT	956 SF
GARAGE	616 SF

NOT FOR
CONSTRUCTION

WEST & SOUTH ELEVATION

DP-03



ANDISON RESIDENTIAL DESIGN

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JULY 03, 2025

SW STREET V1 L196

REVISION SCHEDULE

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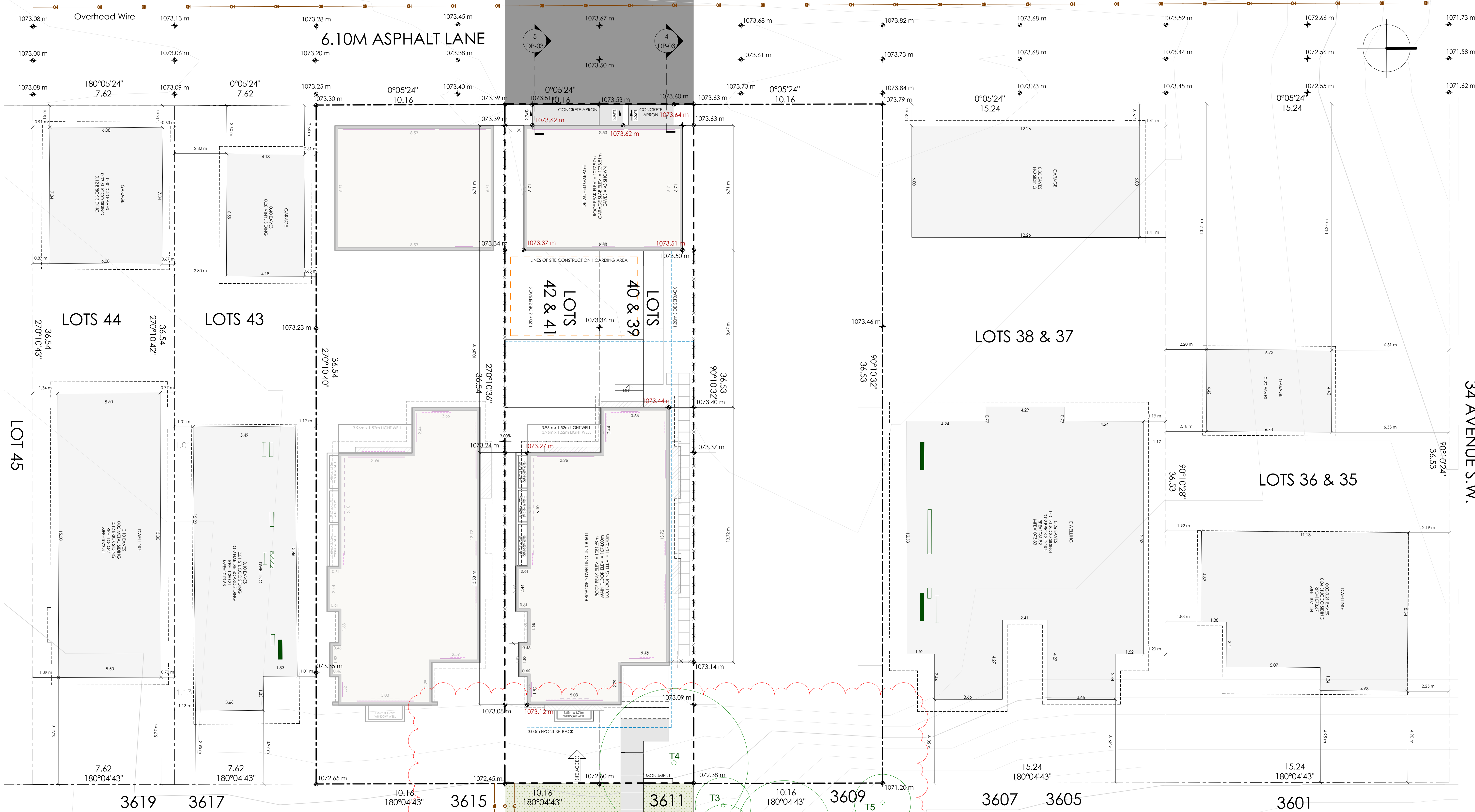
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GARAGE	616 SF

NOT FOR
CONSTRUCTION

SITE & BLOCK PLAN

DP-01

7/3/2026 10:02:12 AM



SITE INFORMATION

LEGAL ADDRESS:

LOT: 39 & 40, BLOCK: C.
PLAN: 923 S

MUNICIPAL ADDRESS:

3609 1A STREET SW
CALGARY, ALBERTA

LAND USE DESIGNATION:

R-CG

COMMUNITY: PARKHILL

SURVEY INFORMATION

Survey completed by:

(Company Name)
(Address)
Phone: (xxx) xxx-xxxx
Dated: mm dd yyyy

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GRADE MARKER LEGEND

	1079.38	EXISTING GRADE
	1079.38	ASSUMED GRADE
	1079.38	PROPOSED GRADE

LINE TYPE LEGEND

	SUBJECT PROPERTY LINES
	ADJACENT PROPERTY LINES
	EAVES / CANOPIES
	UTILITY LINES - POWER
	UTILITY LINES - OVERHEAD
	UTILITY LINES - WATER
	UTILITY LINES - SANITARY
	UTILITY LINES - GAS
	UTILITY LINES - STORM
	EXISTING BUILDING TO BE REMOVED
	EXISTING FENCE
	PROPOSED PRIVACY

WINDOW & DOOR LOCATIONS

	LOFT DOORS & WINDOWS
	UPPER DOORS & WINDOWS
	MAIN DOORS & WINDOWS
	BASEMENT DOORS & WINDOWS

PLANTING LEGEND

	Coniferous Tree
	Shrub / Bush
	Deciduous Tree

LANDSCAPING LEGEND

SOFT / PERMEABLE LANDSCAPING

	GRASS
	GRAVEL

HARD / NON-PERMEABLE LANDSCAPING

	CONCRETE
	ASPHALT

NON-LANDSCAPED AREAS

	BUILDING FOOTPRINT
	NEIGHBORING BUILDING FOOTPRINT
	MAIN FLOOR CANTILEVER
	SECOND FLOOR CANTILEVER

	Area of Tree Protection
--	-------------------------

XERISCAPE MATERIAL

	XERISCAPE MATERIAL
--	--------------------

RETAINING WALLS

	RETAINING WALLS
--	-----------------

PROPOSED ADDITION FOOTPRINT

	PROPOSED ADDITION FOOTPRINT
--	-----------------------------

DECKS

	DECKS
--	-------

200mm Sanitary Line

	200mm Sanitary Line
--	---------------------

100mm Gas Line(AB)

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--	--------------------

All proposed trees and shrubs are to be of species capable of healthy growth in Calgary, Alberta, and meet the standards of the Canadian Nursery Landscape Association.

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BLOCK PLAN - DP

1 : 100

TREE SCHEDULE:

Tree #	Trunk (Ø2)	Canopy (Ø2)	Height (ft)	Tree ID / Type	Status
T1	0.20	5.00	3.00	Juniperus Shrub T-32052190	To be removed
T2	0.20	3.00	3.00	Pinus Mugo Shrub T-32052189	To be removed
T3	0.20	3.00	3.00	Potentilla Shrub T-32052188	To be removed
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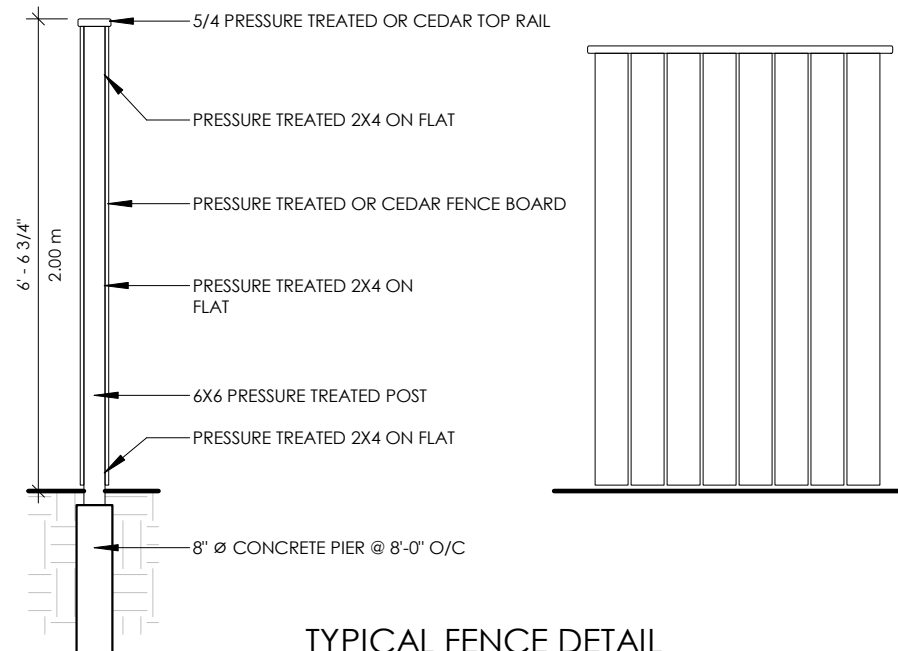
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TYPICAL FENCE DETAIL

Drawing Index - DP	
SHEET NUMBER	SHEET NAME
DP-00	PERSPECTIVES
DP-02	EAST & NORTH ELEVATIONS
DP-03	WEST & SOUTH ELEVATION
DP-04	FLOOR PLANS