



REVISION SCHEDULE

#	REVISION DATE	REVISION DESCRIPTION
1	2025.12.04	Concept Design
4	2026.01.21	Issued for Design Review
5	2026.01.28	Issued for Development Permit

GENERAL NOTES

It is the responsibility of the Contractor to review the Architectural drawings prior to construction and report any discrepancies to Andison Residential Design Ltd. Andison Residential Design Ltd. will not be held responsible for any costs if the Contractor deviates from these Architectural and or Structural drawings.

All Geodetic Elevations provided to Andison Residential Design Ltd. are assumed to be accurate and reflect actual site conditions. Andison Residential Design Ltd. will not be held responsible for any discrepancies between Site condition and the provided survey.

These drawings supersede all previous versions and shall not be used for any construction purposes until approved and signed.

CLIENT APPROVAL

Date: _____

Sign: _____

ISSUED FOR
CONCEPT DESIGN

PROJECT LOCATION

3615 1A Street SW
CALGARY, ALBERTA

LOT: 41 & 42, BLOCK: C,
PLAN: 923 S

FLOOR AREAS

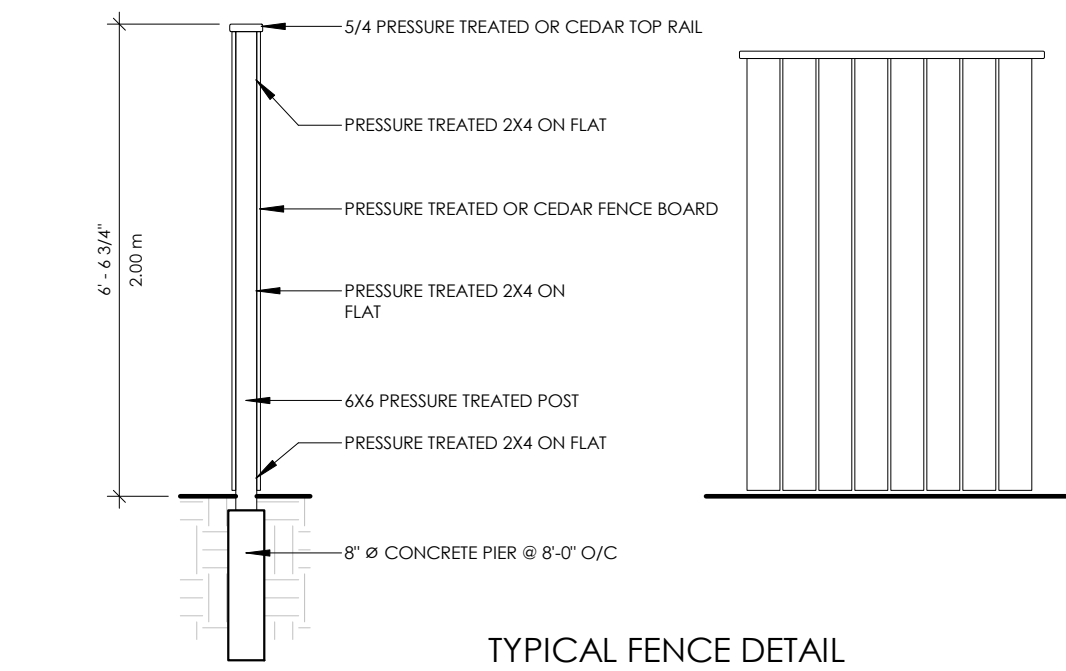
MAIN FLOOR	1170 SF
SECOND FLOOR	1154 SF
TOTAL:	2324 SF

DEVELOPED BASEMENT	956 SF
GARAGE	616 SF

NOT FOR
CONSTRUCTION

COVER PAGE

DP-00



1 BLOCK PLAN
1 : 100

SHEET NUMBER	SHEET NAME
DP-01	SITE & BLOCK PLAN
DP-02	EAST & NORTH ELEVATIONS
DP-03	WEST & SOUTH ELEVATION
DP-04	FLOOR PLANS

JANUARY 28, 2026

3609 1 A STREET SW

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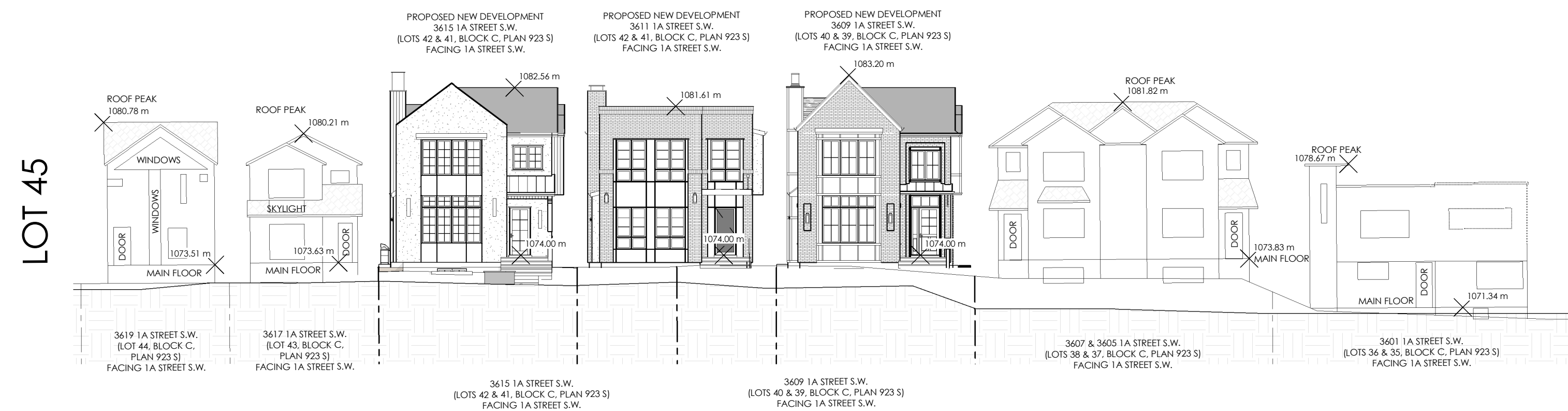
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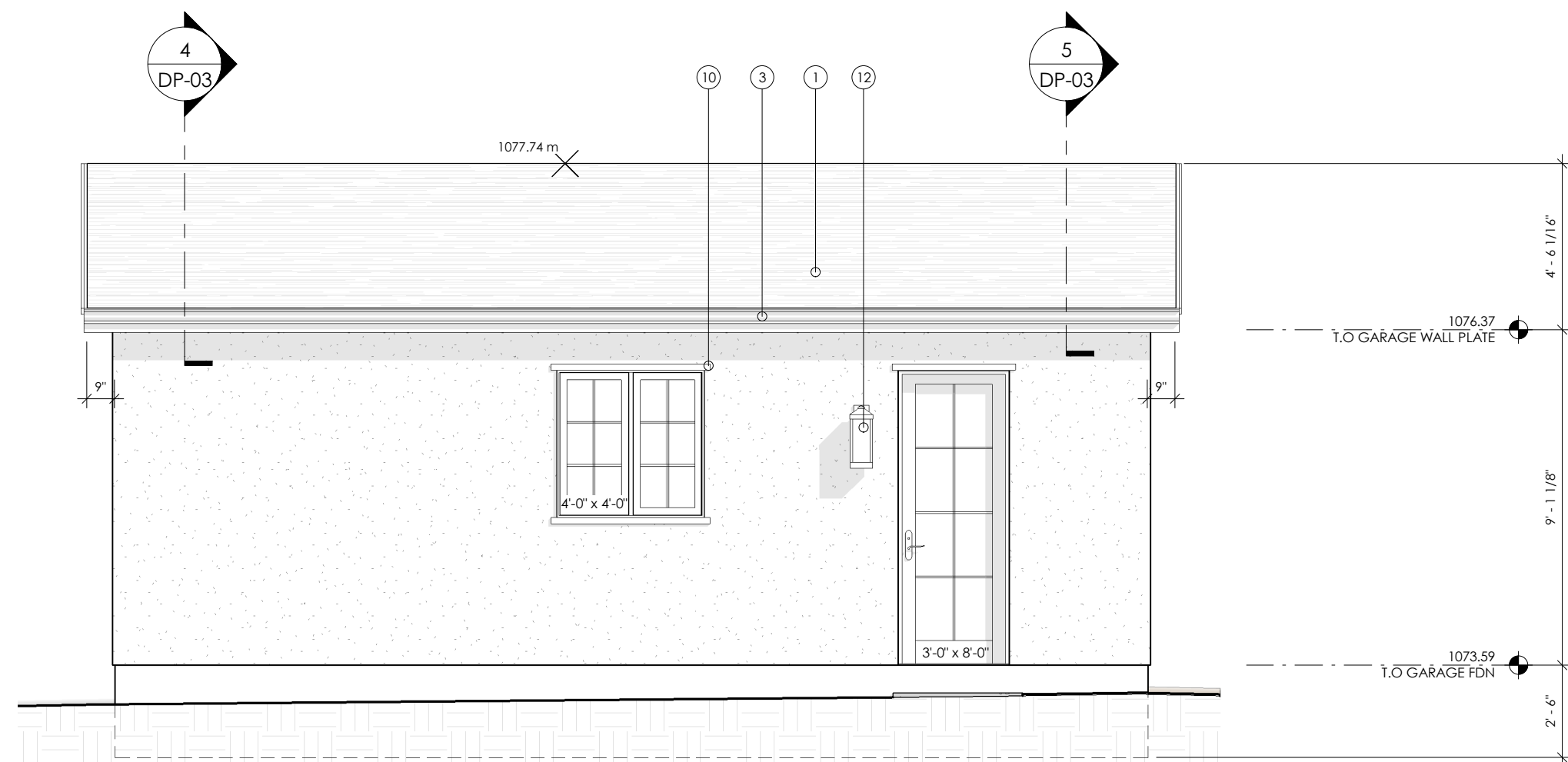
NOT FOR
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EAST & NORTH ELEVATION.

DP-02



4 STREETScape - EAST
1 : 200

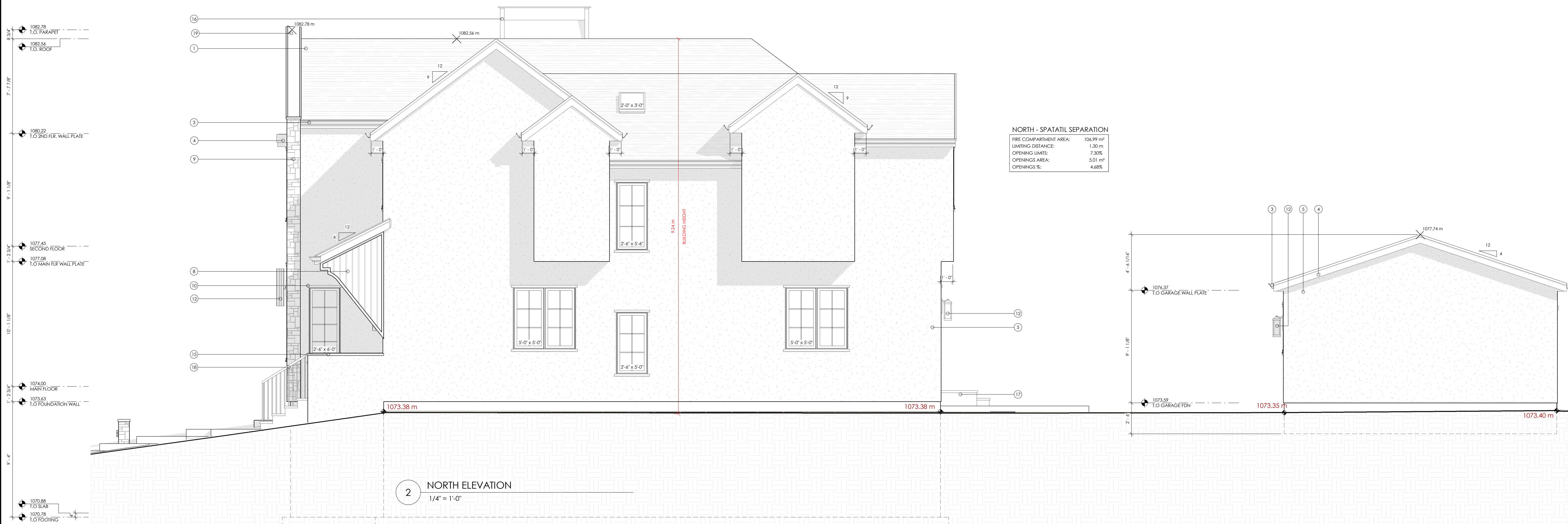


3 GARAGE EAST ELEVATION
1/4" = 1'-0"

MATERIAL LEGEND	
1	ASPHALT SHINGLES
2	METAL ROOF
3	ALUMINIUM GUTTER
4	8" FASCIA BOARD
5	FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE
7	SMOOTH PANEL
8	VERTICAL SIDING
9	FULL BED STONE - SELECTIONS T.B.D.
10	2" TRIM
11	4" TRIM
12	EXTERIOR LIGHTING
13	7"x8" TIMBER CORBEL
14	10" FASCIA BOARD
15	STONE CAP
16	CHIMNEY CAP
17	PRE-CAST STAIRS
18	36" ALUMINUM GUARDRAIL
19	STONE CAP



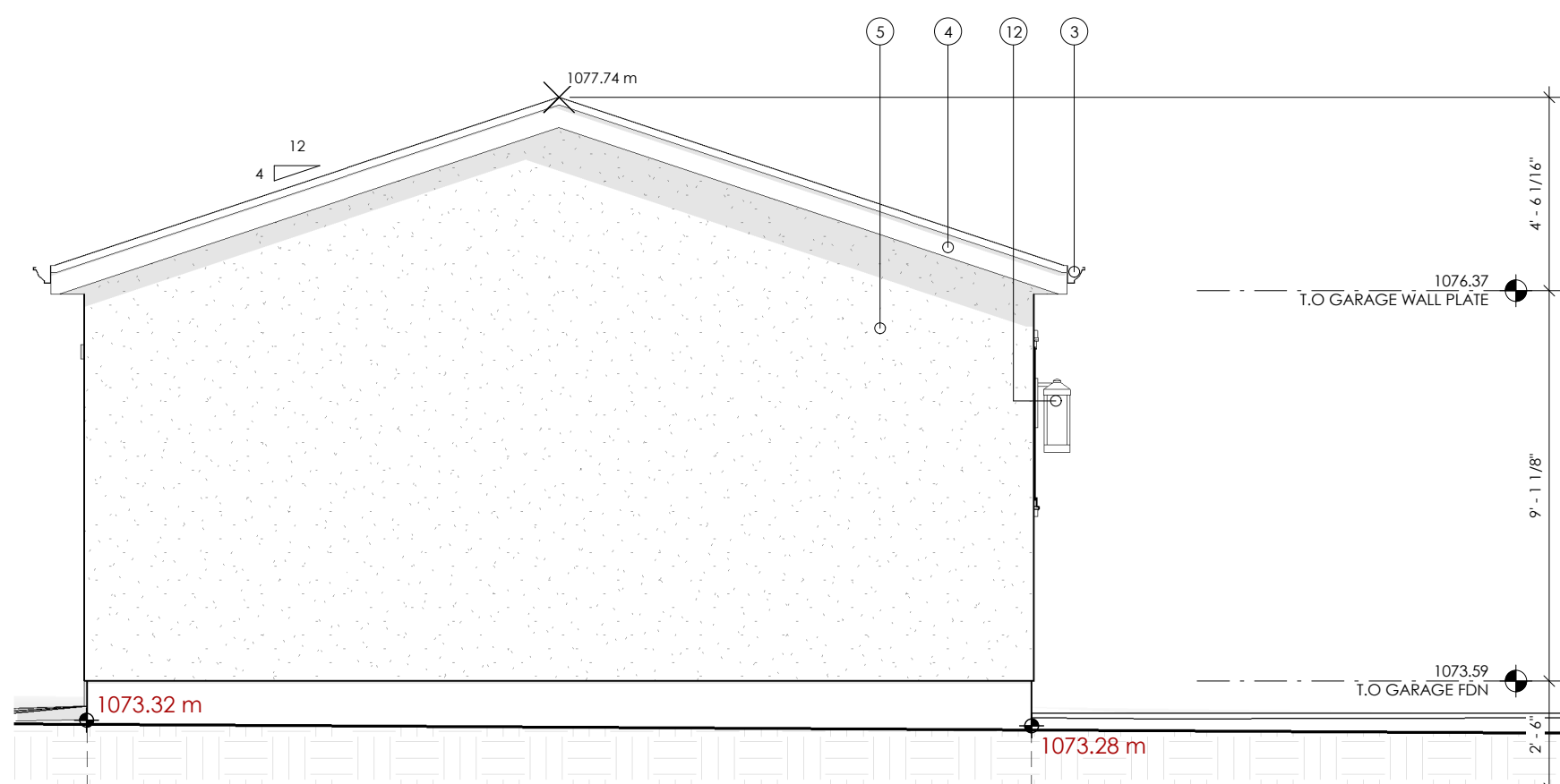
1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



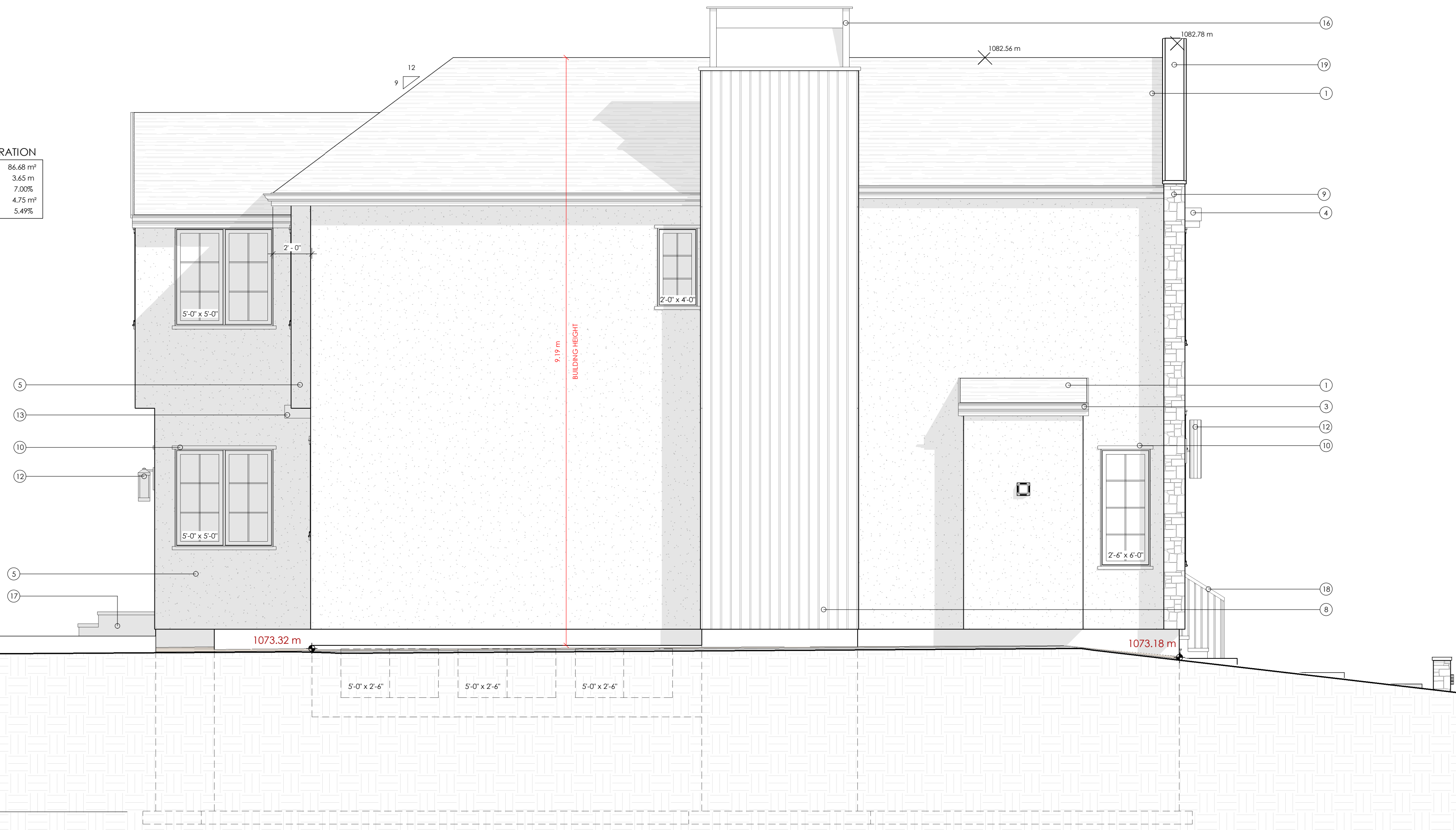
1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

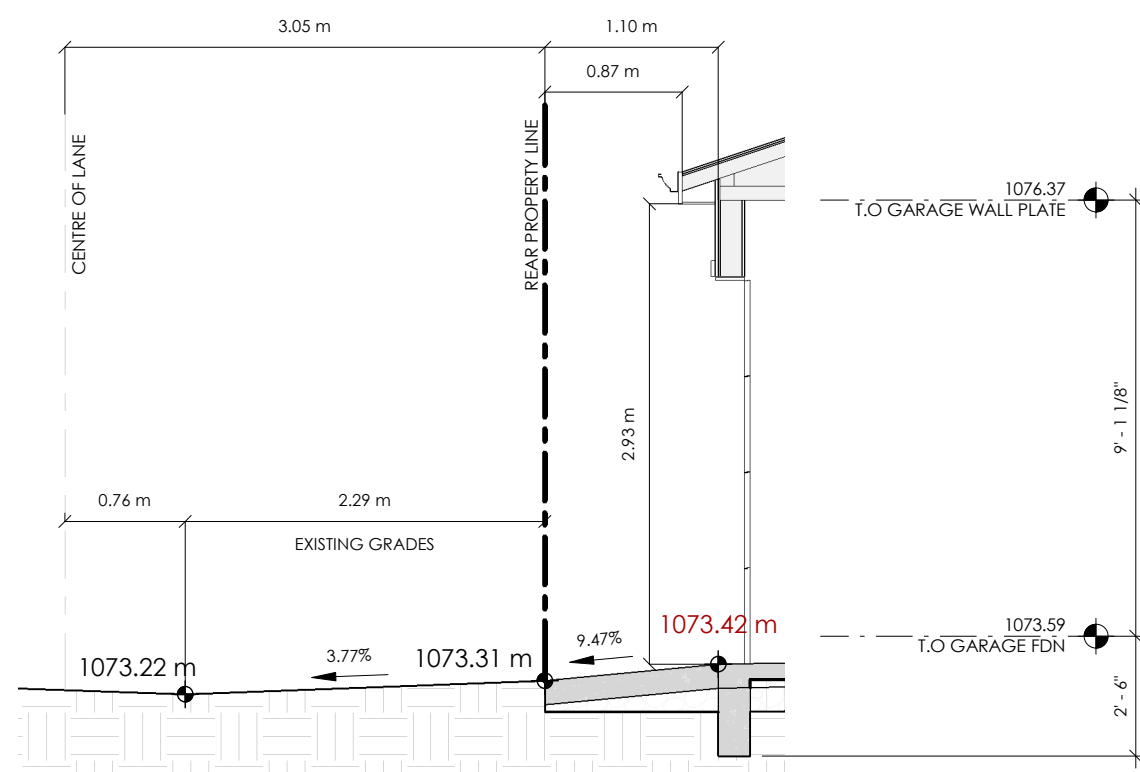
SOUTH - SPATIAL SEPARATION	
FIRE COMPARTMENT AREA:	86.68 m ²
LIMITING DISTANCE:	3.65 m
OPENINGS LIMITS:	7.00%
OPENINGS AREA:	4.75 m ²
OPENINGS %:	5.49%

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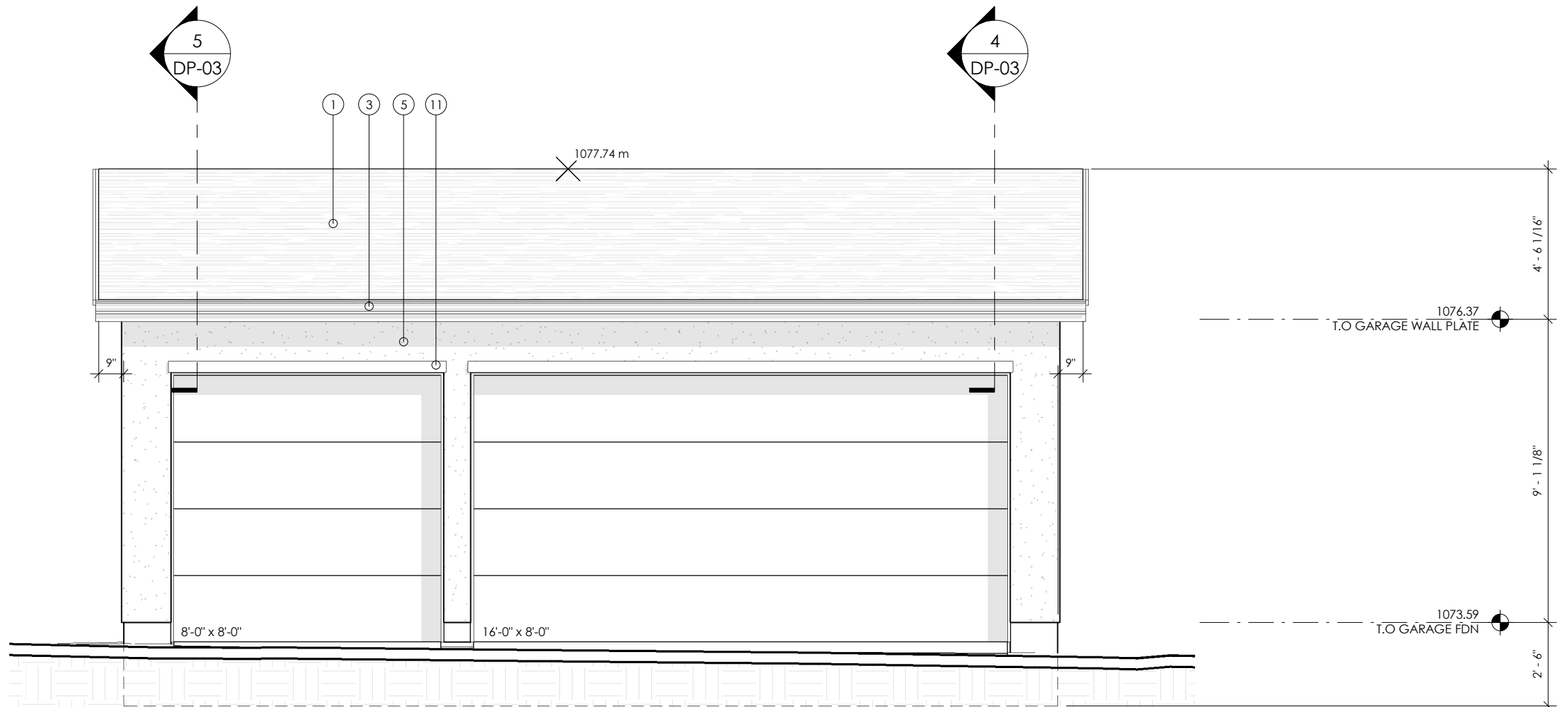
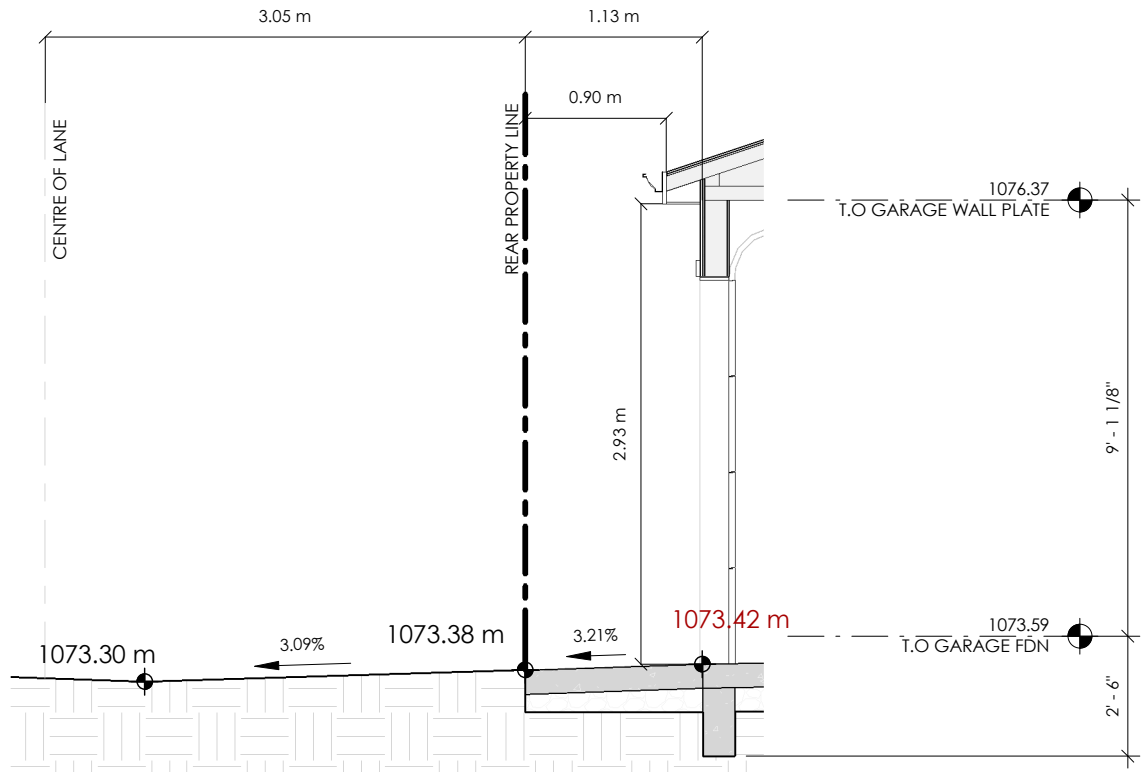


3 GARAGE WEST ELEVATION
1/4" = 1'-0"

4 GARAGE APRON - DOUBLE CAR DOOR
1/4" = 1'-0"



5 GARAGE APRON - SINGLE CAR DOOR
1/4" = 1'-0"



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WEST & SOUTH ELEVATION

DP-03