

PROPOSED 12- PLEX TOWNHOUSE DEVELOPMENT



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PERMIT NUMBERS:

DEVELOPMENT
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DECISION
RENDERED
ON THIS PLAN

PROJECT INFORMATION

MUNICIPAL ADDRESS :

2003 & 2007 2011 34St SW, Calgary, AB

LEGAL ADDRESS:

LOT 15-20
BLOCK 7F
PLAN 6000AG

LAND USE DESIGNATION :

R-CG,
RESIDENTIAL – GRADE-ORIENTED INFILL
DISTRICT

LOT CALCULATIONS:

SITE AREA = 17994.13 SQ.FT. (1671.68 SQ.M.)

BUILDING FOOTPRINT:

BUILDING= 7831.62 SQ.FT. (727.58 SQ.M.)
GARAGE : 828.5 SQ.FT.(77.0 SQ.M.)
CARPORT : 1356 SQ.FT.(126.0 SQ.M.)
BIKE STORAGE: 117.0 SQ.FT.(10.87 SQ.M.)
FOOTPRINT = 10133.12 SQ.FT. (941.40 SQ.M.)

SITE COVERAGE:

MAXIMUM ALLOWED **60%** =10796.49 SQ.FT.
(1003.03 SQ.M.)

PROPOSED **56.3%** =10133.12 SQ.FT. (941.40 SQ.M.)

DENSITY: 12/0.167=71.86 UNIT/1HA (MAXIMUM
ALLOWED 75 UNIT/1HA)

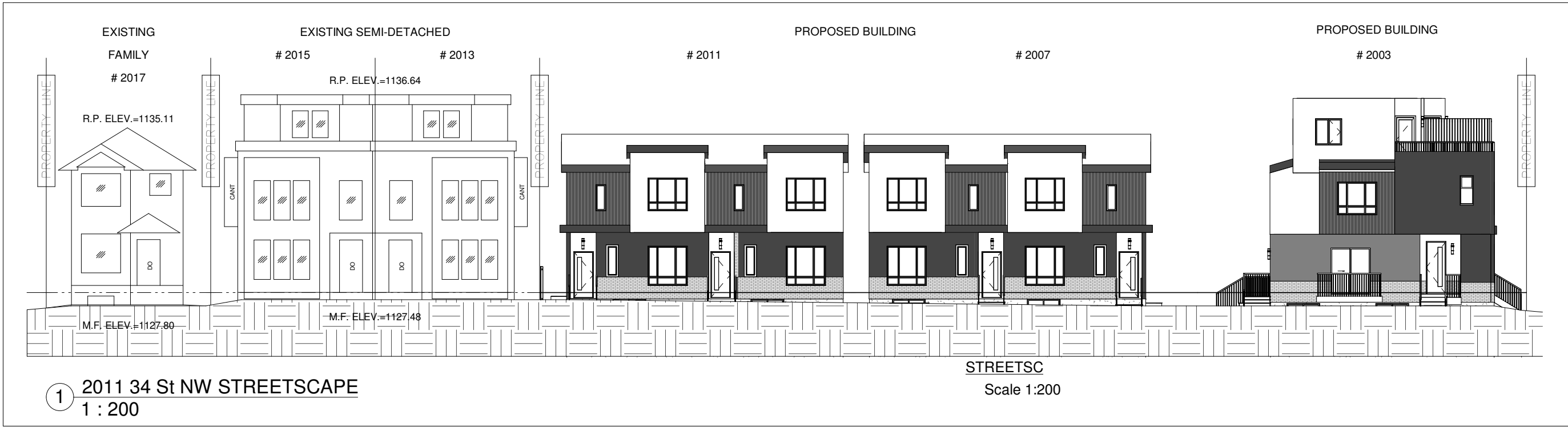
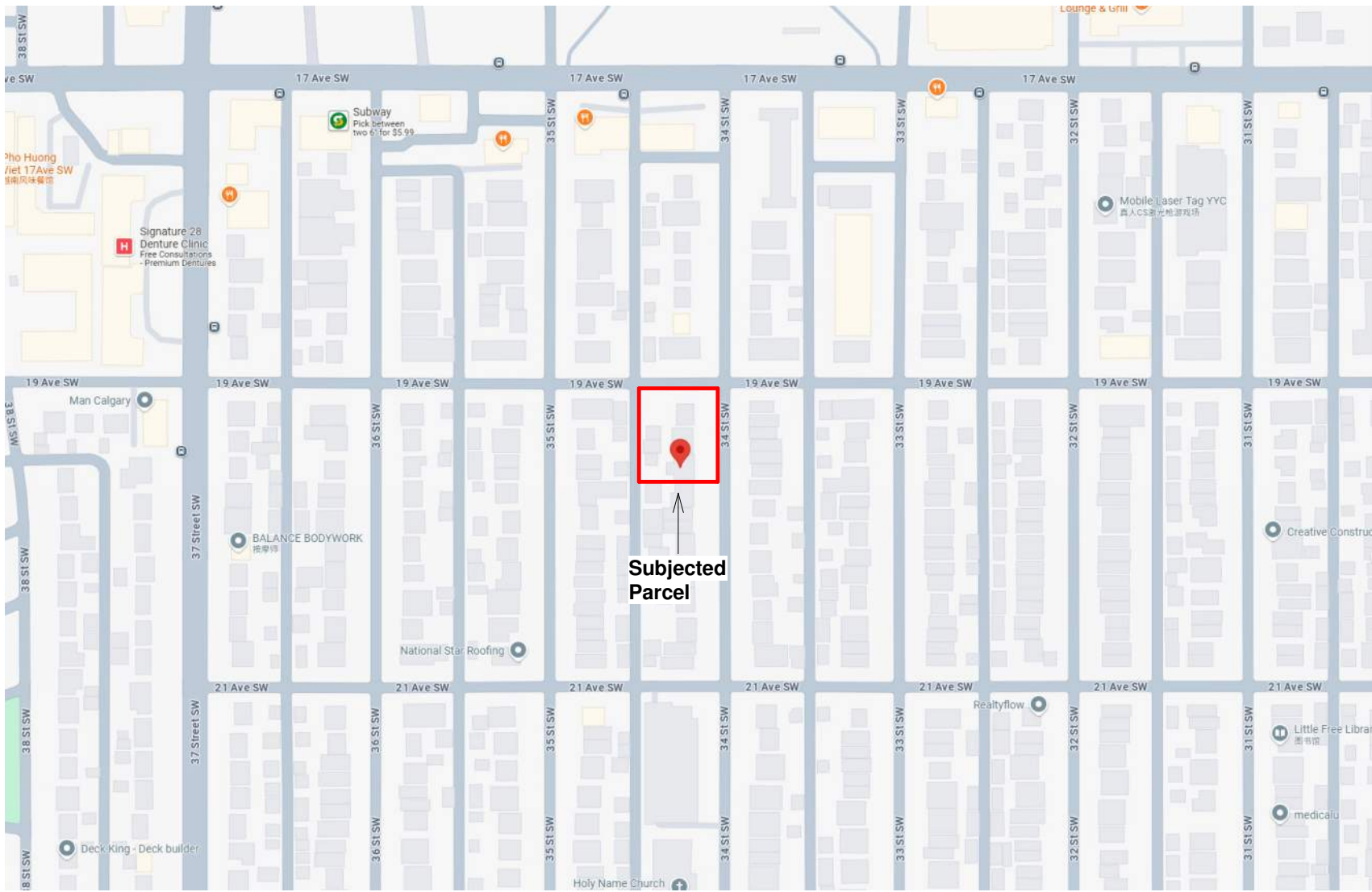
GARBAGE AREA : 186.87 SQ.FT.(17.36 SQ.M.)

MAXIMUM BUILDING HEIGHT (A to H): 11.0M,
MAXIMUM BUILDING HEIGHT (I to L): 8.5M,

ARCHITECTURAL DRAWING LIST

A01	Title Sheet
A02	Site Plan
A03	Landscape Plan
A04	Tree Protection Plan
A05	Basement Plan (Building A)
A06	First Floor Plan (Building A)
A07	Second Floor Plan (Building A)
A08	Third Floor Plan (Building A)
A09	Basement Plan (Building B&C)
A10	First Floor Plan (Building B&C)
A11	Second Floor Plan (Building B&C)
A12	Roof Plan (Building B&C)
A13	Basement Plan (Building D&E)
A14	First Floor Plan (Building D&E)
A15	Second Floor Plan (Building D&E)
A16	Roof Plan (Building D&E)
A17	North Elevation (Building A)
A18	South Elevation (Building A)
A19	East and West Elevation (Building A)
A20	East Elevation (Building B&C)
A21	West Elevation (Building B&C)
A22	North and South Elevation (Building B)
A23	North and South Elevation (Building C)
A24	East Elevation (Building D&E)
A25	West Elevation (Building D&E)
A26	North & South Elevation (Building D)
A27	North & South Elevation (Building E)
A28	Building A Section
A29	Building B Section
A30	Building C&D Section
A31	Garage Plan & Bike Storage & Grading Plan
A32	Garage Elevation
A33	Carport Plan & Section
A34	Survey Record

FIRE HYDRANT DISTANCE



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SEALS

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING	DWG No.
Title Sheet	A01

Calgreen
Living
Design & Build Consulting
Tel: 587-578-1425

LOT CALCULATIONS:

SITE AREA = 17994.13 SQ.FT. (1671.68 SQ.M.)

BUILDING FOOTPRINT:

BUILDING= 7711.62 SQ.FT. (716.43 SQ.M.)
GARAGE : 828.5 SQ.FT.(77.0 SQ.M.)
CARPORT : 1356 SQ.FT.(126.0 SQ.M.)
BIKE STORAGE: 117.0 SQ.FT. (10.87 SQ.M.)
FOOTPRINT = 10013.12 SQ.FT. (930.23 SQ.M.)

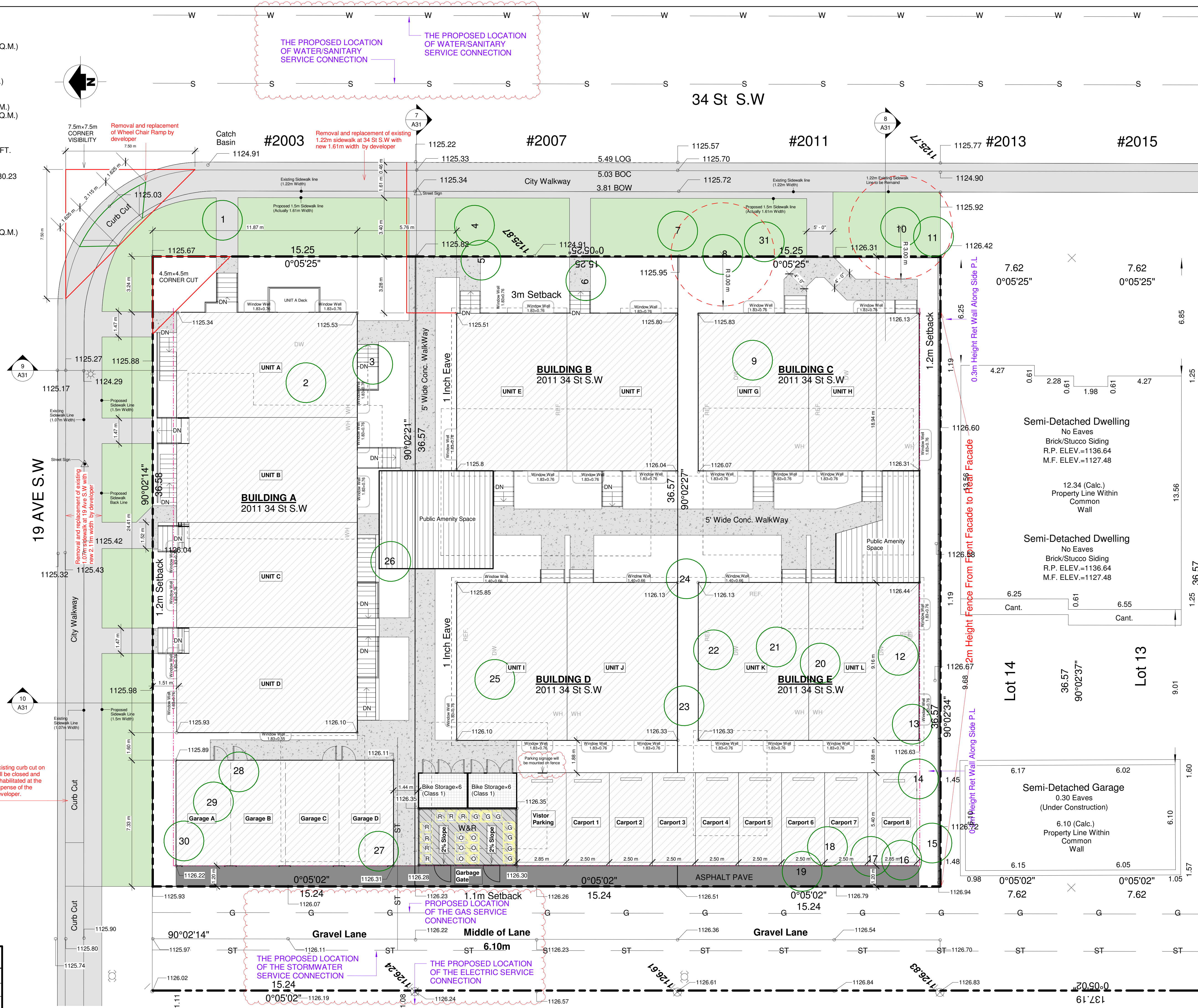
SITE COVERAGE:

MAXIMUM ALLOWED 60% =10796.49 SQ.FT.
(1003.03 SQ.M.)

PROPOSED 55.65% =10013.12 SQ.FT. (930.23 SQ.M.)

DENSITY: 12/0.167=71.86 UNIT/1HA
(MAXIMUM ALLOWED 75 UNIT/1HA)

GARBAGE AREA : 186.87 SQ.FT.(17.36 SQ.M.)



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DATE	2026-04-01 5:01:19 PM		
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PROJECT
12-plex Townhouse
Development
2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING
Site Plan
DWG No
A02

Calgreen
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Design & Build Consulting
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LEGEND	
G	GARBAGE CONTAINER
R	RECYCLABLE MATERIAL CONTAINER
O	YARD WASTE MATERIAL CONTAINER

LANDSCAPE AREA CALCULATION:

SITE AREA = 17994.13 SQ.FT. (1671.68 SQ.M.)
BUILDING COVERAGE = 10013.12 SQ.FT. (930.23 SQ.M.)
ASPHALT PAVE= 557 SQ.FT. (51.75 SQ.M.)
GARBAGE AREA =186.87 SQ.FT.(17.36 SQ.M.)

LANDSCAPING AREA = 7297.14 SQ.FT.

SOFT LANDSCAPING AREA :

REQUIRED MINIMUM =2153.34 SQ.FT (30%)
PROVIDED= 4237 SQ.FT (58.06%)

HARD LANDSCAPING AREA = 3060.14 SQ.FT. (42.64%)

PLANTING:

64 Trees (8 Coniferous Trees "TA", 8 Deciduous Trees "TB")
48 Shurbs "S" Provided.

TREE SCHEDULE

Proposed Tree

Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)	Location	Qty
TA	Deciduous Tree	0.85	3.00	3.50	in Subject Property	10
TB	Coniferous Tree	0.38	3.00	8.00	in Subject Property	6
S	Shrub	0.15	1.00	2.00	in Subject Property	48

Removed

Tree Sheet					
Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)	Location
1	Cotoneaster Shrub	---	4.00	2.00	in City Property
2	Bush	---	3.00	1.60	in Subject Property
3	Bush	---	4.00	2.60	in Subject Property
4	Cotoneaster Shrub	---	2.00	1.00	in City Property
5	Deciduous	0.15	2.50	5.00	in Subject Property
6	Bush	---	4.00	3.00	in Subject Property
7	Cotoneaster Shrub	---	2.00	1.50	in City Property
9	Bush	---	2.00	1.80	in Subject Property
11	Cotoneaster Shrub	---	2.00	1.40	in City Property
12	Bush	---	4.00	2.50	in Subject Property
13	Coniferous	0.20	4.00	8.50	in Subject Property
14	Bush	---	4.00	2.00	in Subject Property
15	Bush	---	4.00	3.00	in Subject Property
16	Deciduous	0.20	2.00	15.00	in Subject Property
17	Deciduous	0.20	2.00	15.00	in Subject Property
18	Bush	---	4.00	2.30	in Subject Property
19	Deciduous	0.25	3.00	15.00	in Subject Property
20	Bush	---	2.00	1.70	in Subject Property
21	Bush	---	2.00	2.50	in Subject Property
22	Bush	---	3.00	1.70	in Subject Property
23	Coniferous	0.15	2.50	6.00	in Subject Property
24	Deciduous	0.25	3.00	13.00	in Subject Property
25	Deciduous	0.05	3.00	2.80	in Subject Property
26	Coniferous	0.65	10.00	19.00	in Subject Property
27	Coniferous	0.55	8.00	19.00	in Subject Property
28	Deciduous	0.45	12.00	16.00	in Subject Property
29	Deciduous	0.45	12.00	16.00	in Subject Property
30	Deciduous	0.60	16.00	18.00	in Subject Property
31	Cotoneaster Shrub	---	3.00	1.00	in City Property

Retained

8	Bur Oak	0.30	6.00	11.00	in City Property
10	Bur Oak	0.10	1.50	2.50	in City Property

Notes

1. ALL SOFT SURFACED LANDSCAPED AREA WILL BE IRRIGATED BY AN UNDERGROUD IRRIGATION SYSTEM;

2. PRIOR TO ANY EXCAVATION ADJACENT TO PUBLIC TREE T8, CONTACT UFT TO CONFIRM REQUIRED ONSITE MEETING.

LANDSCAPING LEGEND

Ground Solar Energy Light Wall Light

FILL	LANDSCAPE MATERIAL	AREA (APPR.)
MULCH	MULCH	269.5 SQ.M (2901 SQ.FT)
SOD DROUGHT-RESILIENT	SOD DROUGHT-RESILIENT	113 SQ.M (1216.24 SQ.FT)
CONCRETE	CONCRETE	145.7 SQ.M (1568.2 SQ.FT)
WOOD DECK	WOOD DECK	65.95 SQ.M (709.9 SQ.FT)
ASPHALT PAVE	ASPHALT PAVE	51.75 SQ.M (557.0 SQ.FT)



1 Landscape Plan-1
1 : 100

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Date 1	1	DR2	
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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING

Landscape Plan

DWG No.

A03

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Living
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Tel: 587-578-1425

Proposed Tree

Removed

Tree Sheet

Retained					
8	Deciduous	0.30	6.00	11.00	in City Property
10	Deciduous	0.10	1.50	2.50	in City Property



- Tree to be Protected
- Limit of Land Disturbance
- Construction Material Storage Area
- Tree Protection Barrier
- Site Access Route



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12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
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DRAWING	DWG No
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Tree Protection Plan

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
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DRAWING
North Elevation
(Building A)

DWG No.

A17

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1 Elevation Building A North
1/4" = 1'-0"

MATERIAL LEGEND	
M1	BLACK STUCCO
M2	LIGHT GREY HARDIE BOARD
M3	GREY STUCCO
M4	WHITE STUCCO
M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PAVING
M9	ASPHALT SHINGLE

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② Elevation Building A South
1/4" = 1'-0"

MATERIAL LEGEND	
M1	BLACK STUCCO
M2	LIGHT GREY HARDIE BOARD
M3	GREY STUCCO
M4	WHITE STUCCO
M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PARGING
M9	ASPHALT SHINGLE

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
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DRAWING South Elevation
(Building A)

DWG No.

A18

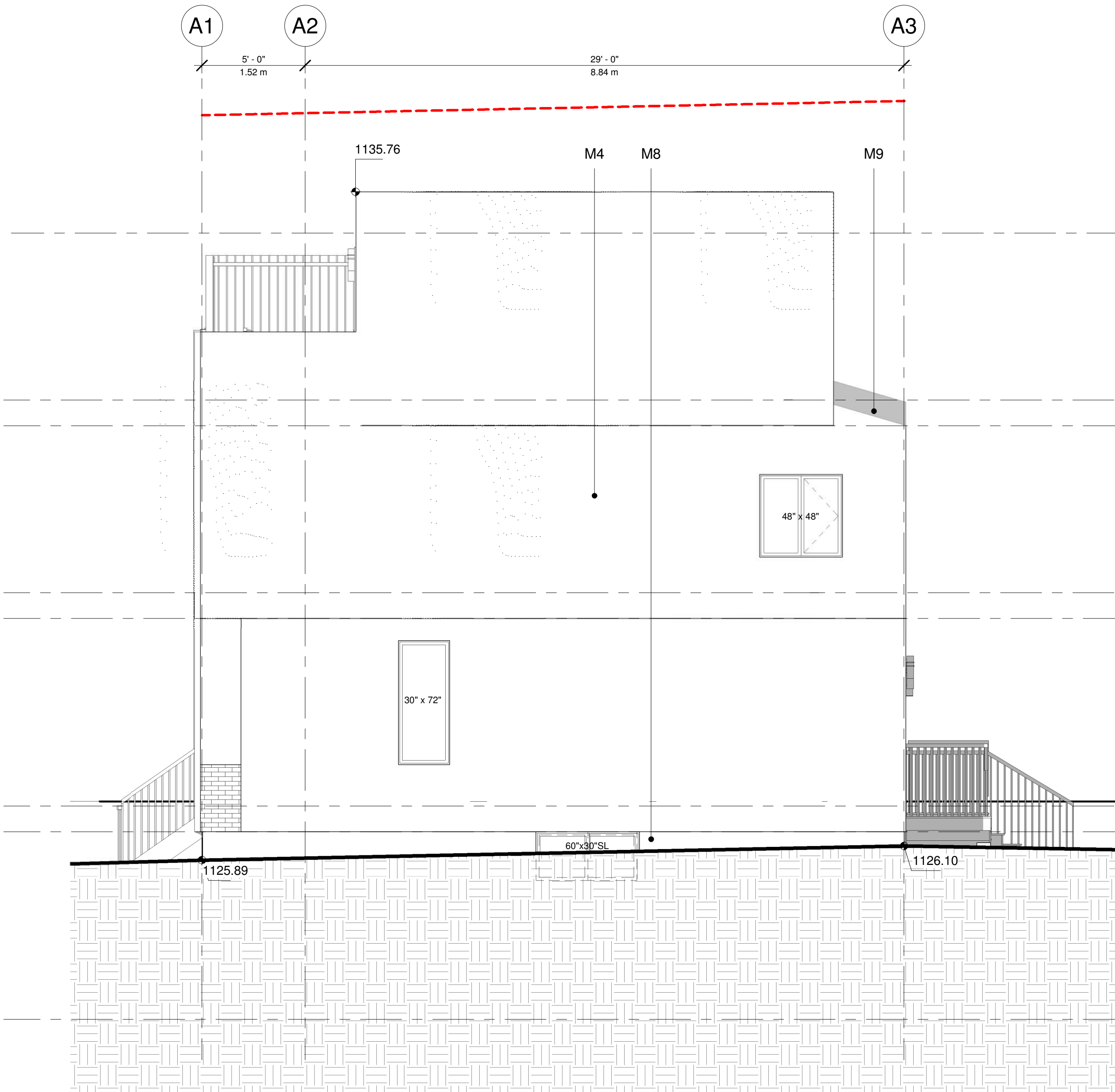
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② Elevation Building A. West
1/4" = 1'-0"



① Elevation Building A. East
1/4" = 1'-0"

MATERIAL LEGEND	
M1	BLACK STUCCO
M2	LIGHT GREY HARDIE BOARD
M3	GREY STUCCO
M4	WHITE STUCCO
M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PARGING
M9	ASPHALT SHINGLE

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12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING	DWG No.
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East and West
Elevation (Building A)

A19

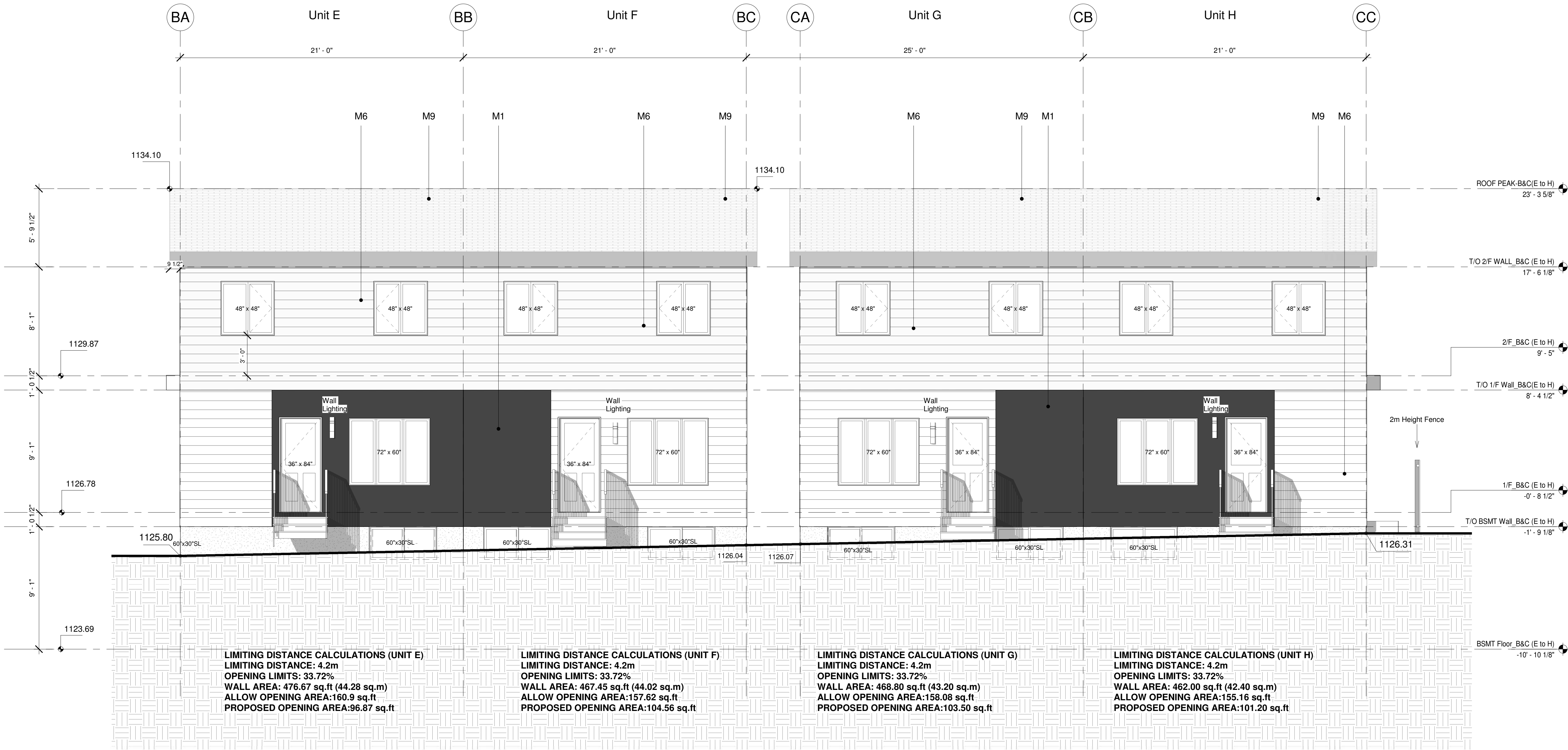
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① Elevation Building B West
1/4" = 1'-0"

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
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DRAWING
West Elevation
(Building B&C)

DWG No.

A21

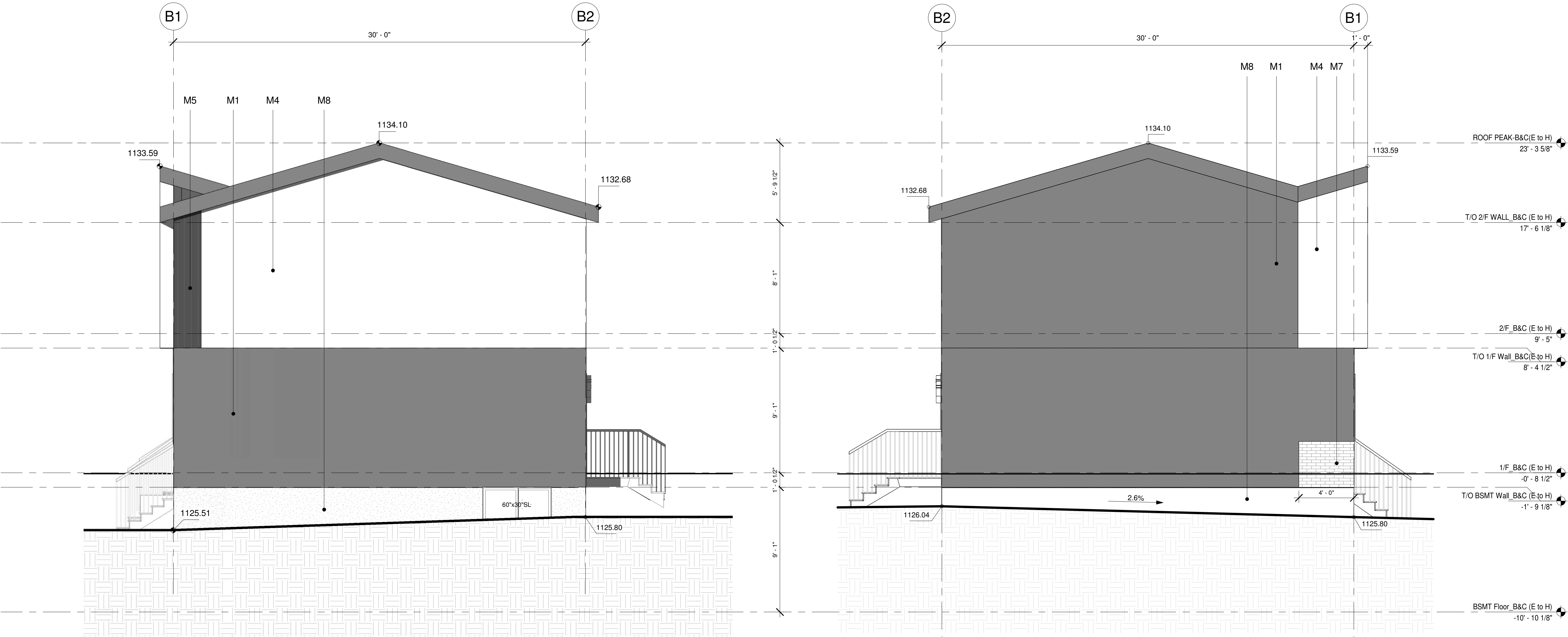
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① Elevation Building B_North
1/4" = 1'-0"

② Elevation Building B_South
1/4" = 1'-0"

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12-plex Townhouse
Development

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DRAWING	DWG No.
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North and South
Elevation (Building B) A22

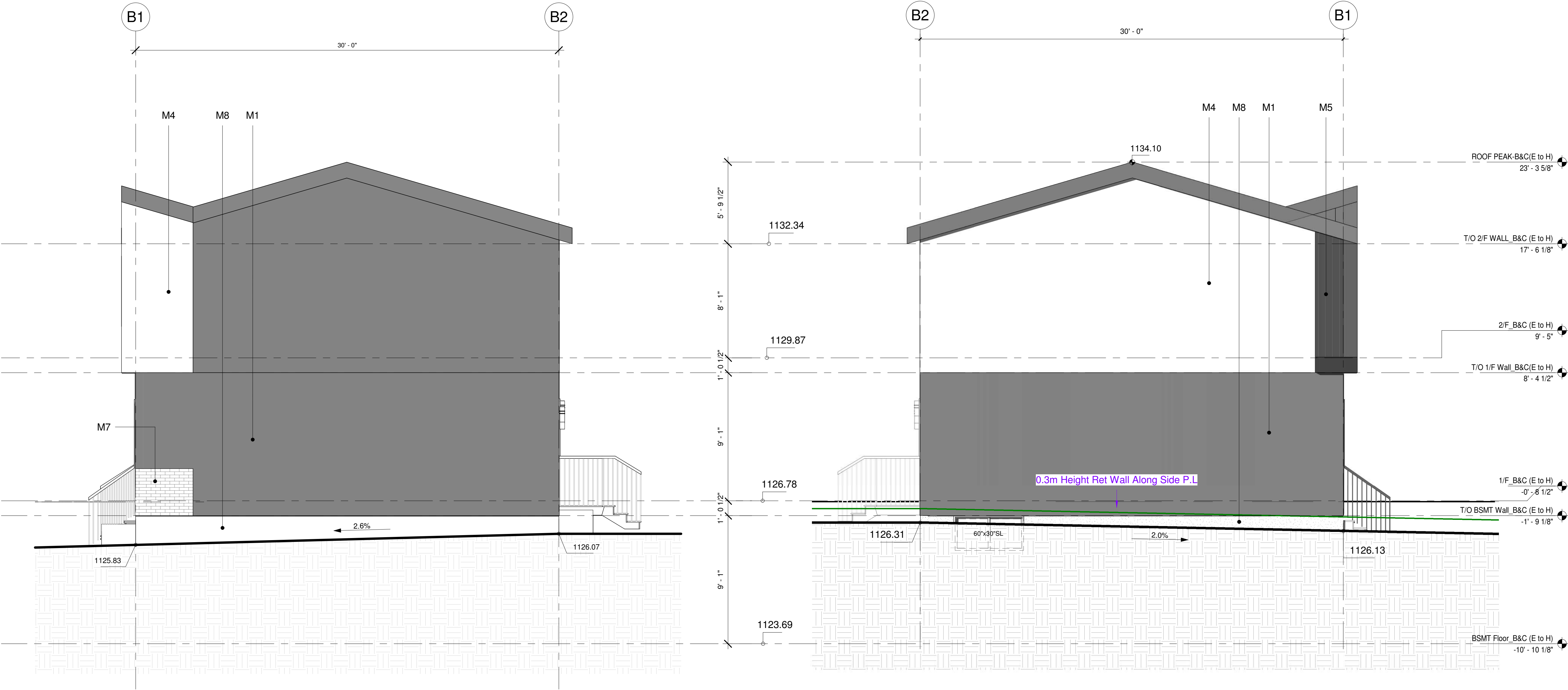
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② Elevation Building C_North
1/4" = 1'-0"

① Elevation Building C_South
1/4" = 1'-0"

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12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
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DRAWING	DWG No.
North and South Elevation (Building C)	A23

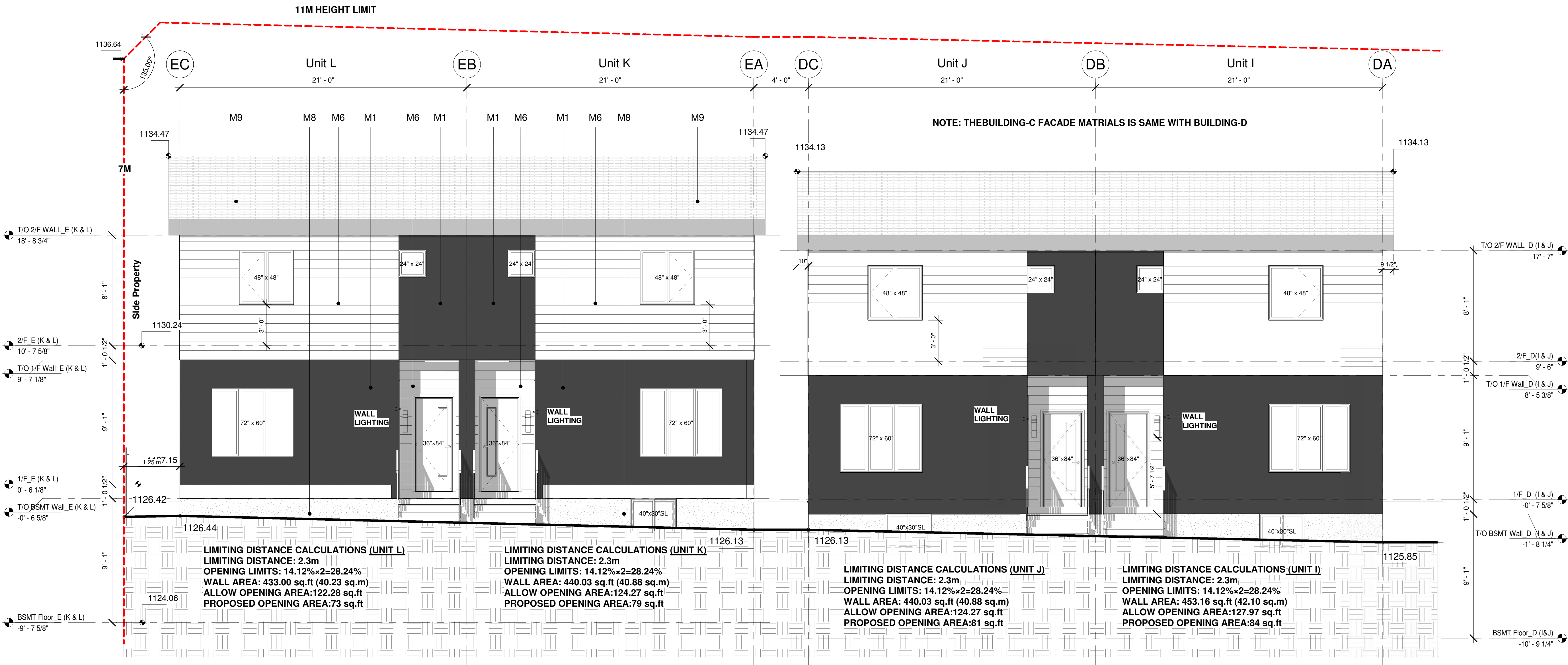
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① Elevation Building C&D_East
1/4" = 1'-0"

BUILDING-E

BUILDING-D

MATERIAL LEGEND	
M1	BLACK STUCCO
M2	LIGHT GREY HARDIE BOARD
M3	GREY STUCCO
M4	WHITE STUCCO
M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PARGING
M9	ASPHALT SHINGLE

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SEALS

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING
East Elevation
(Building D&E)

DWG No.

A24

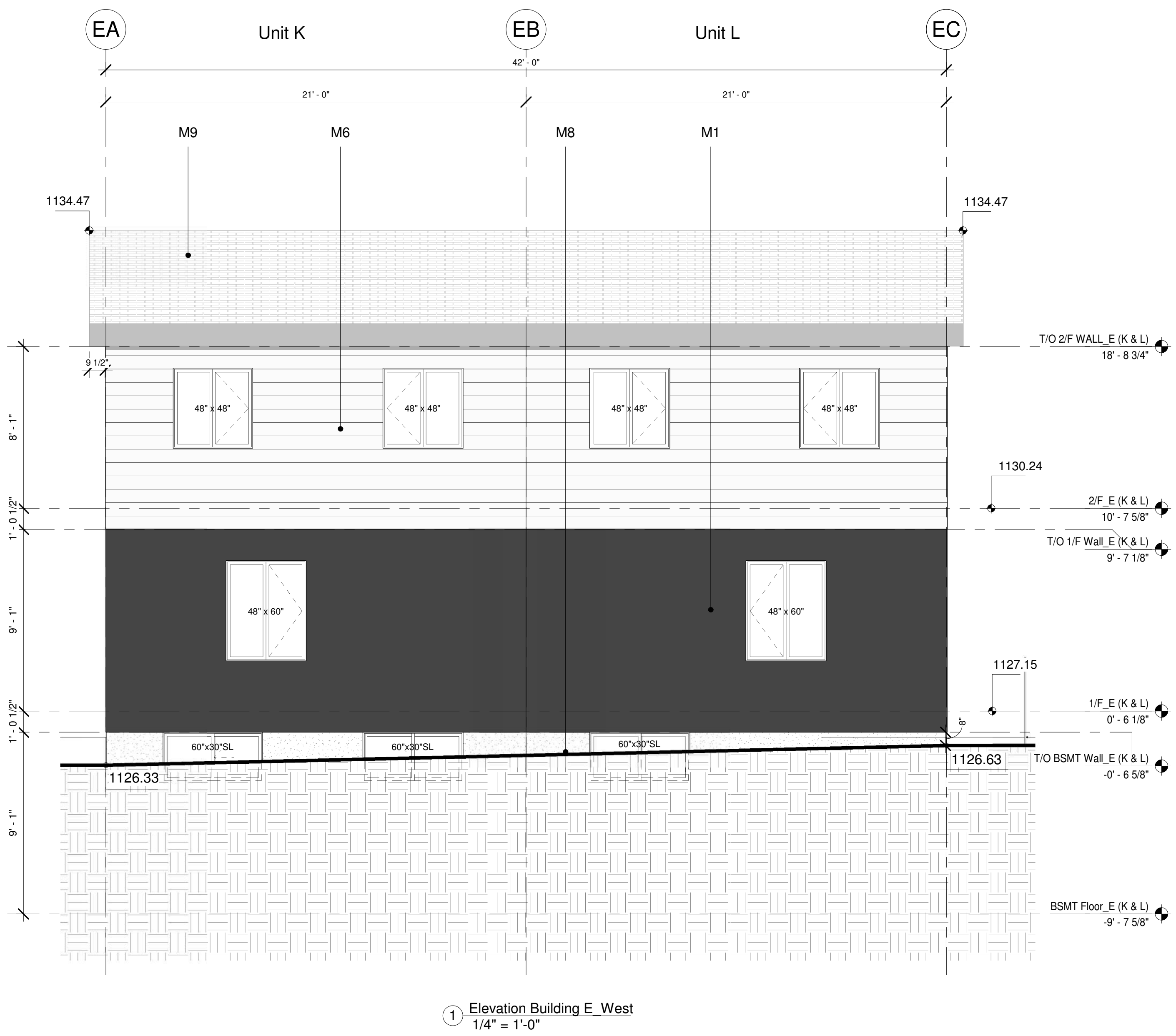
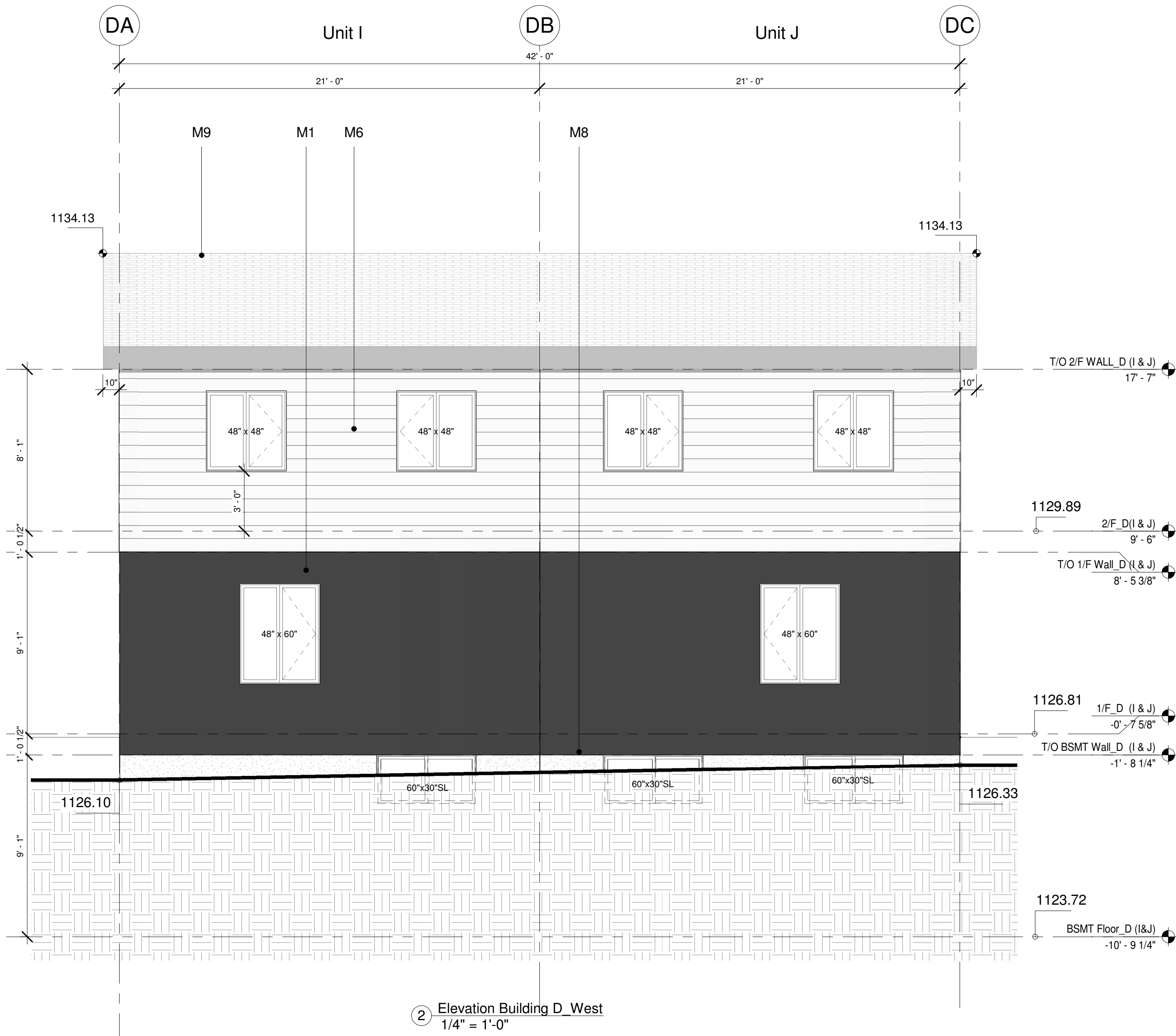
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MATERIAL LEGEND	
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M2	LIGHT GREY HARDIE BOARD
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M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PARGING
M9	ASPHALT SHINGLE

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING

West Elevation
(Building D&E)

DWG No.

A25

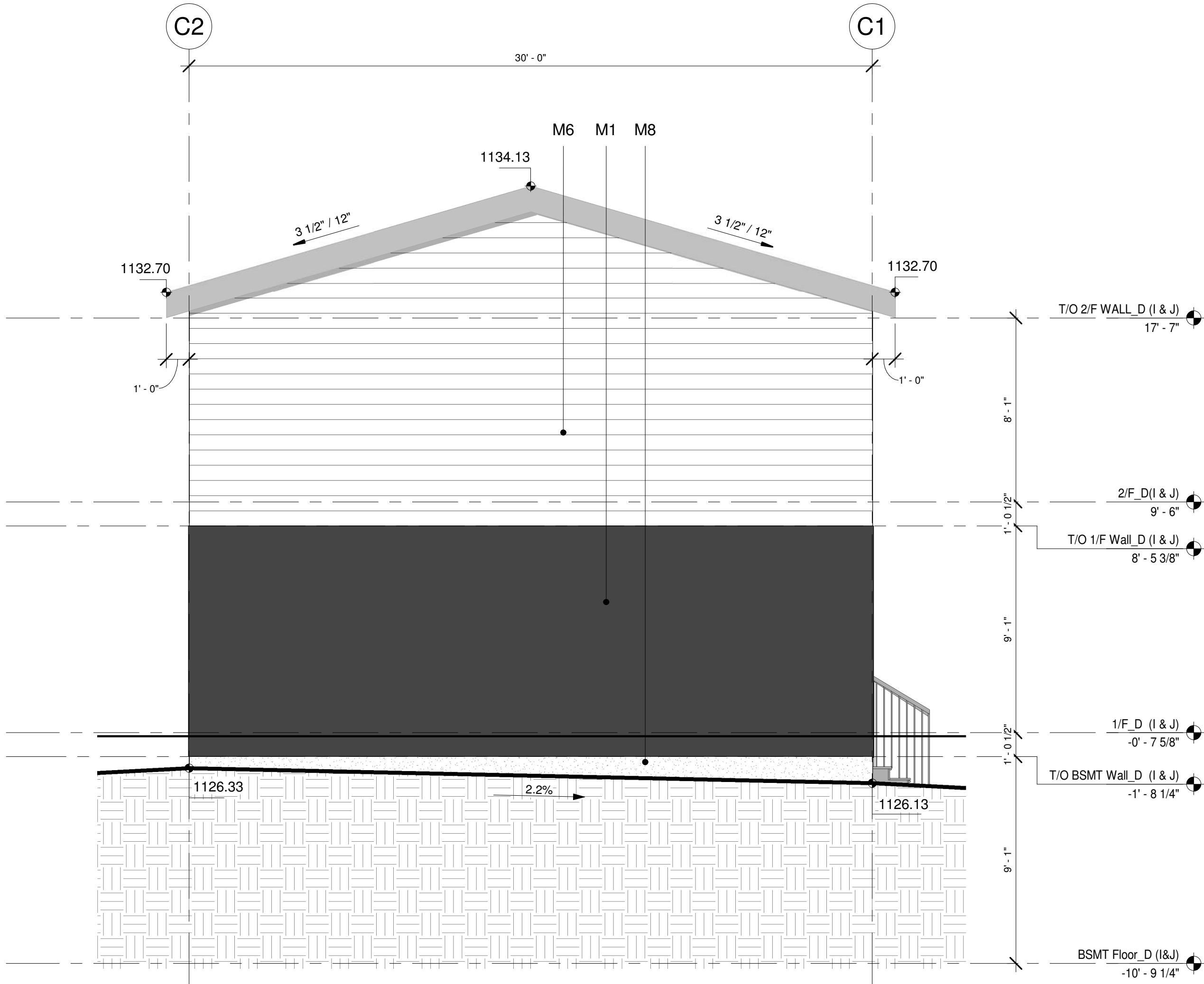
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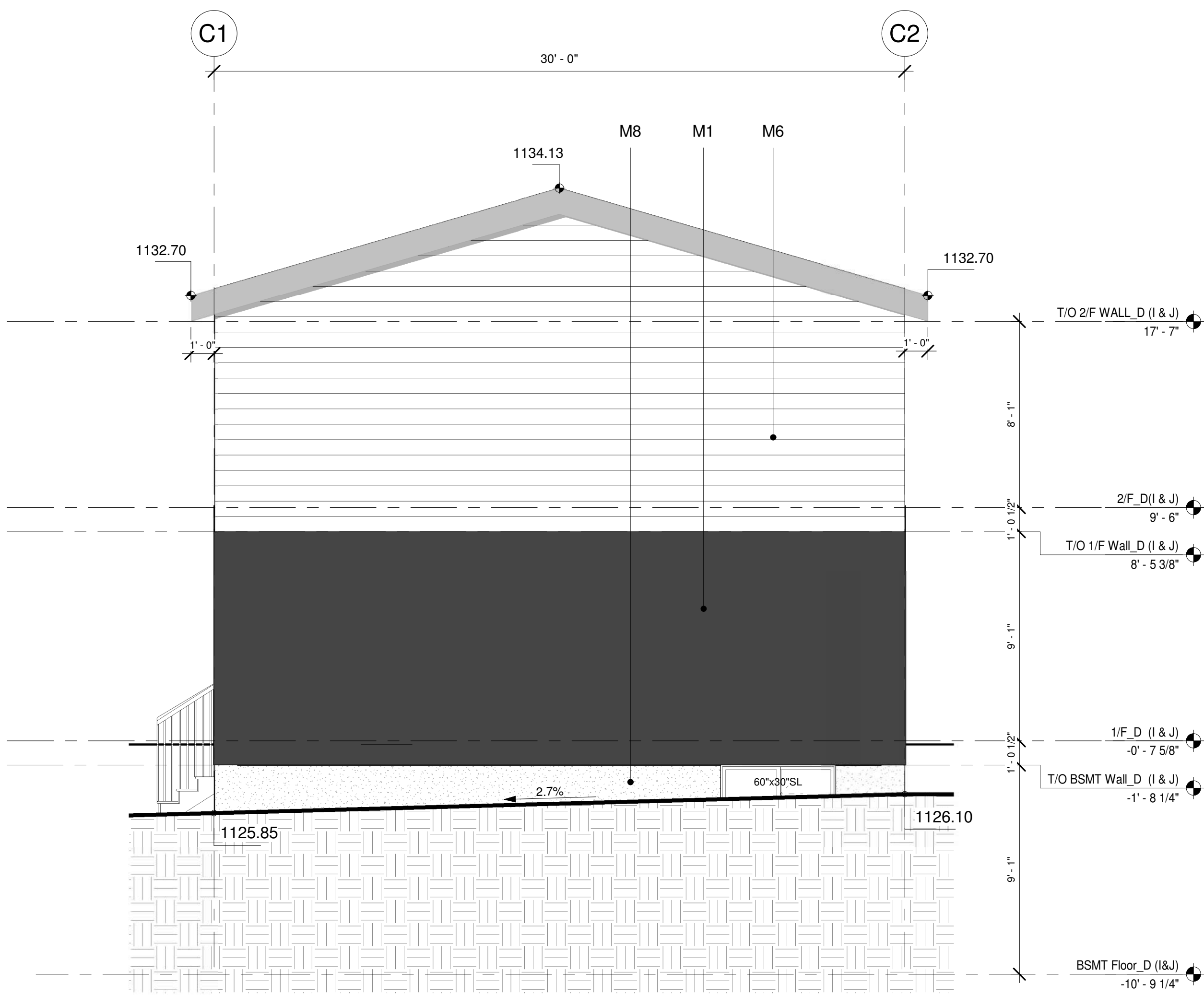
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PERMIT NUMBERS:

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RENDERED
ON THIS PLAN



② Elevation Building D South
1/4" = 1'-0"



① Elevation Building D North
1/4" = 1'-0"

MATERIAL LEGEND	
M1	BLACK STUCCO
M2	LIGHT GREY HARDIE BOARD
M3	GREY STUCCO
M4	WHITE STUCCO
M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PARGING
M9	ASPHALT SHINGLE

DATE	No.	REVISION	BY
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SEALS

SCALE	FILE
AS NOTED	Project Number

DATE 2026-04-01 5:02:15 PM

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HN	AC

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING DWG No.

North & South
Elevation (Building D) A26

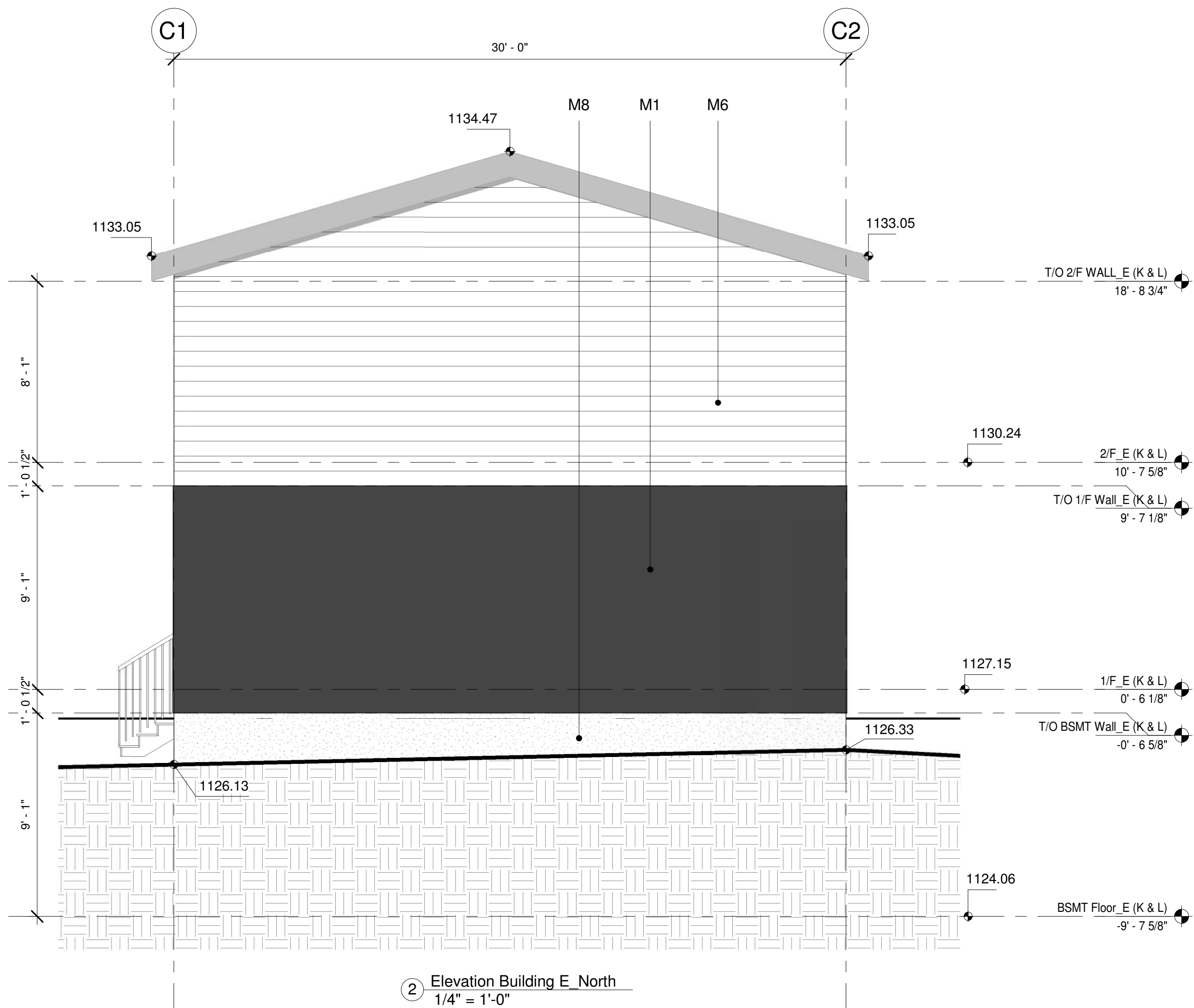
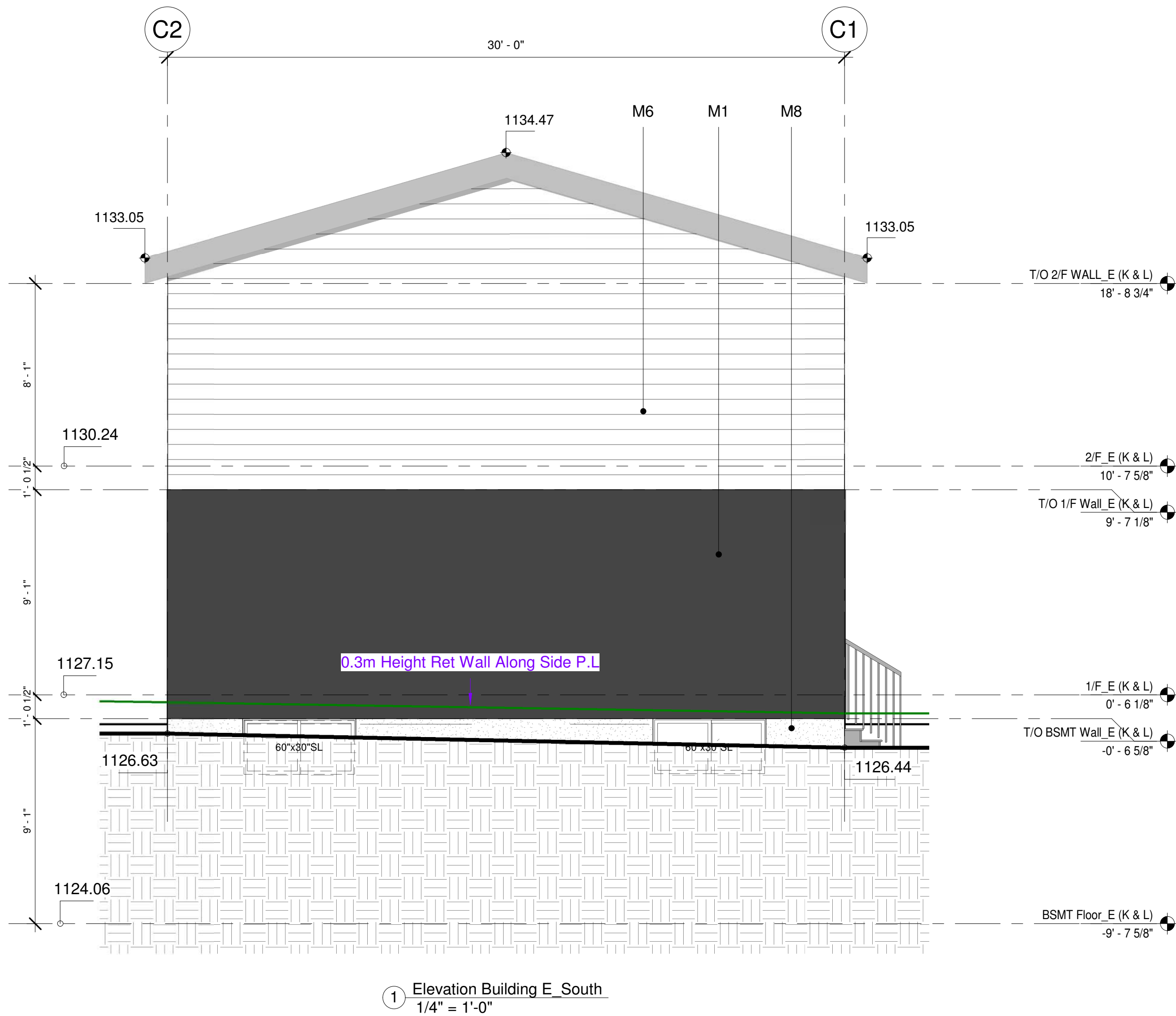
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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



MATERIAL LEGEND	
M1	BLACK STUCCO
M2	LIGHT GREY HARDIE BOARD
M3	GREY STUCCO
M4	WHITE STUCCO
M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PARGING
M9	ASPHALT SHINGLE

DATE	No.	REVISION	BY
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SEALS

SCALE	FILE
AS NOTED	Project Number

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PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING	DWG No.
North & South Elevation (Building E)	A27

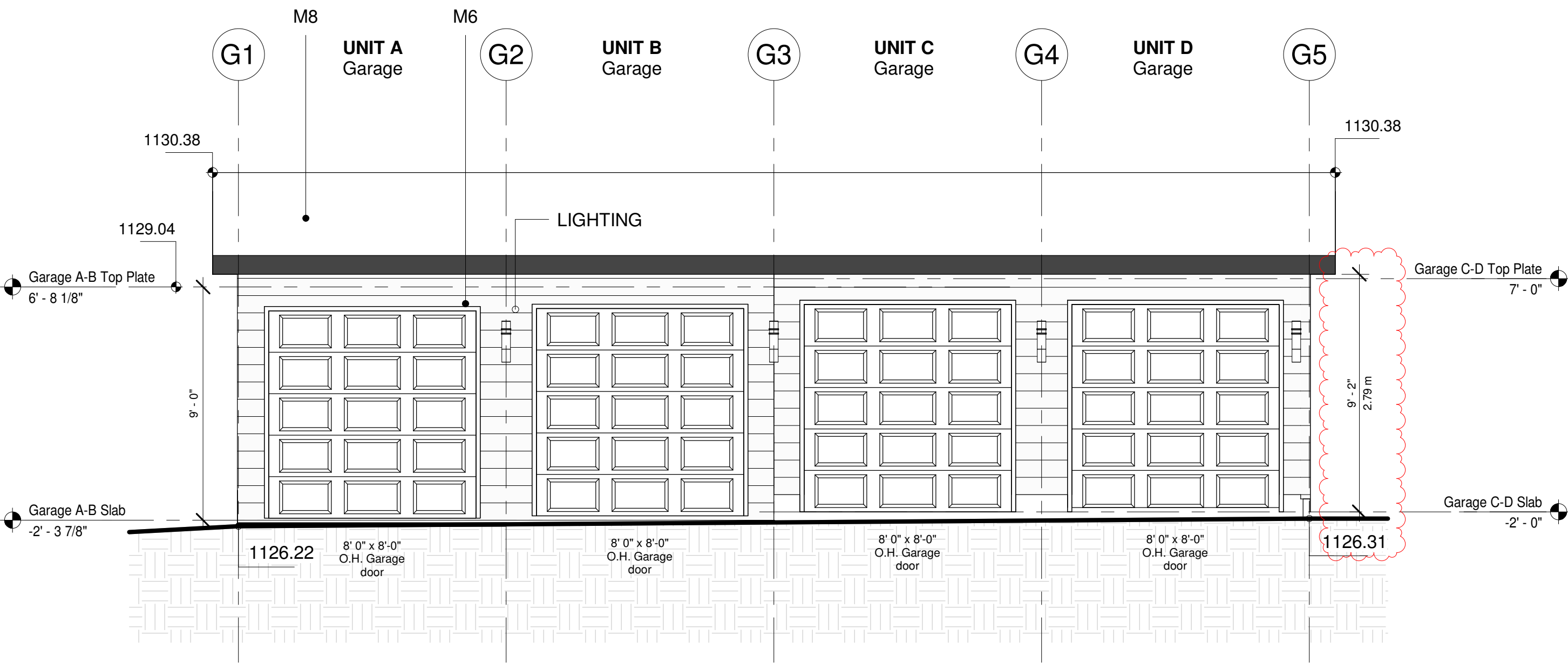
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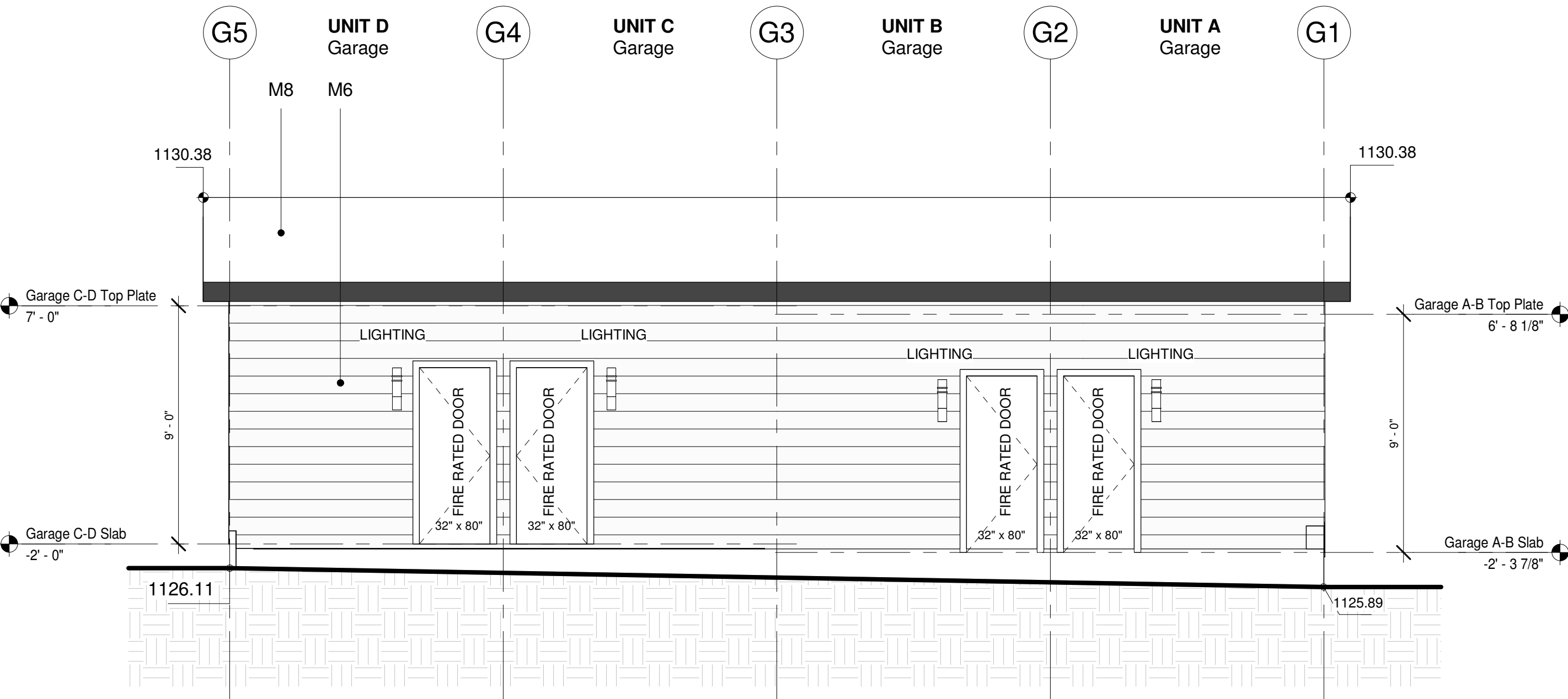
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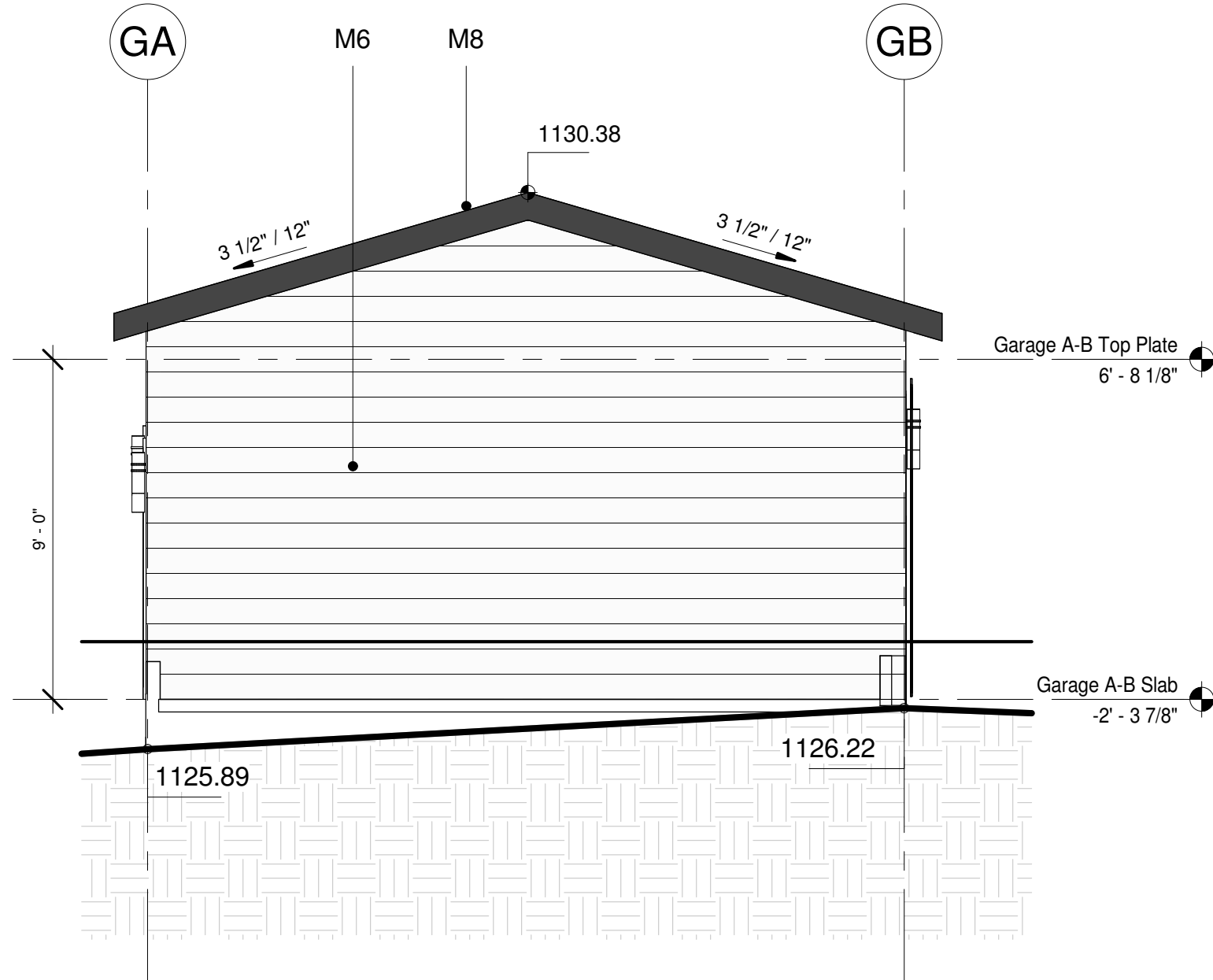
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DECISION
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ON THIS PLAN



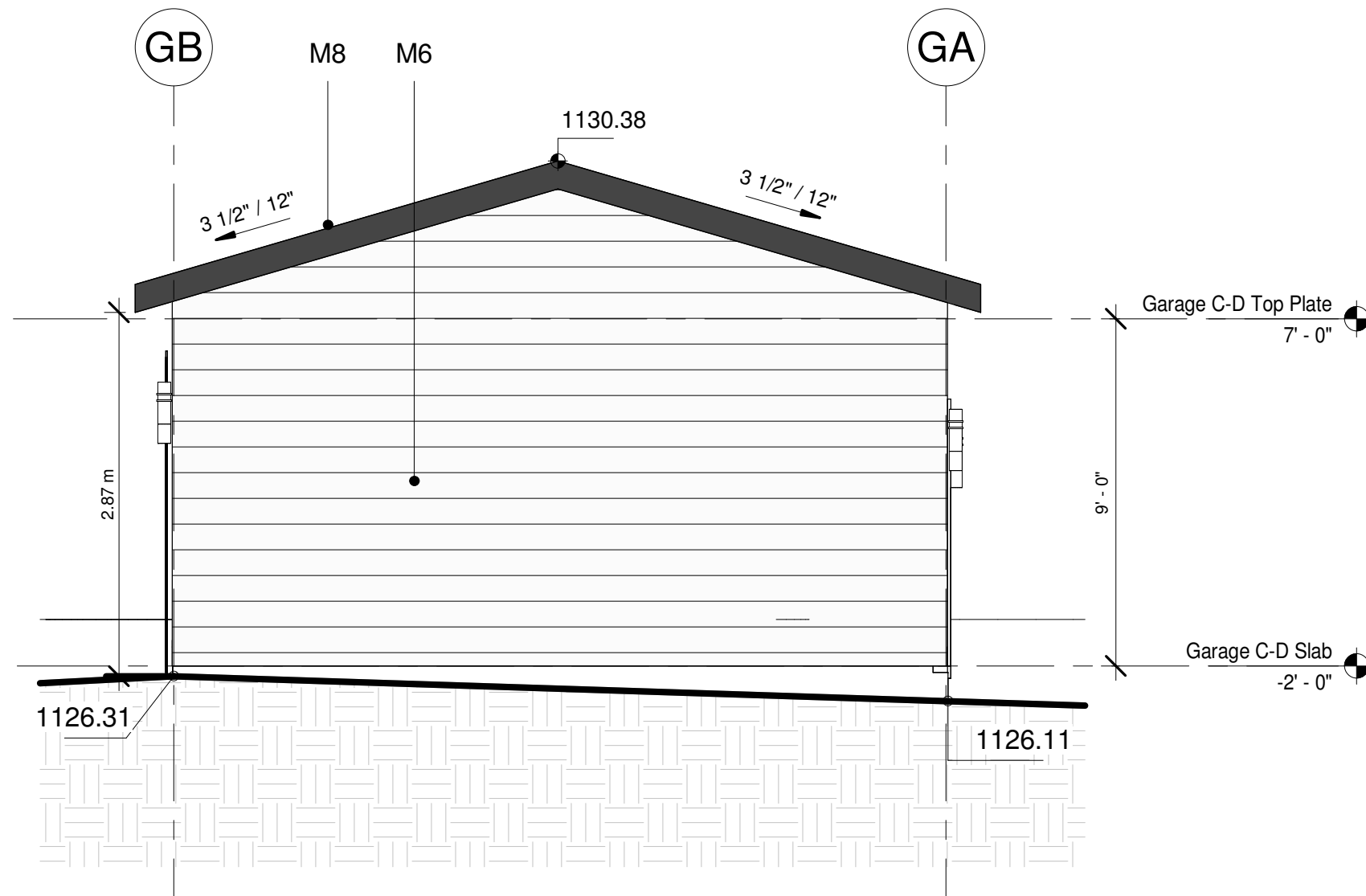
① Elevation Garage West
1/4" = 1'-0"



② Elevation Garage East
1/4" = 1'-0"



③ Elevation Garage North
1/4" = 1'-0"



④ Elevation Garage South
1/4" = 1'-0"

MATERIAL LEGEND	
M1	BLACK STUCCO
M2	LIGHT GREY HARDIE BOARD
M3	GREY STUCCO
M4	WHITE STUCCO
M5	CORRUGATED METAL SIDING (BLACK)
M6	HORIZONTAL WHITE SIDING
M7	BRICK VENEER
M8	PARGING
M9	ASPHALT SHINGLE

Date 2	2	RE-APPLY-DR1	
DATE	No.	REVISION	BY

SEALS

SCALE	AS NOTED	FILE	Project Number
DATE	2026-04-01 5:02:27 PM		
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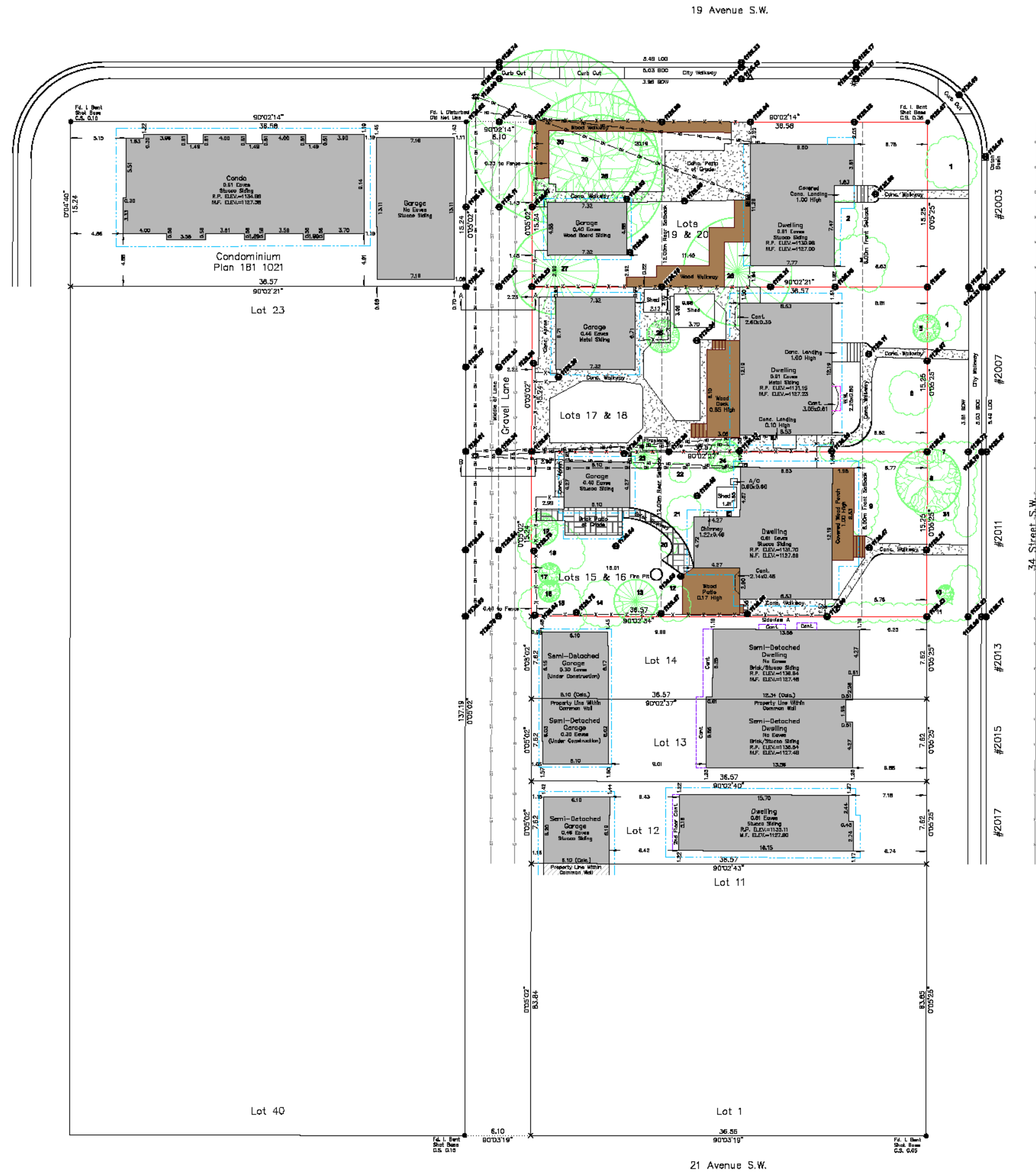
PROJECT

12-plex Townhouse
Development

2003 & 2007 & 2011 34St SW Calgary
AB

DRAWING	DWG No.
Garage Elevation	A32

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Tree Schedule				
Tree	Type	#	Spread	Height
1	Bush	---	4.00	2.00
2	Bush	---	3.00	1.80
3	Bush	---	4.00	2.60
4	Bush	---	2.00	1.00
5	Deciduous	0.15	2.50	5.00
6	Bush	---	4.00	3.00
7	Bush	---	2.00	1.50
8	Deciduous	0.30	6.00	11.00
9	Bush	---	2.00	1.80
10	Deciduous	0.10	1.50	2.50
11	Bush	---	2.00	1.40
12	Bush	---	4.00	2.50
13	Coniferous	0.20	4.00	8.50
14	Bush	---	4.00	2.00
15	Bush	---	4.00	3.00
16	Deciduous	0.20	2.00	15.00
17	Deciduous	0.20	2.00	15.00
18	Bush	---	4.00	2.30
19	Deciduous	0.25	3.00	15.00
20	Bush	---	2.00	1.70
21	Bush	---	2.00	2.50
22	Bush	---	3.00	1.70
23	Coniferous	0.15	2.50	6.00
24	Deciduous	0.25	3.00	13.00
25	Deciduous	0.05	3.00	2.80
26	Coniferous	0.65	10.00	19.00
27	Coniferous	0.55	8.00	19.00
28	Deciduous	0.45	12.00	16.00
29	Deciduous	0.45	12.00	16.00
30	Deciduous	0.60	16.00	18.00
31	Bush	---	3.00	1.00



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lots 15-20
Block 7P
Plan 6000AG

MUNICIPAL ADDRESS: 2003, 2007 & 2011
34 Street S.W.
Calgary, Alberta

DATE OF SURVEY: June 9th, 2025.

SCALE: 1:200

NOTES:

Elevations are shown thus: = 1000.00 metres. (Geodetic)

Elevations are geodetic and derived from ASCM 195214 ELEV: 1126.633

All dimensions are ground in metres and decimals thereof unless otherwise shown.

All distances on curves are arc distances.

Bearings are grid (GTM, GNT11) and derived from GNSS Observations.

All fences are within 0.2 metres of the property lines unless otherwise shown.

All areas are measured to fenceline unless otherwise shown.

Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Acc. - Accessory
A/C - Air Conditioner
Bldg - Building
BOC - Back of Curb
BOW - Back of Walk
Calc. - Calculated
Cont. - Contender
Cont. - Contender
C.S. - Countersunk
DH - Drill Hole
Eno. - Encroachment
ELEV. - Elevation
F.S. - Found
L. - Iron Post
LOG - Lip of Gutter
M.A. - Maintenance Access
M.F. - Main Floor
Mk. - Mark
O.D. - Overland Drainage
Rel. - Retaining
R.P. - Roof Peak
R/W - Right of Way
W/O - Walkout Basement
W.W. - Window Well

Calculation points shown thus:

Elevations shown thus:

Found Iron Posts shown thus:

Fire Hydrants shown thus:

Lamp Standards shown thus:

Manholes shown thus:

Power Poles shown thus:

Street Signs shown thus:

Electrical Water shown thus:

Gas Meter shown thus:

Property Lines shown thus:

Right of Way shown thus:

Fences shown thus:

Overhead Electrical Lines shown thus:

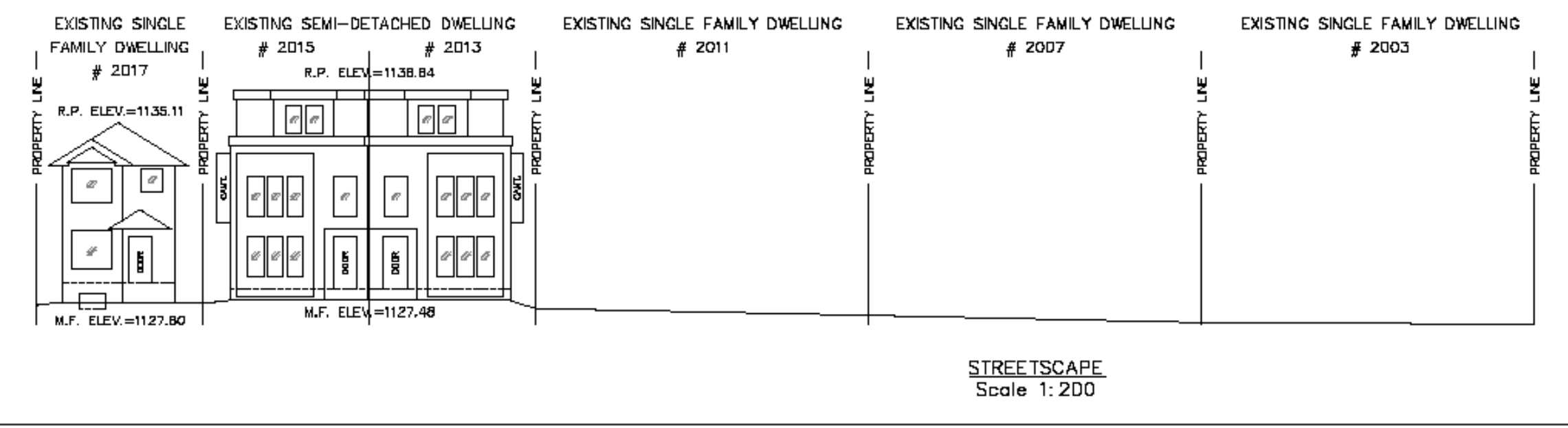
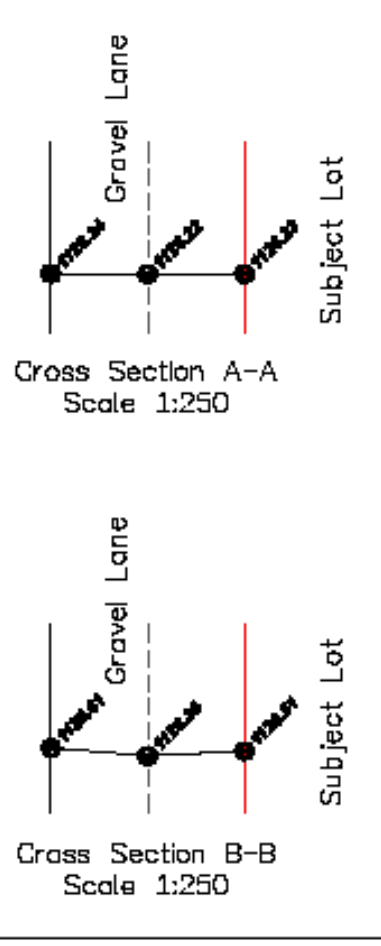
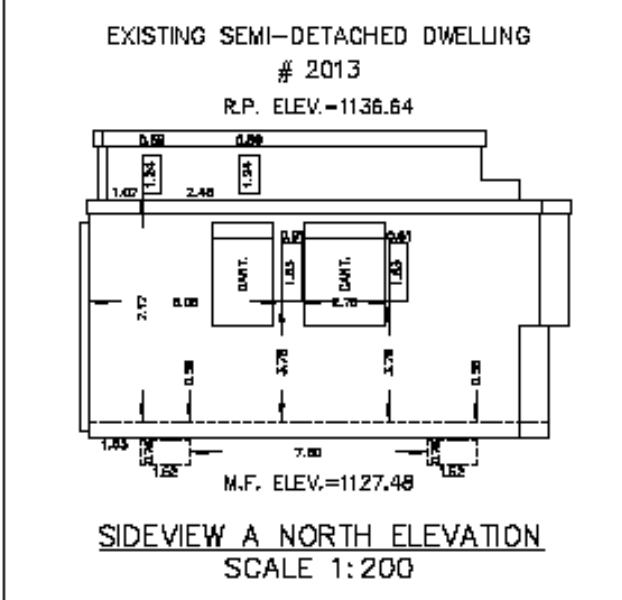
Gasline shown thus:

Sanitaryline shown thus:

Stormline shown thus:

Waterline are shown thus:

This plan represents the best information at the time of survey.
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All underground installations should be located by the respective
authorities prior to construction.
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Job: 25-0391 | Surveyed: JM | Drawn: VH | Checked by: AB

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DATE	No.	REVISION	BY
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SEALS

SCALE	FILE
AS NOTED	Project Number

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PROJECT

12-plex Townhouse
Development

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DRAWING

Survey Record

DWG No.

A34

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