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NORR

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Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pat, P.Eng., APEGA

HARVEST MARKET

CALGARY, ALBERTA, CANADA

DEVELOPMENT PERMIT: DP2026-00656
NORR PROJECT NUMBER: RT1125-0147


SECTION23
DEVELOPMENTS

ALLISON CLARK
320, 110 QUARRY PARK BLVD. SE
CALGARY, AB T2C 3G3
403-252-1234

DR2 RESPONSE - MAY 21, 2026

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
WATT CONSULTING GROUP 1300-736 6 AVE SW CALGARY, ALBERTA T2P3T7 403-463-6609	WATT CONSULTING GROUP 1300-736 6 AVE SW CALGARY, ALBERTA T2P3T7 403-463-6609	NORR 2300, 411 – 1ST STREET SE CALGARY, AB, T2G 4Y5 403-264-4000	CORNERSTONE GROUP #280 200 RIVERCREST DRIVE SE CALGARY, AB, T2C 2X5 825-965-9271
MECHANICAL	ELECTRICAL	LANDSCAPE	
SMITH + ANDERSON 1205, 330 - 5TH AVE SW CALGARY, ALBERTA T2P 0L4 403-806-2539	SMITH + ANDERSON 1205, 330 - 5TH AVE SW CALGARY, ALBERTA T2P 0L4 403-806-2536	GROUND CUBED 6020 2ND STREET SE CALGARY, AB T2H 2L8 403-975-4747	



AMENDED DRAWINGS
DP No Date Received
DP2026-00656 MAY 22 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

Site Information

LAND USE DISTRICT	C-N2		COMMERCIAL - NEIGHBOURHOOD 2	
LEGAL DESCRIPTION	PLAN 2510865	BLOCK 28	LOT 45	
MUNICIPAL ADDRESS	43 RANGEVIEW GA SE, CALGARY			
COMMUNITY	RANGEVIEW		CALGARY	
SITE AREA	6,160.0 SM	66,305.7 SF	1.52 AC	0.62 HA

Development Statistics

PROPOSED USE	RETAIL / RESTAURANT			
FAR				
Base	1.00	6,160.0 SM		
Proposed	0.23	1,415.6 SM		
BUILDING HEIGHT	REQUIRED	PROPOSED		
MAXIMUM	10M	7.73 M		
LANDSCAPE COVERAGE	REQUIRED	PROPOSED		
	-	-		
BUILDING SETBACKS	REQUIRED	PROPOSED		
North	3.0 M	4.29 M		
South	5.0 M	13.37 M		
East	3.0 M	5.67 M		
West	3.0 M	12.44 M		

Vehicle Parking Provided

TYPE		REQUIREMENT	REQUIRED	PROVIDED
			STALLS	STALLS
OVERALL				69
CRU 1	COMMERCIAL RETAIL	-	-	
CRU 2	COMMERCIAL RETAIL	-	-	
CRU 3	COMMERCIAL RETAIL	-	-	
CRU 4	COMMERCIAL RETAIL	-	-	
CRU 5	COMMERCIAL RETAIL	-	-	
CRU 6	COMMERCIAL RETAIL	-	-	
CRU 7	COMMERCIAL RETAIL	-	-	
			Total Stalls	0
			Deficiency	
			Surplus	69
Barrier Free Parking required		1 BF stall per 25 for first 100	69	3
		1 BF stall per additional 100	0	0
TOTAL BF STALLS REQUIRED				3

Bicycle Parking

TYPE		REQUIREMENT	REQUIRED	PROVIDED
			STALLS	STALLS
Building 1			2	2
Class 1	-	-	-	
Class 2	0.004 / SM OF GFA	2	2	
Building 2			3	3
Class 1	-	-	-	
Class 2	0.004 / SM OF GFA	3	3	
Total Bike Stalls			6	6

4 ZONING MAP
DP10-01 SCALE: 1:5000



03



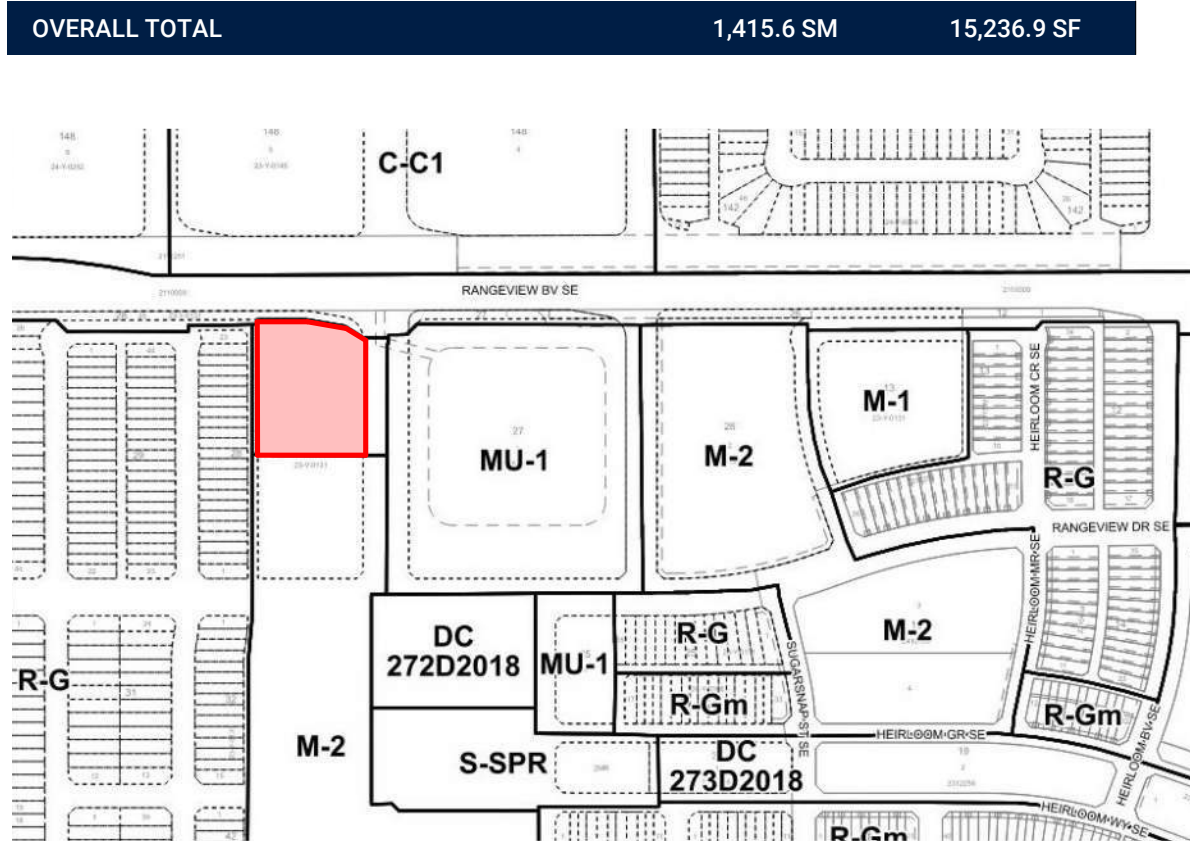
02



01 SITE IMAGES

Building Areas

COMMERCIAL AREA		GROSS FLOOR AREA	
Building 1	PROPOSED USE	SM	SF
CRU 1	CONVENIENCE FOOD STORE	232.26	2,500.03
CRU 2	RETAIL & CONSUMER SERVICE	195.41	2,103.38
CRU 3	RESTAURANT - LICENSED	148.65	1,600.06
SERVICE	MECH/ELEC. ROOM	19.63	211.30
		596.0 SM	6,415 SF
Building 2	PROPOSED USE	SM	SF
CRU 4	HEALTH CARE SERVICE	185.81	2,000.04
CRU 5	HEALTH CARE SERVICE	185.81	2,000.04
CRU 6	RETAIL & CONSUMER SERVICE	194.67	2,095.41
CRU 7	RESTAURANT - LICENSED	232.26	2,500.03
SERVICE	MECH/ELEC. ROOM	21.05	226.58
		819.6 SM	8,822 SF
OVERALL TOTAL		1,415.6 SM	15,236.9 SF



DRAWING LIST - ARCHITECTURAL (DP SET)

DP00-00	COVER SHEET
DP10-01	SITE STATISTICS AND VICINITY PLAN
DP10-02	OVERALL SITE PLAN
DP10-03	W & R TRUCK SWEEP PATH, W&R DETAILS
DP10-04	FIRE TRUCK SWEEP PATH
DP10-05	LOADING TRUCK SWEEP PATH & SIGHT LINE STUDY
DP10-06	PYLON SIGN
DP10-07	3D RENDERINGS
DP20-01	BUILDING 01 - FLOOR & ROOF PLAN
DP20-02	BUILDING 02 - FLOOR & ROOF PLAN
DP40-01	BUILDING 01 - ELEVATIONS
DP40-02	BUILDING 02 - ELEVATIONS
DP43-01	OVERALL BUILDING SECTIONS - BUILDING 01
DP43-02	OVERALL BUILDING SECTIONS - BUILDING 02

DRAWING LIST - ELECTRICAL

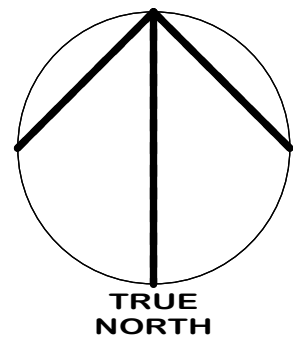
DPE0.0	COVER & DRAWING LIST ELECTRICAL
DPE0.1	ELECTRICAL LEGENDS
DPE1.0	SITE PLAN - ELECTRICAL
DPE1.1	SITE PLAN - PHOTOMETRIC CALCULATIONS
DPE2.0	ELECTRICAL SCHEDULES

DRAWING LIST - CIVIL

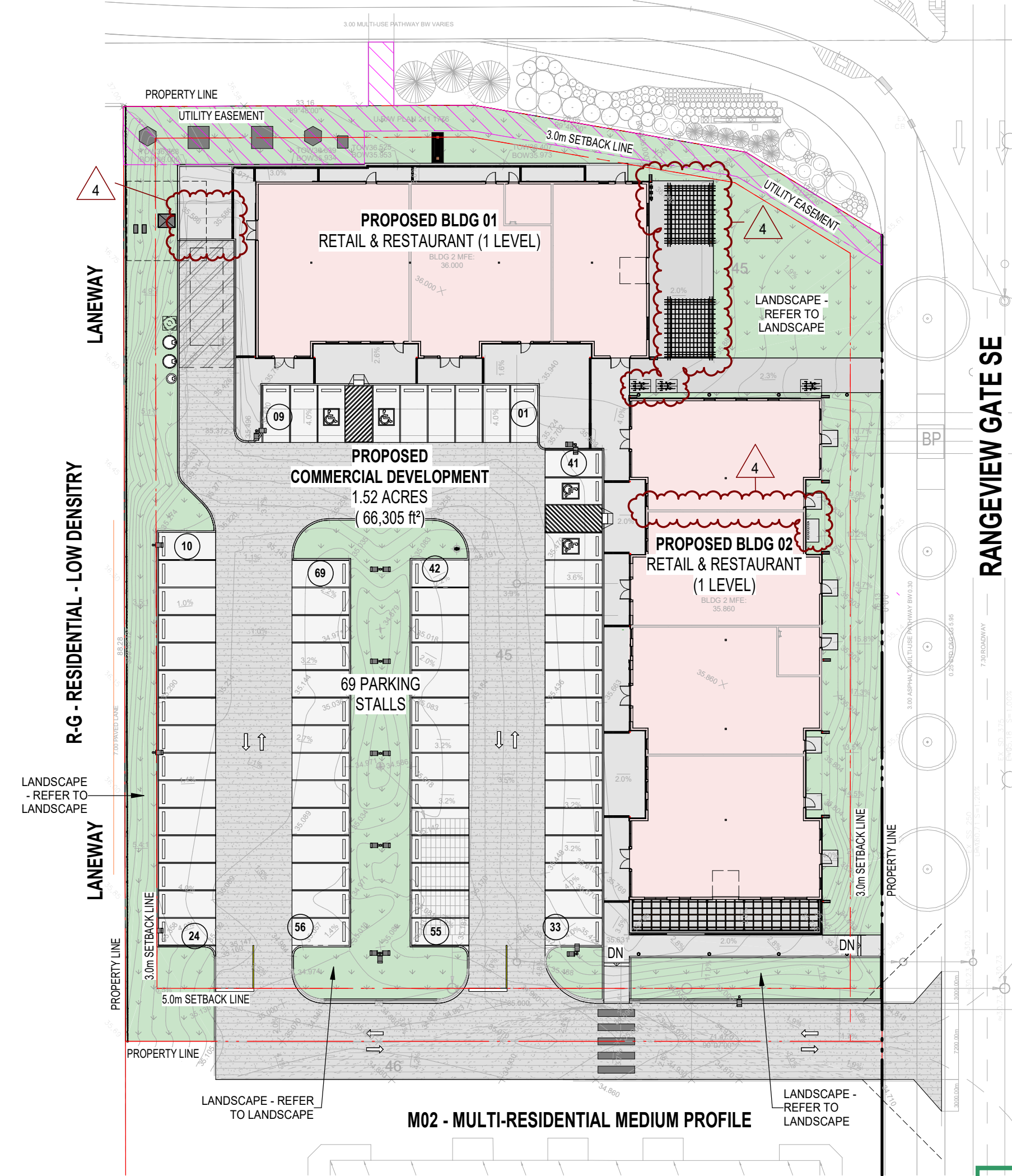
C01	SITE SERVING PLAN
C02	SITE GRADING PLAN
C03	STORM WATER MANAGEMENT PLAN

DRAWING LIST - LANDSCAPE

L0.01	LANDSCAPE BYLAW PLAN
L0.02	OVERALL LANDSCAPE PLAN
L1.01	LANDSCAPE LAYOUT PLAN
L1.02	LANDSCAPE LAYOUT PLAN
L2.01	LANDSCAPE PLANTING PLAN
L2.02	LANDSCAPE PLANTING PLAN



1 VICINITY MAP
DP10-01 SCALE: 1:5000



2 ENLARGED SITE PLAN
DP10-01 SCALE: 1:400

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No DP2026-00656 Date Received MAY 22 2026
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DATE	ISSUED FOR	REV
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2026-04-17	DR1 RESPONSE	3
2026-05-21	DR2 RESPONSE	4

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Project Component

Key Plan

Consultants	
Survey:	WATT CONSULTING GROUP
Civil:	WATT CONSULTING GROUP
Architecture:	NORR
Structural:	CORNERSTONE GROUP
Mechanical:	SMITH + ANDERSON
Electrical:	SMITH + ANDERSON
Interiors:	TBD
Landscape:	GROUNDUCBED

Seal(s)

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Andrew Tordella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

Project Manager	Drawn
D.BLAIR	A.GERMANESE / S.KARVETI
Project Leader	Checked
D.BLAIR	D.BLAIR

Client
SECTION23

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3

Project
HARVEST MARKET

CALGARY, ALBERTA, CANADA

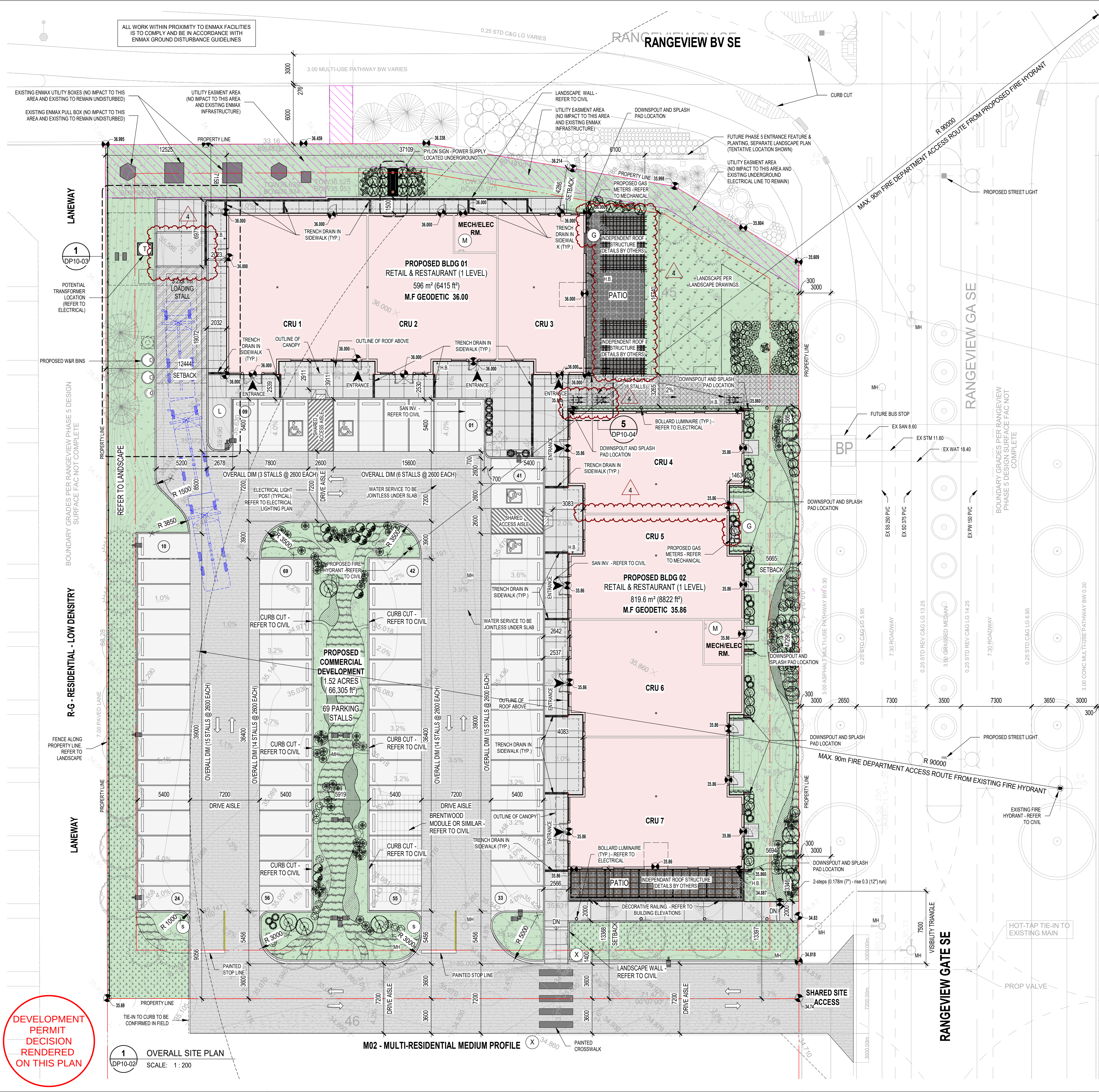
Drawing Title
SITE STATISTICS AND VICINITY PLAN

Scale
As indicated

Project No.
RT1125-0147

Drawing No.
DP10-01

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Autodesk Docs / Section 23 - Rangview Community Retail RT1025-0349_A.Rn_Section23_RangviewCommunityRetail_V04.rvt



DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

1 OVERALL SITE PLAN
SCALE: 1 : 200

NOTES

- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS, WALKWAYS AND FEATURES.
- REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING.
- NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED.
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.).
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
- ALL INFORMATION ABOUT SITE SERVICES, PEDESTALS, CONDUIT, UTILITY RIGHT OF WAY AND GRADING IS FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
- CAST-IN-PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED - REFER TO CIVIL.
- ALL BUILT ELEMENTS WITHIN THE PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE. NO PARKING ANYTIME/FIRE LANE SIGNAGE TO BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.5m.
- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lbs) LOAD & NFPA 1901-POINT LOAD OF 517kPA OVER 24x24" AREA.
- ALL OFFSITE LOCATIONS SHOWN OF EXISTING INFRASTRUCTURE INCLUDING TREES, EXISTING UG SERVICE LINES, EXISTING ELECTRICAL EQUIPMENT, EXISTING FIRE HYDRANTS, EXISTING BUS ZONES AND EXISTING LIGHTS NOTED FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS AND SURVEY.
- NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE.
- SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS.
- ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT.
- IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN, IF REQUIRED.
- UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING.
- AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEMNIFIED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE(S).
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND SIZING OF TRANSIT ZONES AND TRANSIT PADS.

LEGEND

- FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
- LOADING TRUCK PATH
- WASTE & RECYCLING TRUCK PATH
- PROPERTY LINE - DELINEATES SCOPE OF WORK
- PROPERTY SETBACK LINE
- FIRE DEPARTMENT ACCESS ROUTE FROM FIRE HYDRANT
- UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL
- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lbs) LOAD & NFPA 1901-POINT LOAD OF 517kPA OVER 24x24" AREA
- PRINCIPAL ENTRANCE
- BARRIER FREE PARKING - SYMBOL PAINTED ON ASPHALT
- BARRIER-FREE RAMP (B.F.R.)
- BARRIER-FREE PARKING SIGN (INSTALLED AT ALL RELEVANT LOCATIONS)
- COMMERCIAL PARKING SIGNAGE
- MAIL PARKING SIGNAGE
- VISITOR PARKING SIGNAGE
- CROSSWALK SIGN
- LOADING ZONE / NO PARKING / PRIVATE PARKING SIGN
- ELECTRIC VEHICLE CHARGING STATION (SERVES 2 STALLS) - REFER TO ELECTRICAL
- WATER METER / GAS METER / ELECTRICAL METER - REFER TO CIVIL
- PROPOSED TRANSFORMER AND CONCRETE PAD - REFER TO ELECTRICAL
- FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL
- PAINTED CROSSWALK
- HOSE BIBB
- SITE ELECTRICAL LIGHT POST - REFER TO ELECTRICAL
- BIKE RACK - REFER TO LANDSCAPE DRAWINGS
- AREA DRAIN / CATCH BASIN / MANHOLE - REFER TO CIVIL
- DIRECTION OF TRAVEL
- MAIL BOXES
- EXISTING POWERPOLE
- EXISTING POWERPOLE TO BE REMOVED, SERVICE DISCONNECTED

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Project Component

Key Plan

Consultants

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Civil:	WATT CONSULTING GROUP
Architecture:	NORR
Structural:	CORNERSTONE GROUP
Mechanical:	SMITH + ANDERSON
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Interiors:	TBD
Landscape:	GROUNDCLUBD

Seal(s)

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Chris Pal, P. Eng., APEGA

Project Manager D. BLAIR	Drawn A. GERMANESE / S. KARVETI
Project Leader D. BLAIR	Checked D. BLAIR

Client

SECTION23

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3

Project

HARVEST MARKET

CALGARY, ALBERTA, CANADA

Drawing Title

OVERALL SITE PLAN

Scale

As indicated

Project No.

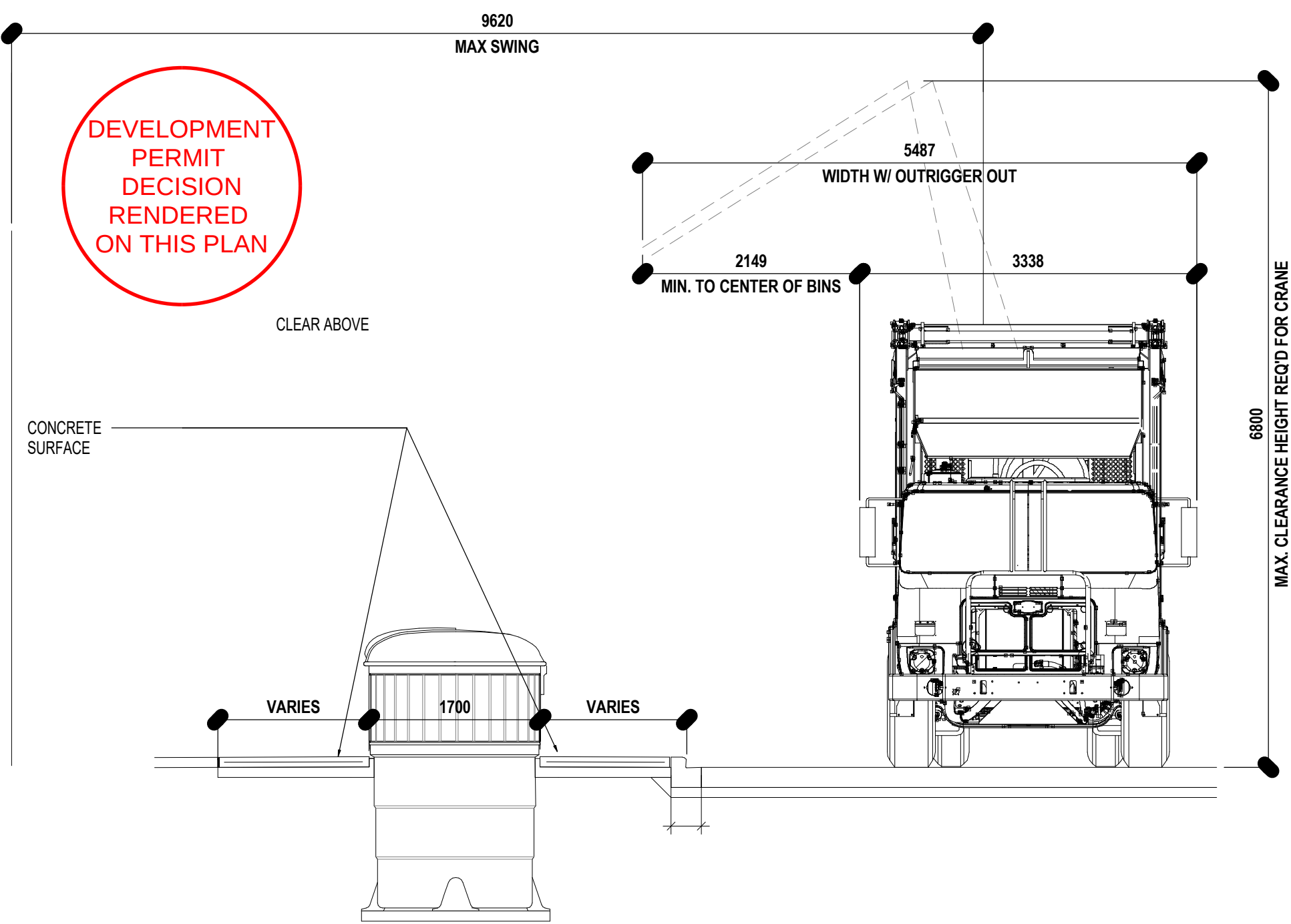
RT1125-0147

Drawing No.

DP10-02

ISO A1 Title Block - v.2023 - Rev (Sep/23) - Copyright © 2023

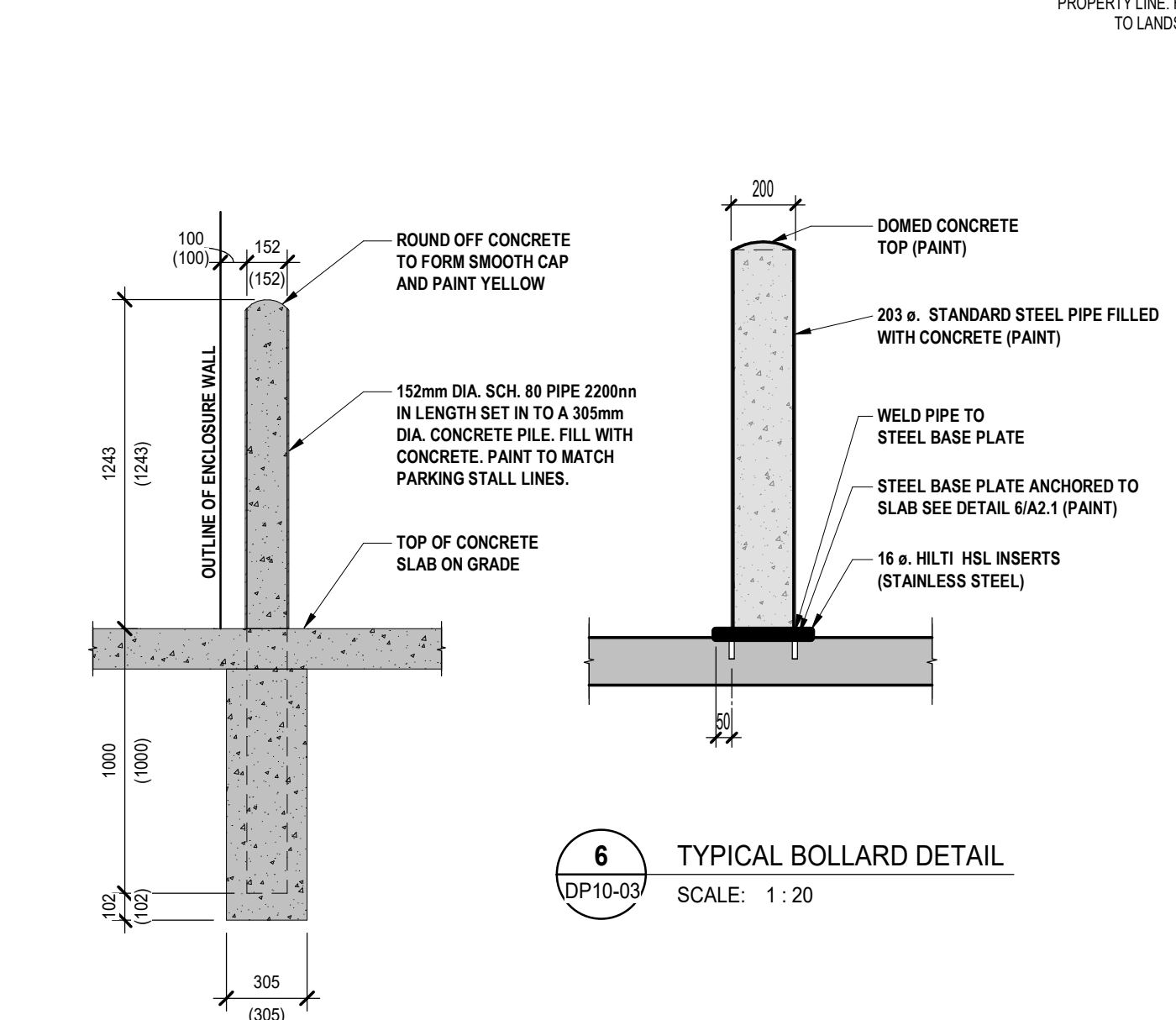
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Autodesk Docs/Section 23 - Rangview Community Retail/RT1025-0349_Artn_Section23_RangviewCommunityRetail_V24.rvt



3 EARTHBIN SILO TRUCK CLEARANCE
DP10-03 SCALE: 1:50



7 MOLOK BIN DETAILS
DP10-03 SCALE: N.T.S



5 BOLLARD ON PIER DETAIL
DP10-03 SCALE: 1:24

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1 ENLARGED PLAN - W & R YARD
DP10-03 SCALE: 1:100

WASTE & RECYCLING ROOM CALCULATIONS - COMMERCIAL

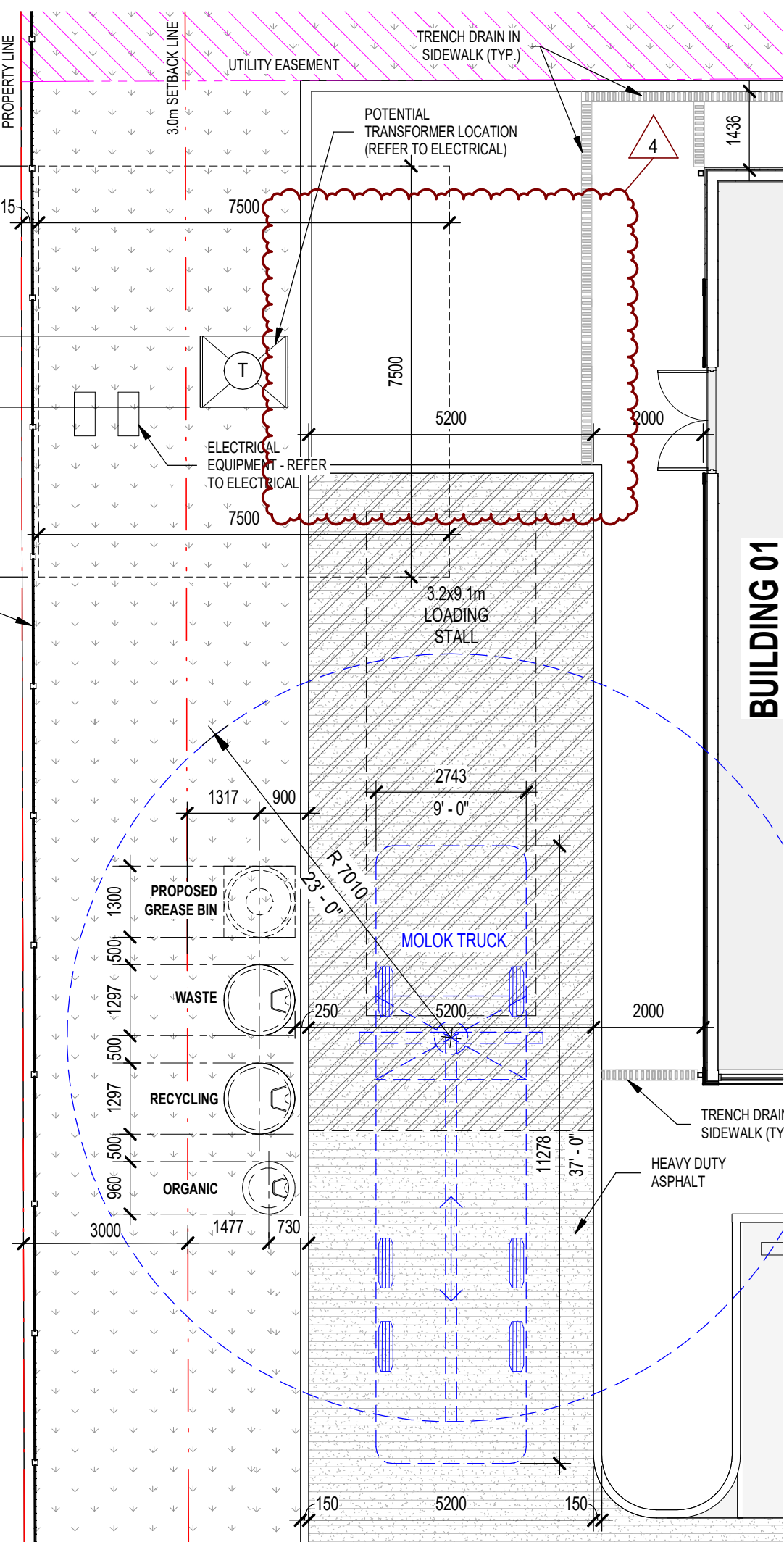
COMMERCIAL													
TOTAL COMM. GFA		m² PER BIN REQ'D	BIN SIZE	INITIAL BINS	# OF PICK UPS PER WEEK	TOTAL BINS	# OF COMPACTORS	TOTAL # OF BINS	APPROX. m² PER BIN	TOTAL APPROX. AREA REQ. m²	TOTAL PROVIDED		
GFA (m²)		based on 3yd³	yd³	based on 7yd³			(3:1 compactor ratio)		IN ROOM	(includes compactor if any)	m²		
1415.55		1000	3.00	2	1	2	0	2	9	18	40		

BIN TYPE BREAKDOWN											
Recycling Waste	40.00%	1.69866	3.00	1	1	1	0	1			
Compostable Waste	20.00%	0.84933	2.00	1	1	1	0	1			
Landfill Waste	40.00%	1.69866	3.00	1	1	1	0	1			

General Notes

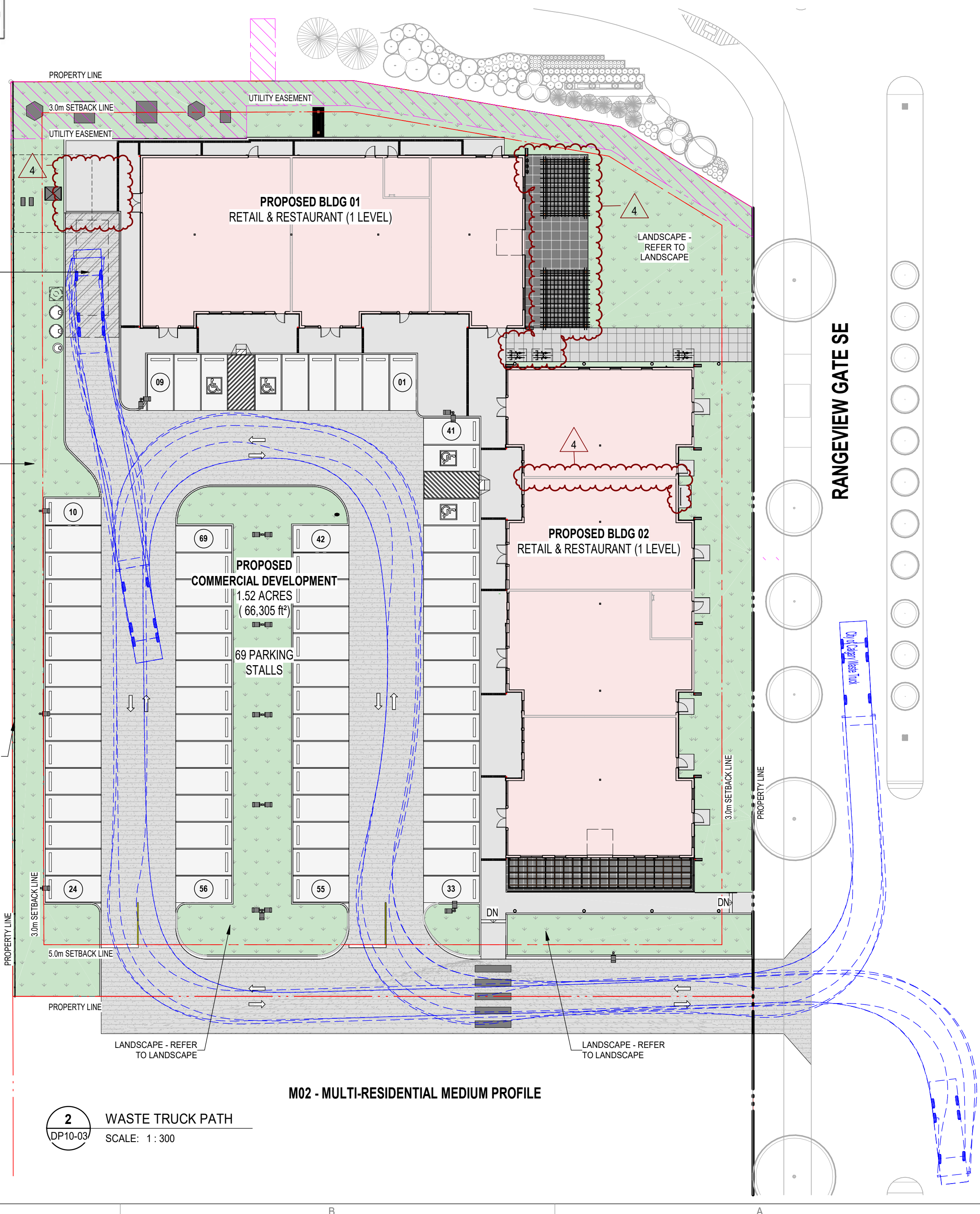
- * UNDERGROUND STORAGE BINS USED: REGULAR BINS
- * STORAGE ROOM TO BE MECHANICALLY VENTED
- * WASTE / RECYCLING STAGING/PICK-UP AREA MUST HAVE A CAPACITY TO CARRY A LOADED COLLECTION VEHICLE OF 25,000 KG
- * MAXIMUM SLOPE IN STORAGE ROOM AND COLLECTION STAGING AREA IS 2% IN ANY DIRECTION
- * REFER TO MANUFACTURER MANUAL AND SPECIFICATIONS

Reference								
MODEL	CAPACITY	yd ³	MOLOK CLASSIC		DIAMETER	DEPTH	USE	REMARKS
	m ³				mm	mm		
M-5000	5	6.5	1700		1500		W & R	can be divided
M-3000	3	4	1300		1500		W & R	
M-1300	1.3	1.7	900		1500		W, R & O	bio-waste 800L
M-800	800L	1.0	750		1500		W, R & O	bio-waste 500L
M-300	300L	0.4	600		1100		W & R	
M-Grease	800L	1.0	900		1500		cooking oil	
M-Storage	2600L	3.4	1700		600		Storage	
			MOLOK CLASSIC PLUS		1700	500	MW&R	can be divided
2								
			MOLOK CLASSIC LIGHT		1300	500	MW&R	can be divided
4								



BUILDING 01
R-G- RESIDENTIAL - LOW DENSITY
LANEWAY
LANDSCAPE - REFER TO LANDSCAPE
FENCE ALONG PROPERTY LINE - REFER TO LANDSCAPE
TRENCH DRAIN IN SIDEWALK (TYP.)
HEAVY DUTY ASPHALT
3.2x8 1m LOADING STALL
POTENTIAL TRANSFORMER LOCATION (REFER TO ELECTRICAL)
ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL
UTILITY EASEMENT
3.0m SETBACK LINE
PROPERTY LINE
154
315
1300
3100
7500
5200
2000
1436
1317
900
2743
9'-0"
250
5200
2000
11276
37'-0"
1477
730
3000
150
5200
150

2 WASTE TRUCK PATH
DP10-03 SCALE: 1:300



M02 - MULTI-RESIDENTIAL MEDIUM PROFILE

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2026-01-28	ISSUED FOR DEVELOPMENT PERMIT	1
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Seal(s)

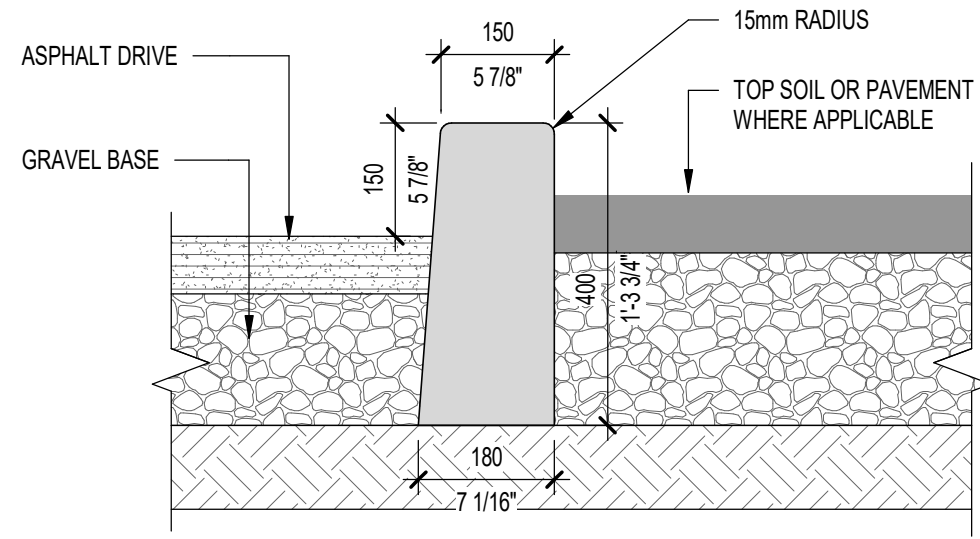
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Project Manager
D. BLAIR
Project Leader
D. BLAIR
Client
SECTION23
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Checked
D. BLAIR

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3
Project
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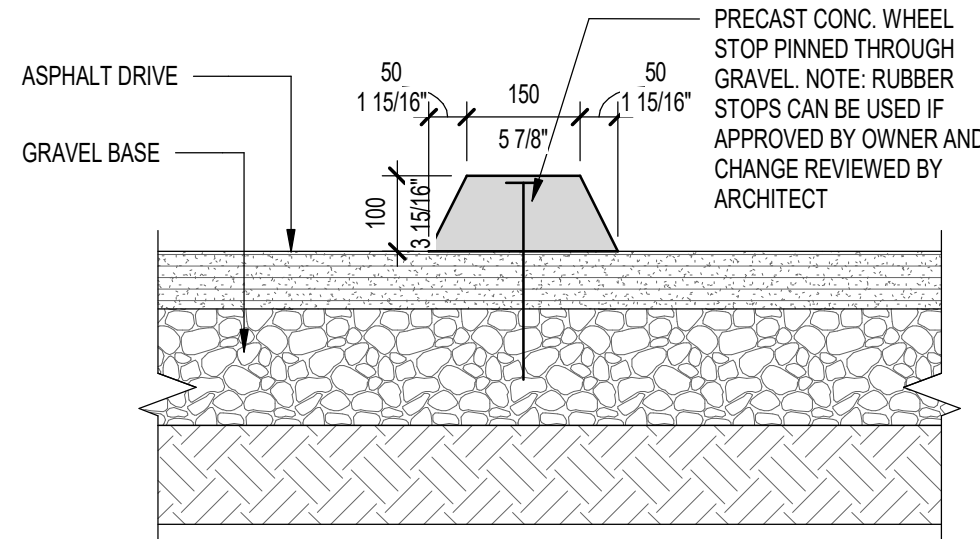
CALGARY, ALBERTA, CANADA
Drawing Title
W & R TRUCK SWEEP
PATH, W&R DETAILS

Scale
As indicated
Project No.
RT1125-0147
Drawing No.
DP10-03

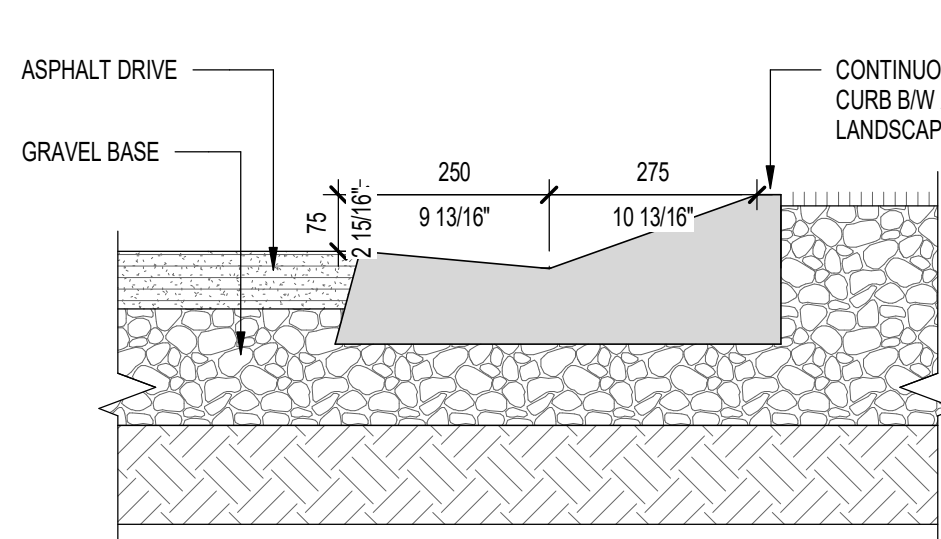


CURB WALL

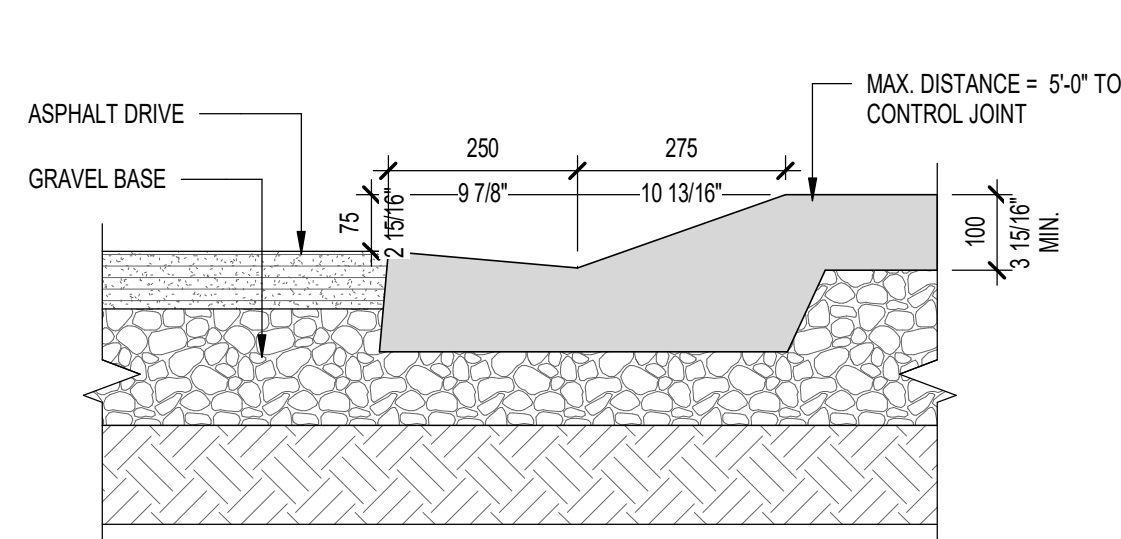
3 CONCRETE SITE DETAILS
DP10-04 SCALE: 1:10



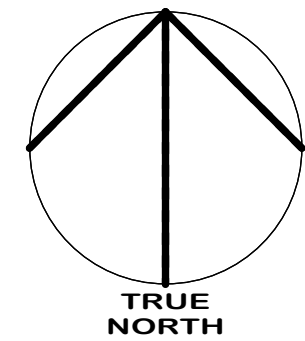
WHEEL STOP



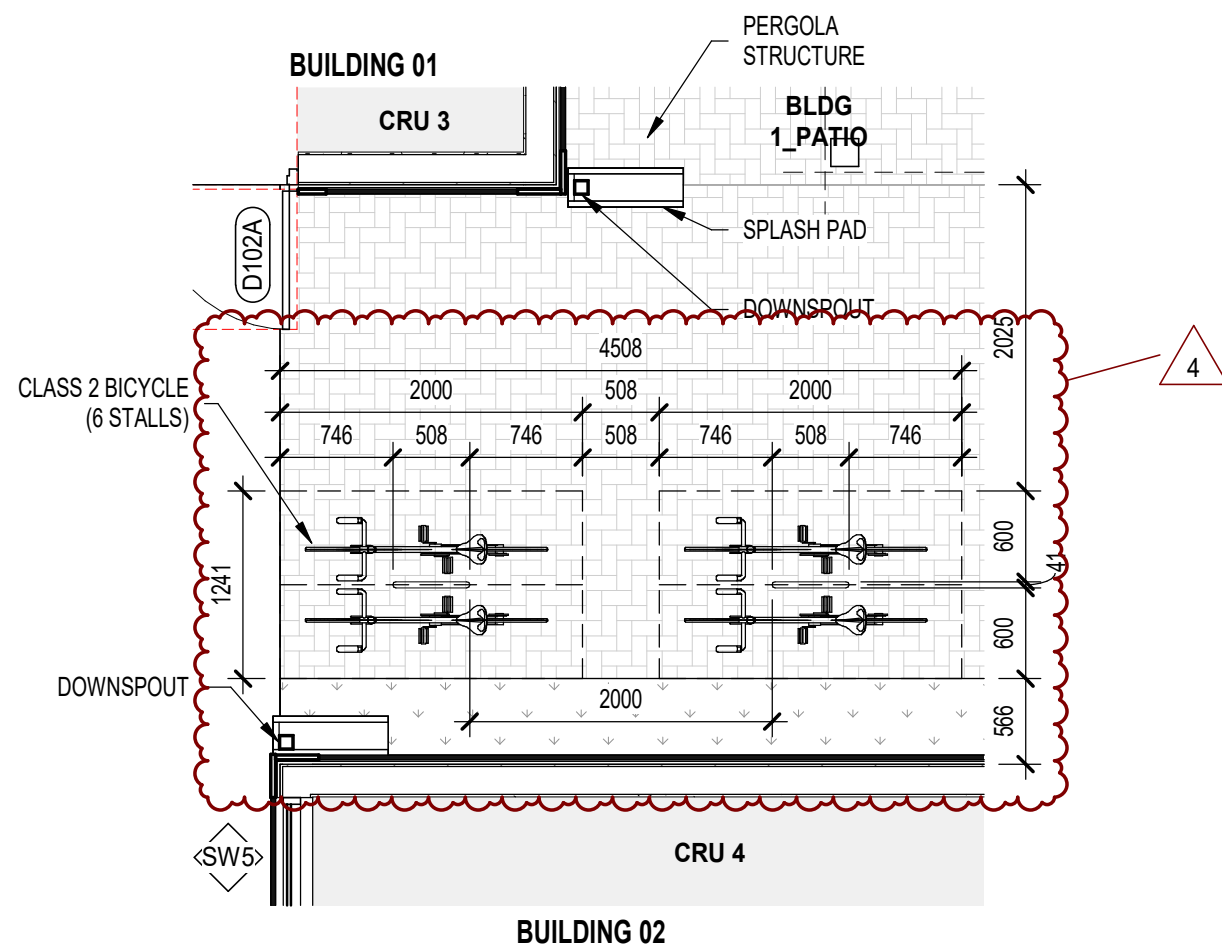
ROLLED CURB AT LANDSCAPE



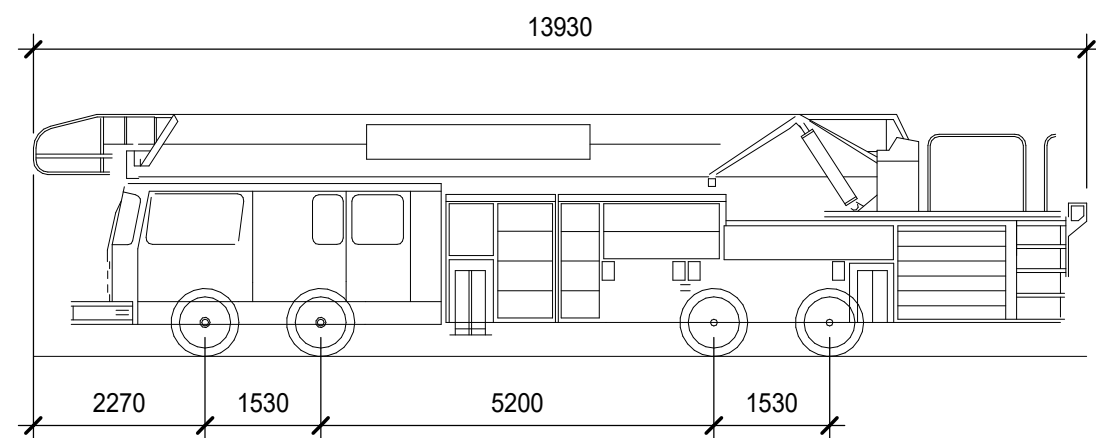
ROLLED CURB AT SIDEWALK



AMENDED DRAWINGS
DP No Date Received
DP2026-00656 MAY 22 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

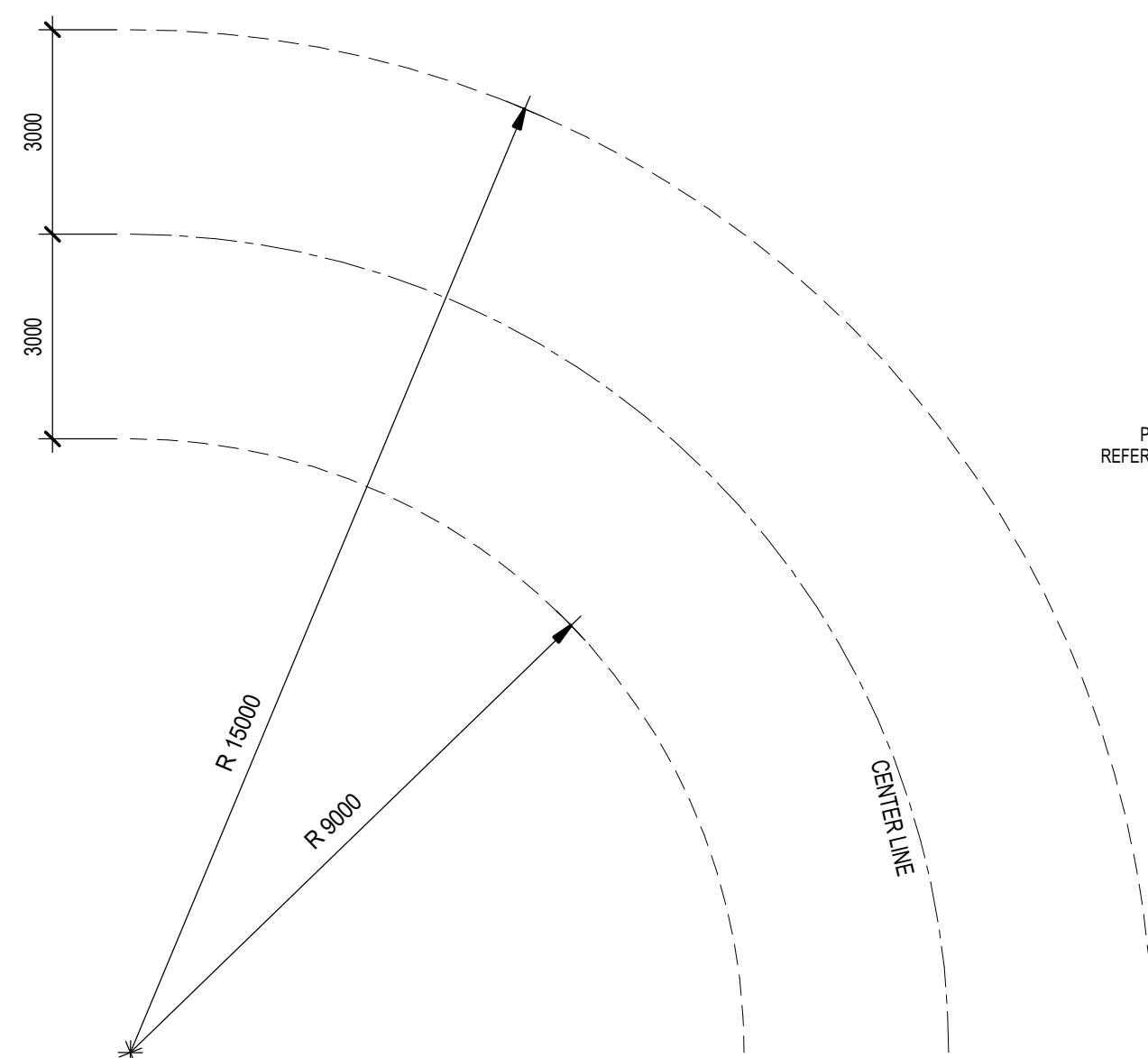


5 ENLARGED PLAN - CLASS 2 BICYCLE
DP10-04 SCALE: 1:50



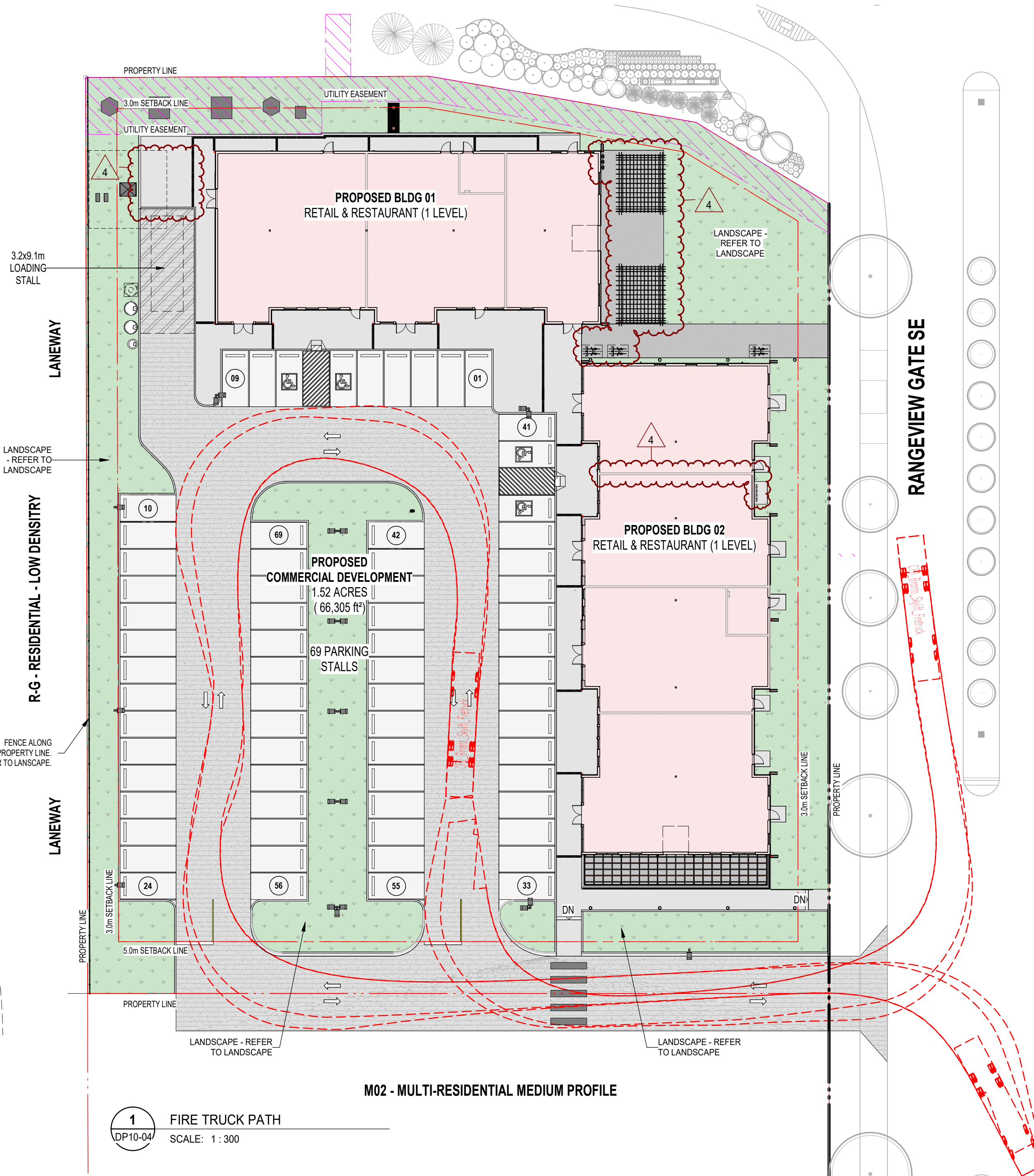
CFDT BRONTO SKYLIFT FIRE TRUCK

OVERALL LENGTH 13.930m
OVERALL WIDTH 2.570m
OVERALL BODY HEIGHT 3.203m
MIN BODY GROUND CLEARANCE 0.286m
TRACK WIDTH 2.570m
LOCK-TO-LOCK TIME 6.00s
MAX WHEEL ANGLE 47.50°

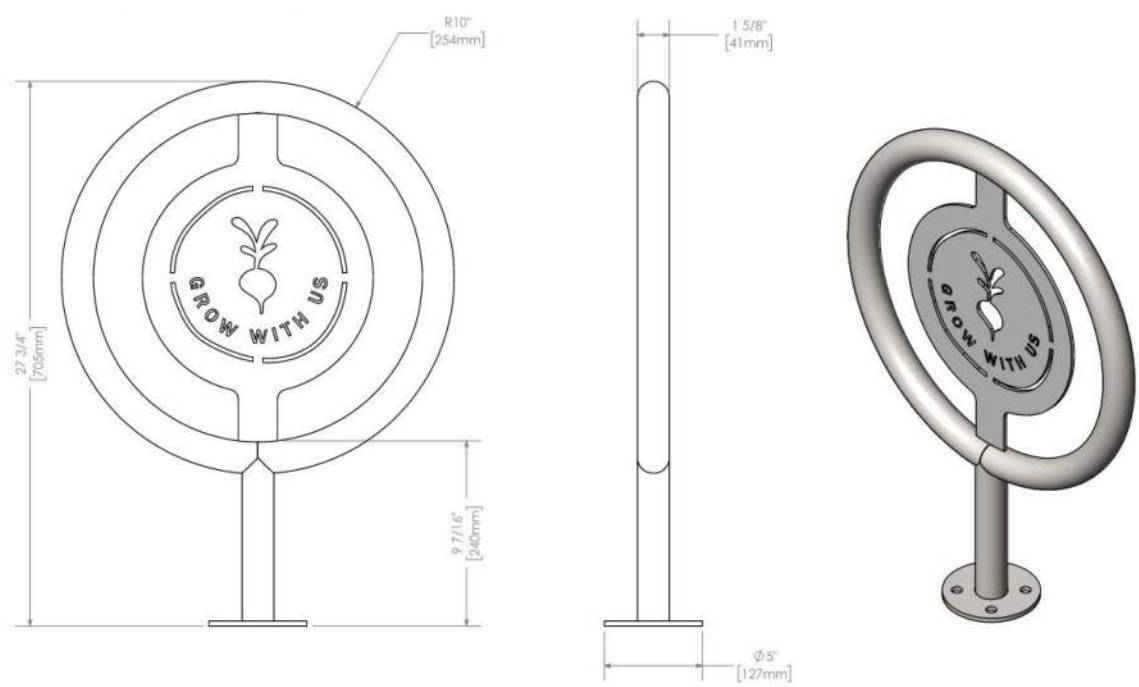


FIRE TRUCK TURNING RADIUS

2 VEHICLE PROFILES FIRE TRUCK & TURNING RADIUS
DP10-04 SCALE: 1:100



1 FIRE TRUCK PATH
DP10-04 SCALE: 1:300



4 CLASS 2 BIKE RACK - FLOOR MOUNTED
DP10-04 SCALE: 1:96

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

DATE	ISSUED FOR	REV
2026-01-28	ISSUED FOR DEVELOPMENT PERMIT	1
2026-02-23	REISSUED FOR DEVELOPMENT PERMIT	2
2026-04-17	DR1 RESPONSE	3
2026-05-21	DR2 RESPONSE	4

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Project Component

Key Plan

Consultants
Survey: WATT CONSULTING GROUP
Civil: WATT CONSULTING GROUP
Architecture: NORR
Structural: CORNERSTONE GROUP
Mechanical: SMITH + ANDERSON
Electrical: SMITH + ANDERSON
Interiors: TBD
Landscape: GROUNDUCBED

Seal(s)

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Jonathon Hughes, Architect, AIA, OAA, AIBC, MAA, AANS, AAFE
Andrew Tordella, P. Eng., APEGA
Chris Pal, P. Eng., APEGA

Project Manager D. BLAIR	Drawn A. GERMANESE / S. KARVETI
Project Leader D. BLAIR	Checked D. BLAIR

Client

SECTION23

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3

Project

HARVEST MARKET

CALGARY, ALBERTA, CANADA

Drawing Title

FIRE TRUCK SWEEP PATH

Scale

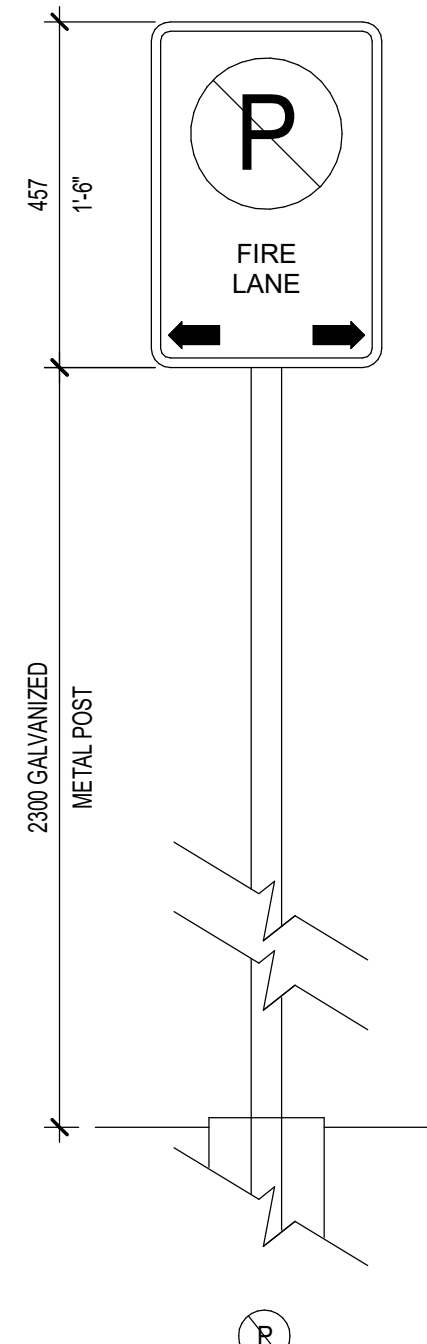
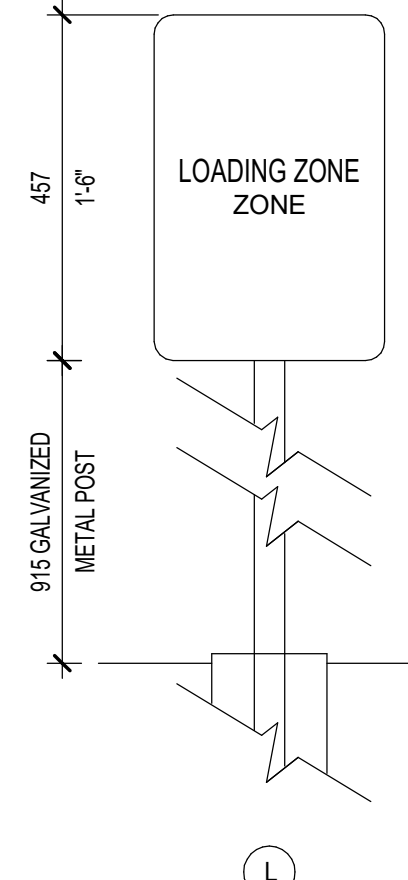
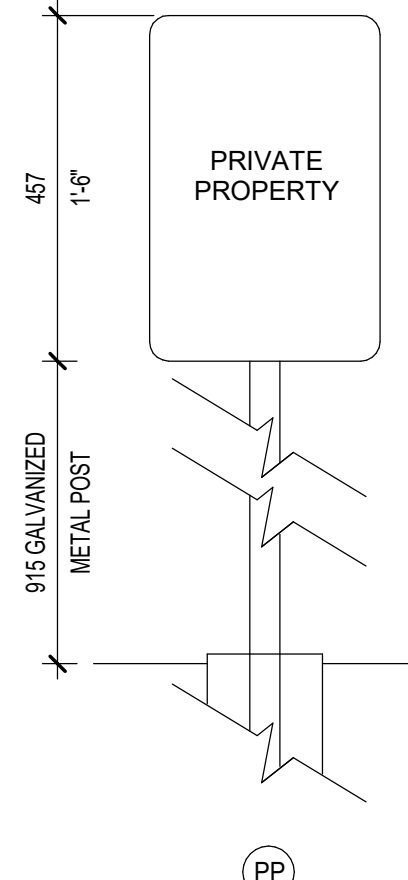
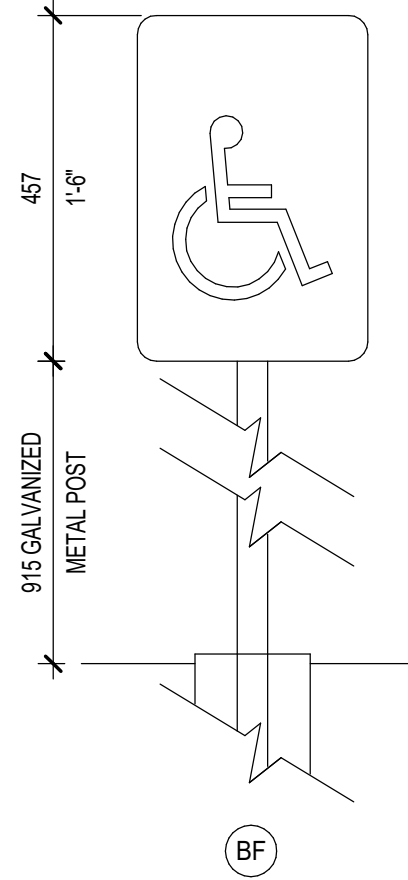
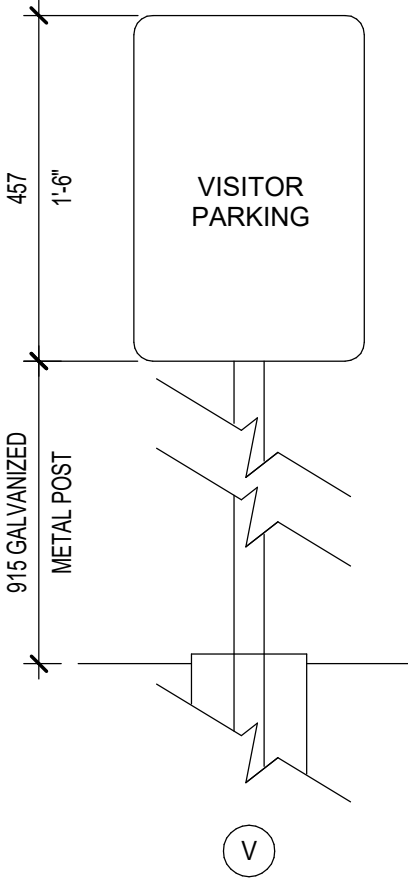
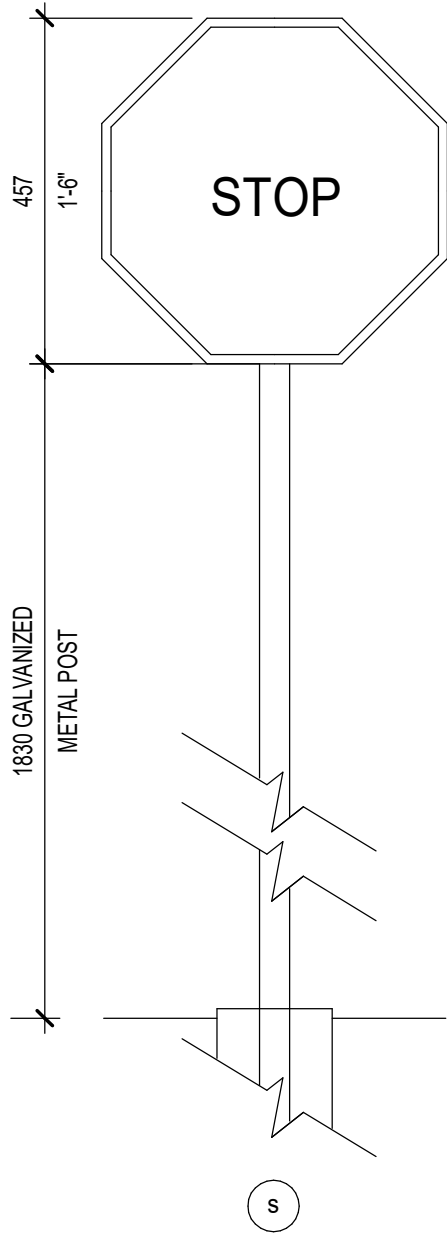
As indicated

Project No.

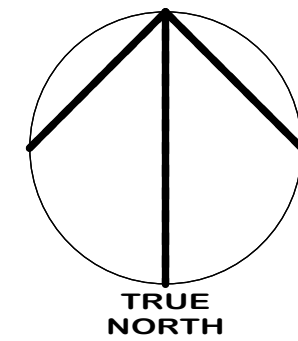
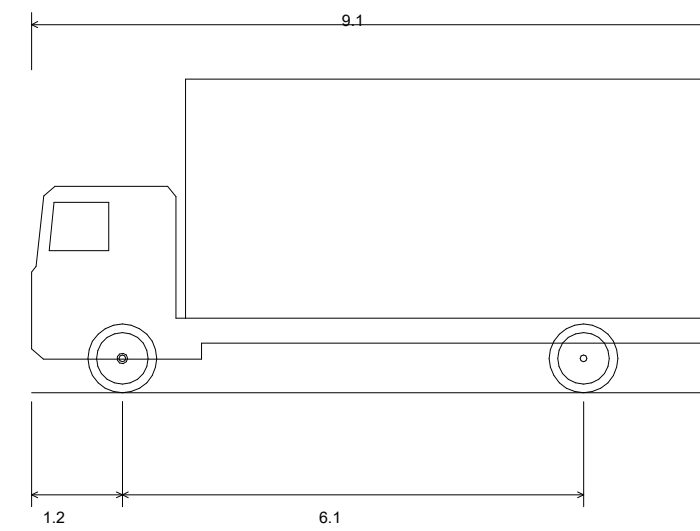
RT1125-0147

Drawing No.

DP10-04

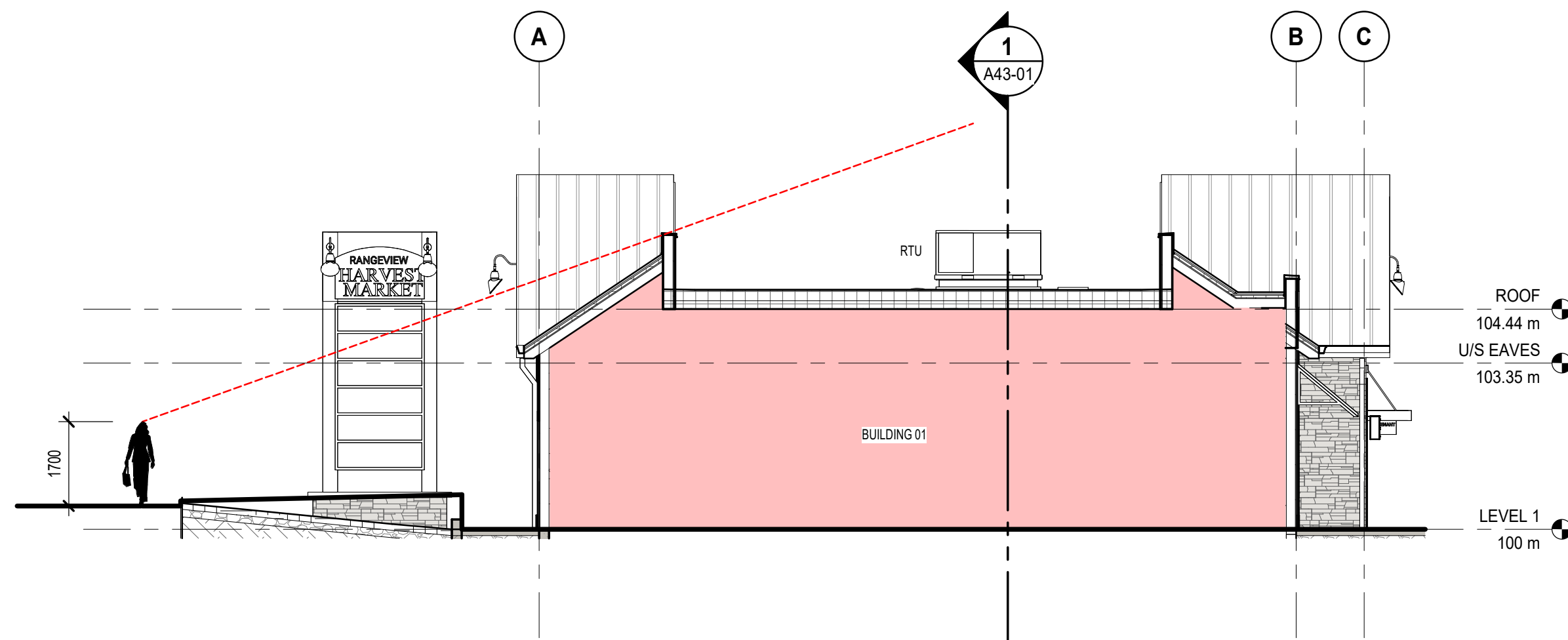


SU9 - Single Unit or Bus	
Overall Length	9.100m
Overall Width	2.600m
Overall Body Height	4.150m
Min Body Ground Clearance	0.445m
Track Width	2.600m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	12.800m

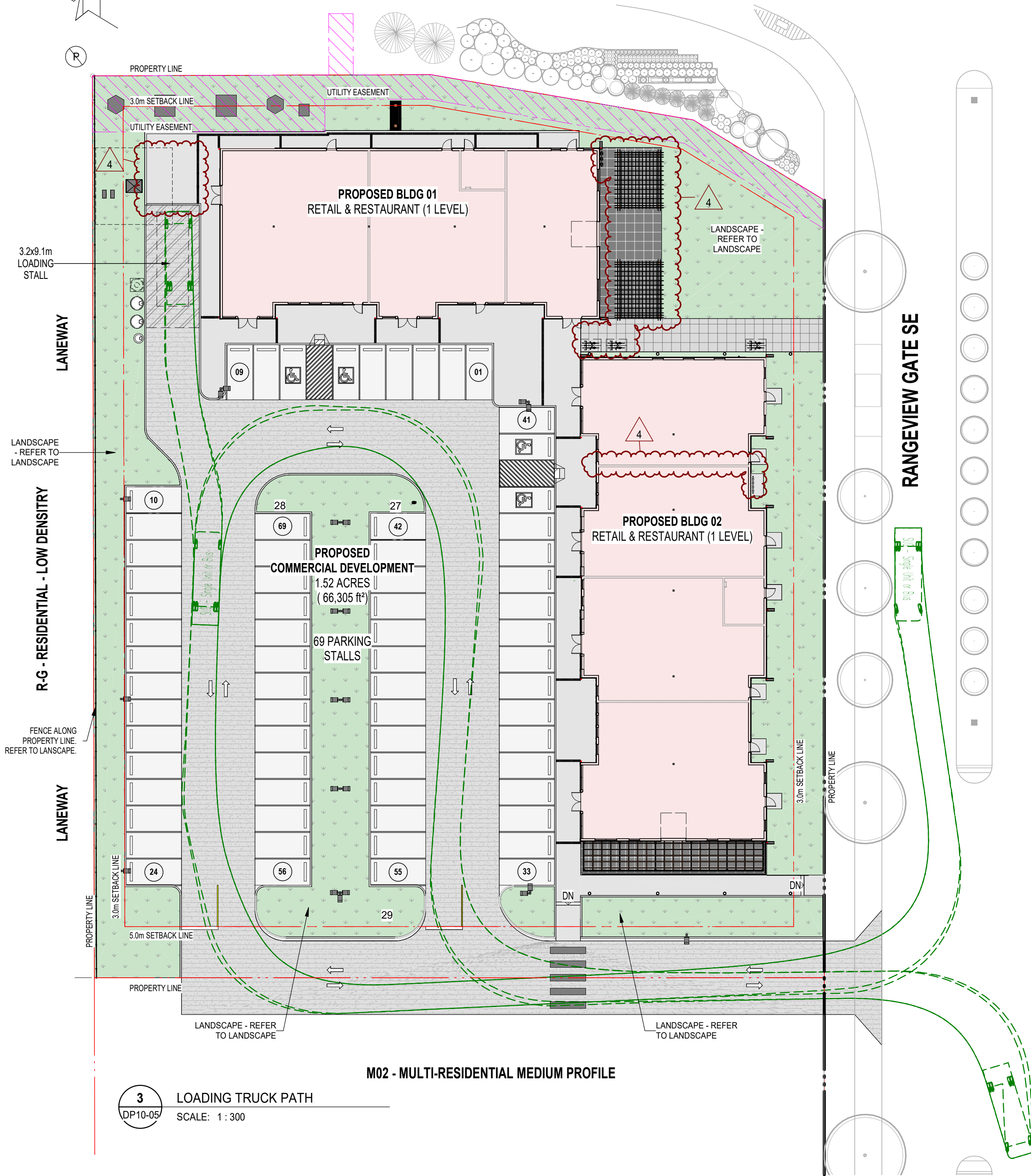


NOTE: FOR ALL SIGNAGE REQUIREMENTS AND SPECIFICATIONS - REFER TO CITY OF CALGARY

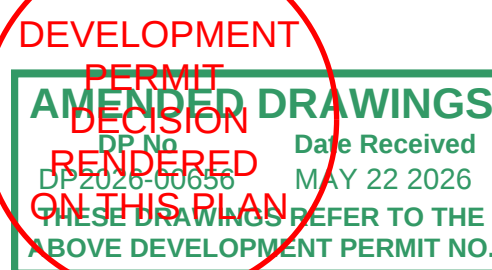
2 SITE SIGNS
DP10-05 SCALE: 1 : 10



1 BUILDING 01 - SITE SECTION - NORTH SIGHT LINE
DP10-05 SCALE: 1 : 100



3 LOADING TRUCK PATH
DP10-05 SCALE: 1 : 300



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2026-01-28	ISSUED FOR DEVELOPMENT PERMIT	1
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Key Plan

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Civil:	WATT CONSULTING GROUP
Architecture:	NORR
Structural:	CORNERSTONE GROUP
Mechanical:	SMITH + ANDERSON
Electrical:	SMITH + ANDERSON
Interiors:	TBD
Landscape:	GROUNDCLUB

Seal(s)

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
From International Architecture, Architects Inc., Project Management Holdings Inc.

Jonathan Hughes, Architect, AIA, OAA, AIBC, MAA, AANS, AAPE
Andrew Tordella, P.Eng., APEGA
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Project Manager D. BLAIR	Drawn A.GERMANESE / S.KARVETI
Project Leader D.BLAIR	Checked D.BLAIR

Client
SECTION23

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3

Project
HARVEST MARKET

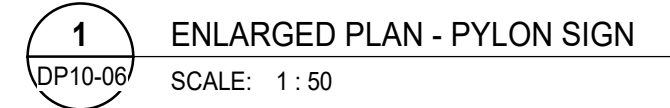
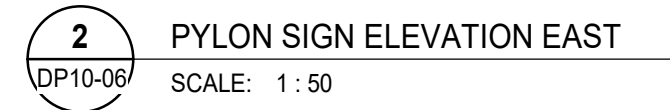
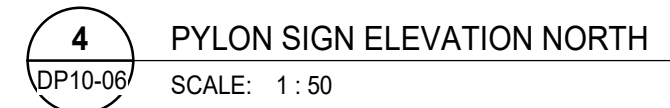
CALGARY, ALBERTA, CANADA

Drawing Title
**LOADING TRUCK SWEEP
PATH & SIGHT LINE STUDY**

Scale
As indicated

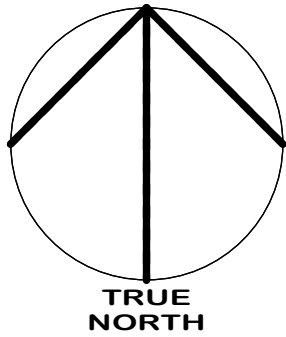
Project No.
RT1125-0147

Drawing No.
DP10-05



AMENDED DRAWINGS	
DP No	Date Received
DP2026-00656	MAY 22 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.	

Drawing No. **DP10-06**



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2026-01-28	ISSUED FOR DEVELOPMENT PERMIT	1
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2026-05-21	DR2 RESPONSE	4

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Electrical:	SMITH + ANDERSON
Interiors:	TBD
Landscape:	GROUNDSCUBED

Seal(s)

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Project Leader D.BLAIR	Checked D.BLAIR

Client
SECTION23

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3

Project
HARVEST MARKET

CALGARY, ALBERTA, CANADA
Drawing Title
3D RENDERINGS

Scale

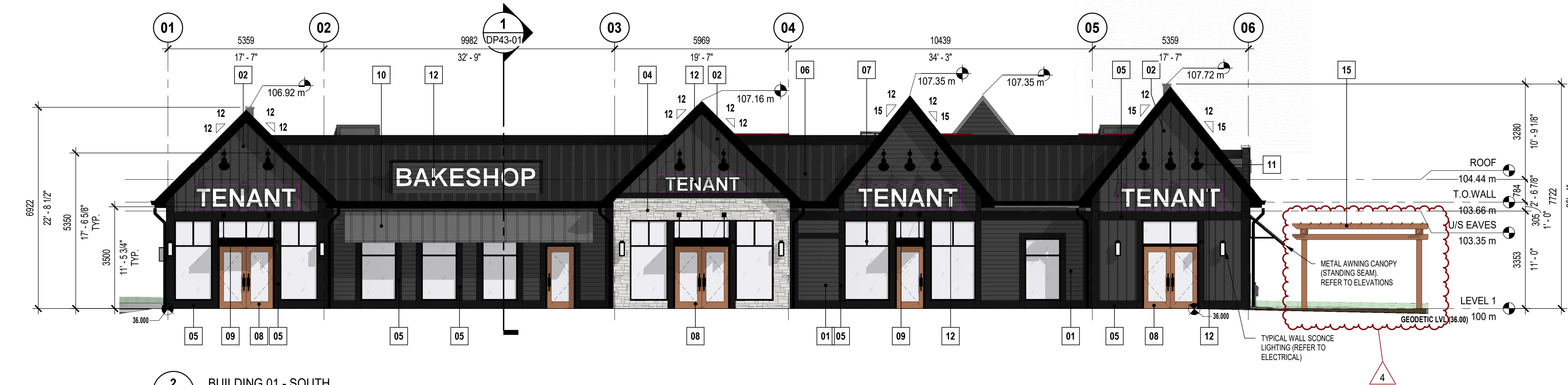
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RT1125-0147

Drawing No.
DP10-07

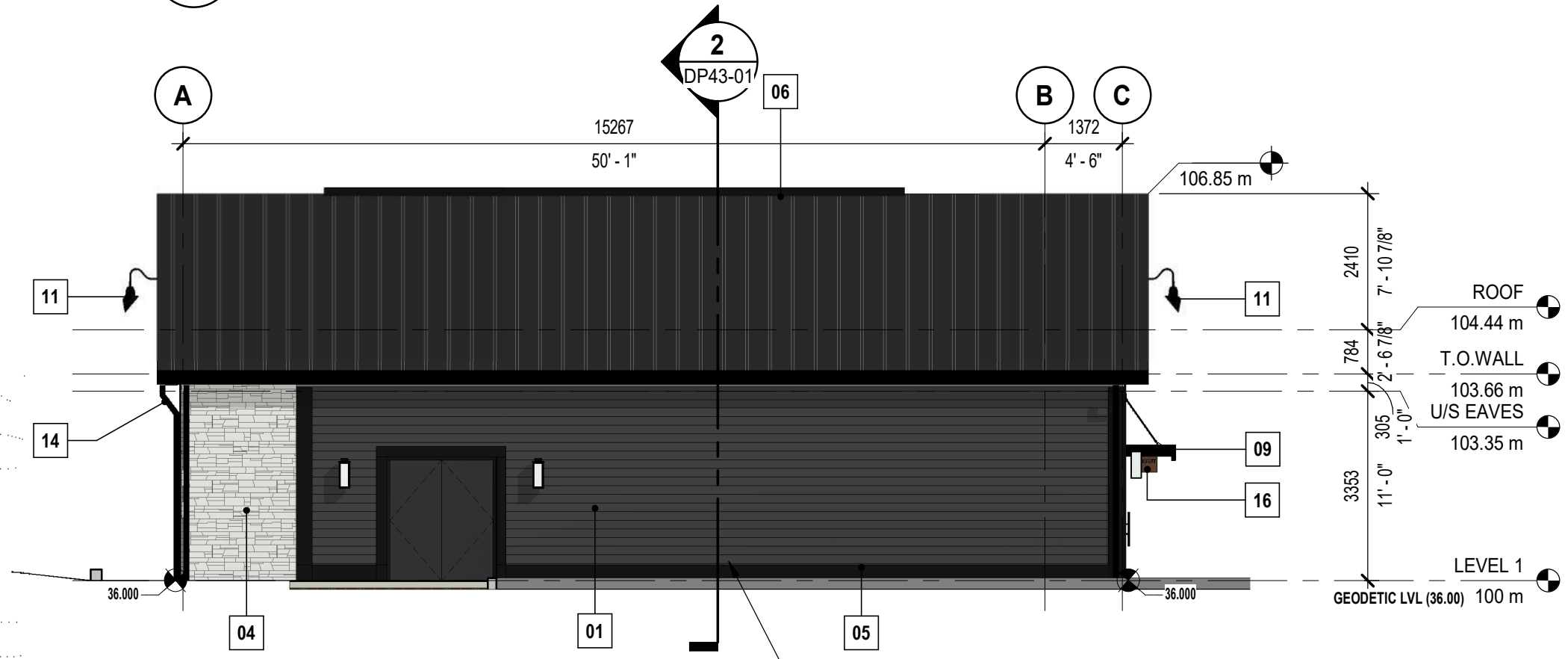


AMENDED DRAWINGS
DP No Date Received
DP2026-00656 MAY 22 2026
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ARTISTIC RENDERERS FOR REFERENCE ONLY



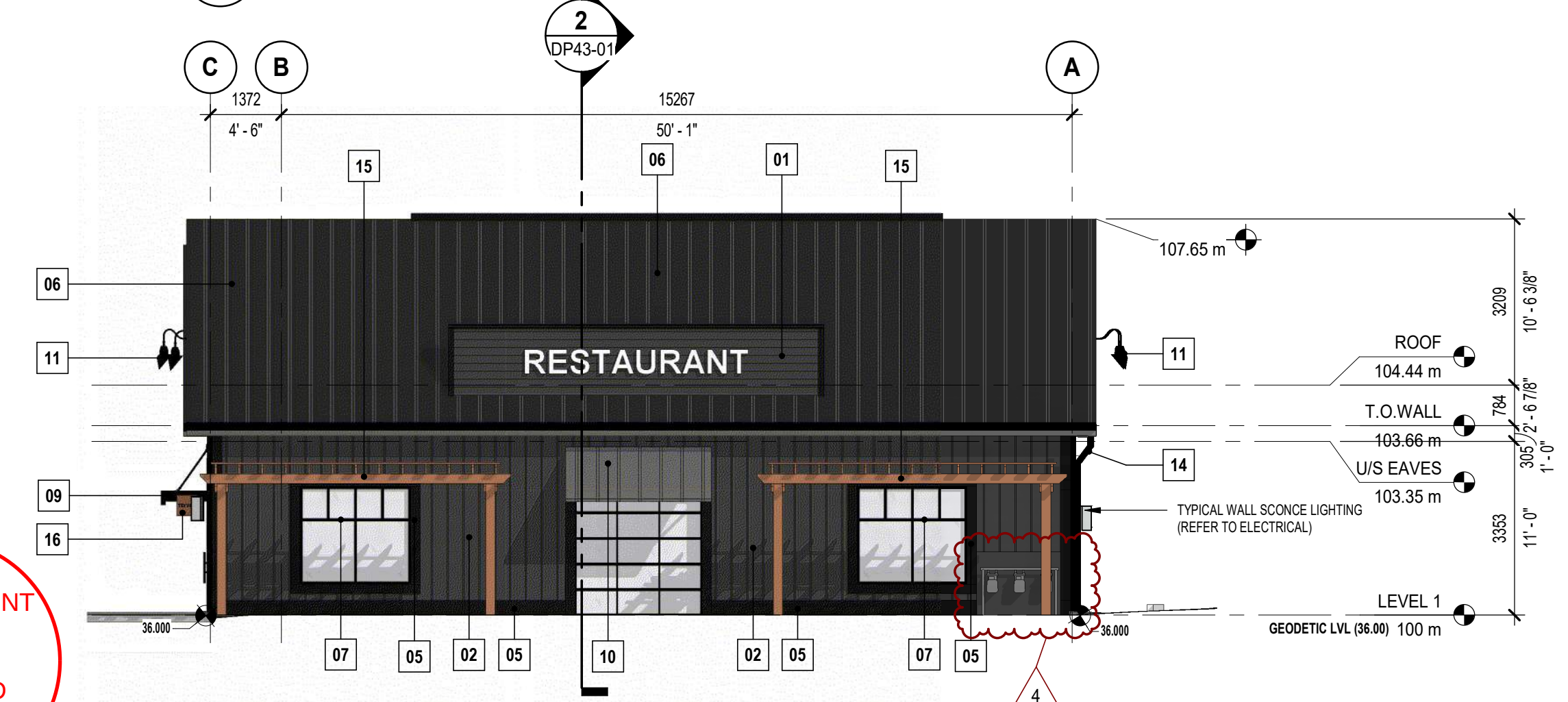
2 BUILDING 01 - SOUTH
SCALE: 1 : 100



3 BUILDING 01 - WEST
SCALE: 1 : 100



4 BUILDING 01 - NORTH
SCALE: 1 : 100



5 BUILDING 01 - EAST
SCALE: 1 : 100

ELEVATION LEGEND		
01	MATERIAL: FIBER CEMENT HORIZONTAL LAP SIDING MANUFACTURER: JAMES HARDIE OR EQUAL SERIES: HARDIE PLANK - LAP SIDING BASE COLOR: MIDNIGHT BLACK ALTERNATE COLOR: HARDIE RUSTIC SERIES - BLACK CANYON	
02	MATERIAL: FIBER CEMENT VERTICAL BOARD AND BATTEN SIDING MANUFACTURER: JAMES HARDIE OR EQUAL SERIES: HARDIE PANEL - VERTICAL SIDING (SMOOTH) - BOARD & BATTEN BASE COLOR: MIDNIGHT BLACK ALTERNATE COLOR: HARDIE RUSTIC SERIES - BLACK CANYON	
03	MATERIAL: FIBER CEMENT HORIZONTAL LAP SIDING MANUFACTURER: JAMES HARDIE OR EQUAL SERIES: RUSTIC SERIES- WOOD LOOK (HARDIE PLANK - LAP SIDING) COLOR: SUMMER WHEAT	
04	MATERIAL: CULTURED STONE VENEER MANUFACTURER: CANADIAN STONE INDUSTRIES (CSI) OR EQUAL SERIES: PRO-FIT LEDGESTONE COLOR: PLATINUM	
05	MATERIAL: FIBER CEMENT TRIM MANUFACTURER: JAMES HARDIE OR EQUAL SERIES: HARDIE TRIM (SMOOTH) BASE COLOR: MIDNIGHT BLACK ALTERNATE COLOR: HARDIE RUSTIC SERIES - BLACK CANYON	
06	MATERIAL: STANDING SEAM METAL ROOF MANUFACTURER: JAY'S METAL PRODUCTS OR EQUAL SERIES: STANDING SEAM 150 COLOR: BLACK	
07	MATERIAL: ANODIZED ALUMINUM GLAZED CURTAIN WALL SYSTEM COLOR: FRAME - BLACK GLASS: CLEAR	
08	MATERIAL: PRE-FINISHED ALUMINUM ENTRANCE DOOR COLOR: FRAME - BLACK COLOR: PANEL - WOOD FINISH GLASS: CLEAR	
09	MATERIAL: METAL AWNING CANOPY WITH TIE BACK COLOR: BLACK	
10	MATERIAL: METAL AWNING CANOPY (STANDING SEAM) COLOR: ROOF - DARK GREY COLOR: FRAME - BLACK	
11	MATERIAL: PREFINISHED WALL MOUNTED GOOSE NECK LIGHT WITH EXTENDED ARM (REFER TO ELECTRICAL) STYLE: FARMHOUSE BARN STYLE COLOR: BLACK	
12	MATERIAL: METAL SIGNAGE SIZE AND DESIGN TBD PER TENANT REQUIREMENT	
13	MATERIAL: WALL SCONCE LIGHT (REFER TO ELECTRICAL) STYLE: FARMHOUSE BARN STYLE COLOR: BLACK	
14	MATERIAL: RAINWATER LEADER AND DOWNSPOUTS COLOR: BLACK	
15	MATERIAL: EXTERIOR PERGOLA (REFER TO LANDSCAPE) COLOR: WOOD FINISH	
16	MATERIAL: METAL BLADE SIGNS COLOR: WOOD FINISH COLOR: FRAME - BLACK	
17	MATERIAL: INSULATED METAL EXTERIOR DOOR COLOR: FRAME - BLACK COLOR: PANEL - TO MATCH ADJOINING FINISH	
18	MATERIAL: EXTERIOR PREFINISHED METAL COLOR: BLACK	
19	MATERIAL: EXTERIOR METAL FINISHED TO MATCH WOOD LOOK COLOR: TO MATCH 08	
20	MATERIAL: PREFINISHED METAL VENTED SOFFIT MANUFACTURER: T.B.D. COLOR: BLACK COLOR TO MATCH THE FASCIA	
	01 MATERIAL: FIBER CEMENT HORIZONTAL LAP SIDING MANUFACTURER: JAMES HARDIE OR EQUAL SERIES: HARDIE PLANK - LAP SIDING COLOR: T.B.D BY OWNER	
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	04 MATERIAL: CULTURED STONE VENEER MANUFACTURER: CANADIAN STONE INDUSTRIES (CSI) OR EQUAL SERIES: PRO-FIT LEDGESTONE COLOR: PLATINUM	
NOTES		
	STONE VENEER	
	FIBER CEMENT BOARD - LAP SIDING	
	STANDING SEAM METAL ROOF	
	FIBER CEMENT BOARD - BOARD AND BATTEN	
	MULLIONS: WHITE	
	MULLIONS: BLACK	

DATE	ISSUED FOR	REV
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Project Component		
Key Plan		
Consultants		
Survey:	WATT CONSULTING GROUP	
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Architecture:	NORR	
Structural:	CORNERSTONE GROUP	
Mechanical:	SMITH + ANDERSON	
Electrical:	SMITH + ANDERSON	
Interiors:	TBD	
Landscaping:	GROUNDSCUBED	
Seal(s)		
2		
NORR		
2300, 411 – 1st Street SE Calgary, AB, Canada T2G 4Y5 norr.com		
NORR Architects Engineers Planners A Partnership of Corporations From International Architecture Associates (Inc), Power Architecture Holdings (Inc) Jonathan Hughes, Architect, AAA, OAA, ABC, MAA, AANS, AAFE Andrew Tordella, P.Eng., APEGA Chris Pal, P.Eng., APEGA		
Project Manager D. BLAIR		Drawn A.GERMANESE / S.KARVETI
Project Leader D.BLAIR		Checked D.BLAIR
Client SECTION23		
320, 110 Quarry Park Blvd. SE Calgary, AB T2C 3G3		
Project HARVEST MARKET		
CALGARY, ALBERTA, CANADA		
Drawing Title BUILDING 01 - ELEVATIONS		
Scale As indicated		
Project No. RT1125-0147		
Drawing No. DP40-01		
ISO A1 Title Block - v.2023 - Rev (Sep/23) - Copyright © 2023		

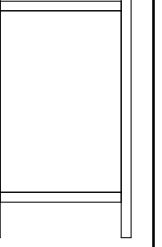
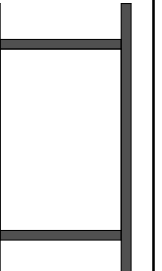
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2026-00656 MAY 22 2026
THESE DRAWINGS REFER TO THE
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5/14/2026 4:43:34 PM

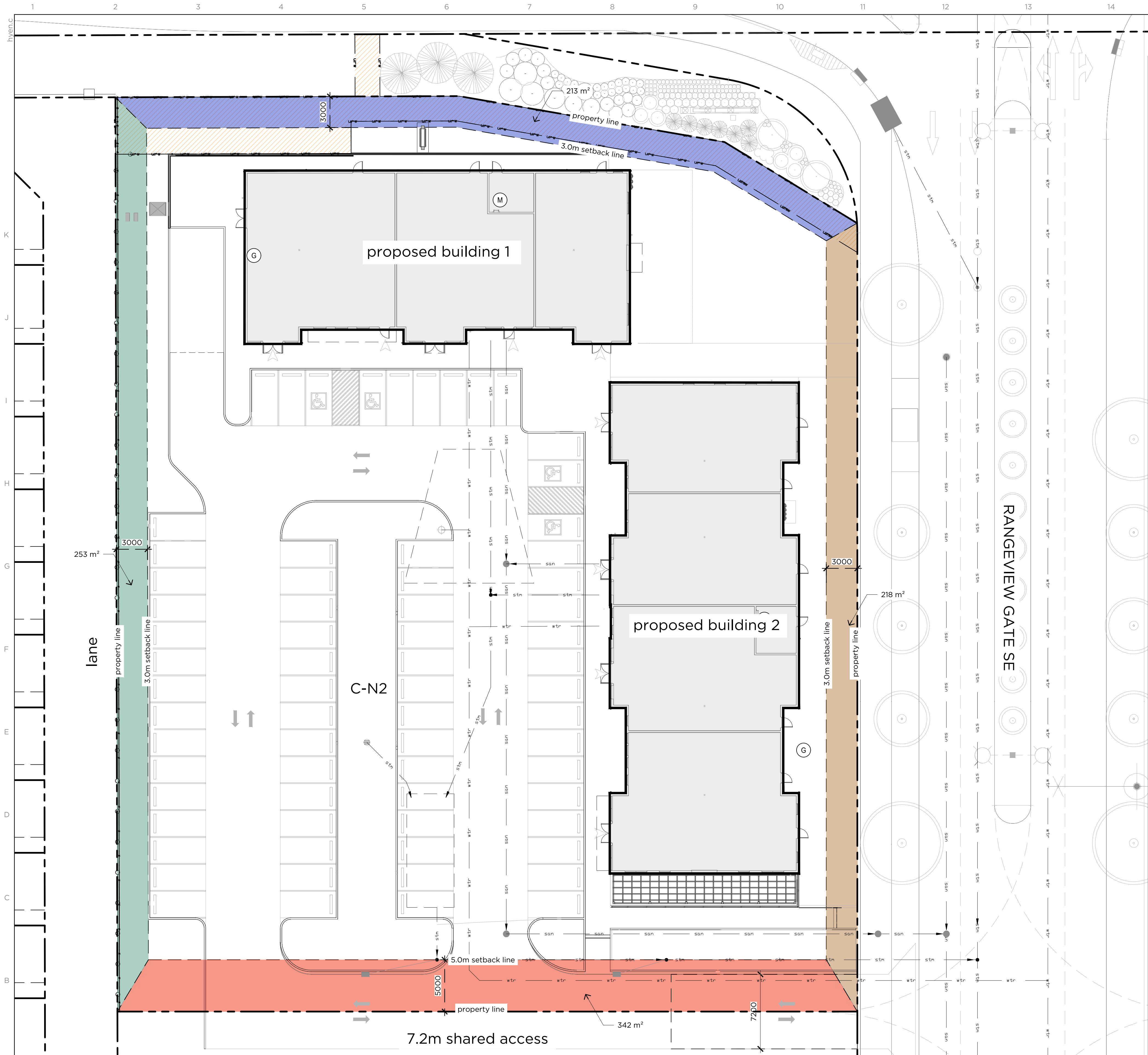
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ELEVATION LEGEND	
01	MATERIAL: FIBER CEMENT HORIZONTAL LAP SIDING MANUFACTURER: JAMES HARDIE OR EQUAL SERIES: HARDIE PLANK - LAP SIDING BASE COLOR: MIDNIGHT BLACK ALTERNATE COLOR: HARDIE RUSTIC SERIES - BLACK CANYON
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05	MATERIAL: FIBER CEMENT TRIM MANUFACTURER: JAMES HARDIE OR EQUAL SERIES: HARDIE TRIM (SMOOTH) BASE COLOR: MIDNIGHT BLACK ALTERNATE COLOR: HARDIE RUSTIC SERIES - BLACK CANYON
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08	MATERIAL: PRE-FINISHED ALUMINUM ENTRANCE DOOR COLOR: FRAME - BLACK COLOR: PANEL - WOOD FINISH GLASS: CLEAR
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Seal(s)		
NORR		
2300, 411 – 1st Street SE Calgary, AB, Canada T2G 4Y5 norr.com NORR Architects Engineers Planners A Partnership of Corporations From: Katherine Anderson, Architect, AIA, OAA, AIBC, MAA, AANS, AAPE Andrew Todtke, P. Eng., APEGA Chris Pal, P. Eng., APEGA		
Project Manager D.BLAIR	Drawn A.GERMANESE / S.KARVETI	
Project Leader D.BLAIR	Checked D.BLAIR	
Client		SECTION23
320, 110 Quarry Park Blvd. SE Calgary, AB T2C 3G3		Project HARVEST MARKET
CALGARY, ALBERTA, CANADA		Drawing Title BUILDING 02 - ELEVATIONS
Scale As indicated		
Project No. RT1125-0147		
Drawing No. DP40-02		
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PA2 - Commercial Development\25.0214 - Rangeview Retail Project\02 Drawings\04 Design Development\25.0214 Layouts - DTR.dwg



landscape area calculation legend

- property line
- proposed water line
- proposed sanitary line
- proposed storm line
- north setback area
- east setback area
- west setback area
- south setback area
- existing utility right of way

landscape area calculations

landscape area calculations are based on the city of Calgary land-use bylaw 1p2007, part 7, division 3, c-n2 (commercial - neighborhood 2).

- requirement summary**
- all setback areas are to be used in area calculation and must be comprised of softscape elements.
 - for parcels sharing a property line with a street, planting requires 1.0 tree and 2.0 shrubs per 35 m².
 - for parcels sharing a property line with a residential district, plantings require 1.0 tree per 30 m².
 - 25% of the total tree count must be coniferous trees.
 - coniferous trees must have a minimum of 2.0m height and 50% must have a minimum of 3.0m height at the time of planting.
 - deciduous trees must have a minimum 50mm caliper and 50% must have a minimum of 75mm caliper at the time of planting.
 - shrubs must be a minimum height or spread of 0.6m at the time of planting.

total setback area provided = 1,026 m²

north setback area required trees (213 m² / 35 m²)

- 7 trees, 14 shrubs

east setback area required trees (218 m² / 35 m²)

- 7 trees, 14 shrubs

south setback area total required trees (337 m² / 30 m²)

- 12 trees

west setback area required shrubs (253 m² / 30 m²)

- 9 trees

tree totals required

= 35

deciduous trees

= 26

- minimum 75mm caliper

= 13

- minimum 50mm caliper

= 13

coniferous trees

= 9

- minimum 3.0m ht

= 5

- minimum 2.0m ht

= 4

tree totals provided

= 45

deciduous trees

= 31

- 75mm caliper

= 17

- 50mm caliper

= 14

coniferous trees

= 14

- 3.0m ht

= 8

- 2.0m ht

= 6

shrubs

= 214

section 699 - screening

- fencing should be a maximum of 2.0m height on parcels that share a property line with a residential district, a special purpose district, or a lane.

west side will be provided a 1.8m high wooden screen fence. south property line cannot be provided with a screening due to the shared access with south parcel.

DEVELOPMENT
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AMENDED DRAWINGS
DP No Date Received
DP2026-00656 MAY 22 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

general notes

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- disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.

irrigation notes

- all soft-surfaced landscape areas to be irrigated by an automatic underground irrigation system.



issue / revision	date	no.
issued for development permit	26/01/29	1
issued for 75% drawings	26/03/12	2
issued for 90% drawings	26/04/01	3
issued for dtr 1	26/04/16	4
issued for dtr 2	26/05/22	5

project
harvest market

drawn
hc

checked
js

approved
js

project #
25.0214

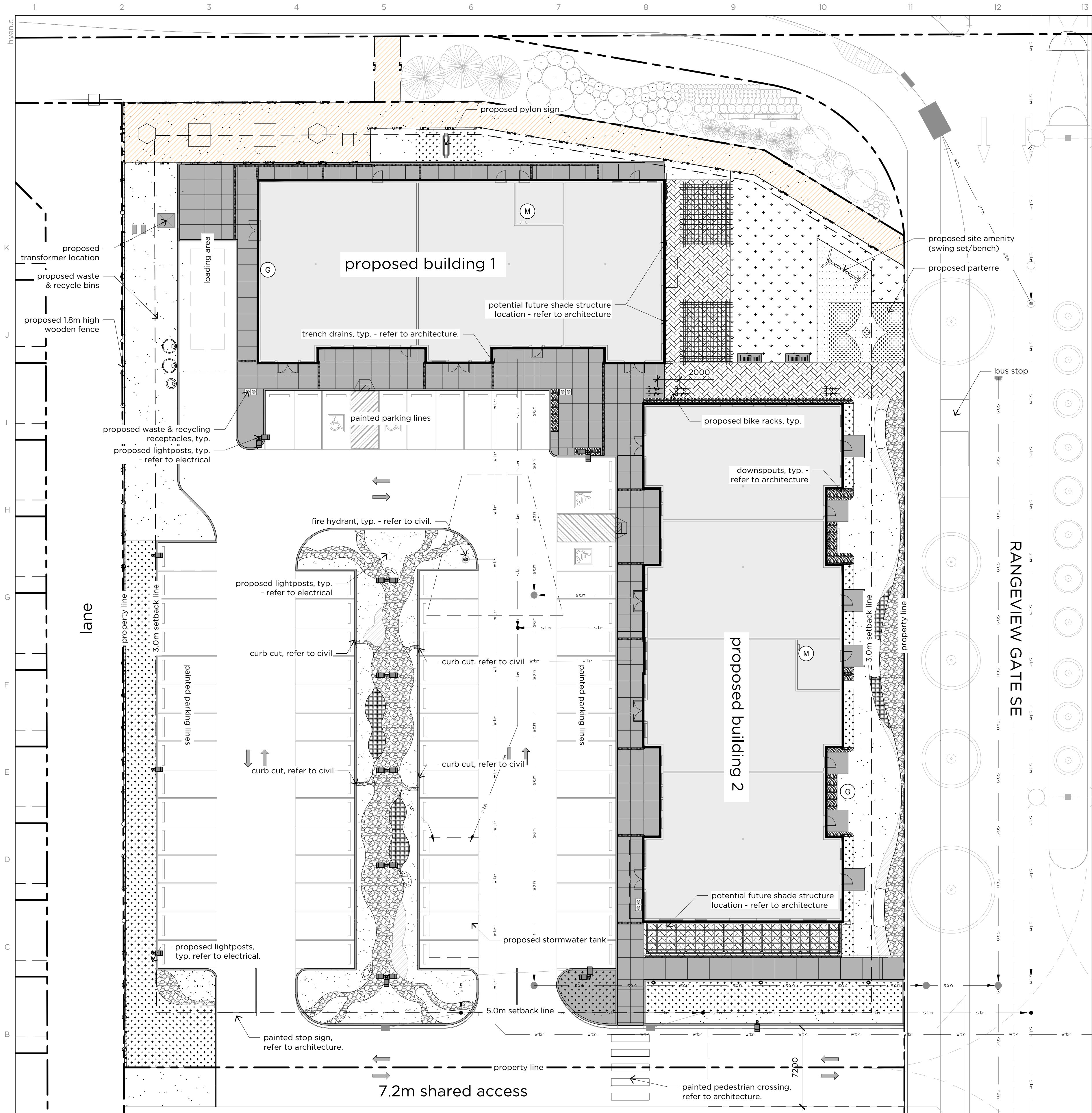
date
2026/05/22

drawing
landscape bylaw plan

N

sheet
L0.01

PA2 - Commercial Development\25.0214 - Rangeview Retail Project\02 Drawings\04 Design Development\25.0214 Layouts - DTR.dwg



landscape plan legend

	property line		proposed limestone fines
	setback line		proposed maintenance rock mulch strip
	proposed water line		proposed washed river rock mulch
	proposed sanitary line		proposed concrete pavement
	proposed storm line		symbol denotes decorative boulders
	proposed 1.8m high wooden fence		symbol denotes custom rangeview benches
	existing utility right of way		symbol denotes custom rangeview waste & recycling receptacles
	proposed kentucky blue grass sod on 300mm raw loam		
	proposed naturalized grass seed mix on 300mm raw loam		
	proposed 75mm montane mulch		
	proposed herringbone pavers		

general notes

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project	harvest market
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drawn	hc	checked	js	approved	js
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project #	25.0214	date	2026/05/22
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drawing	overall landscape plan
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	sheet	L1.01
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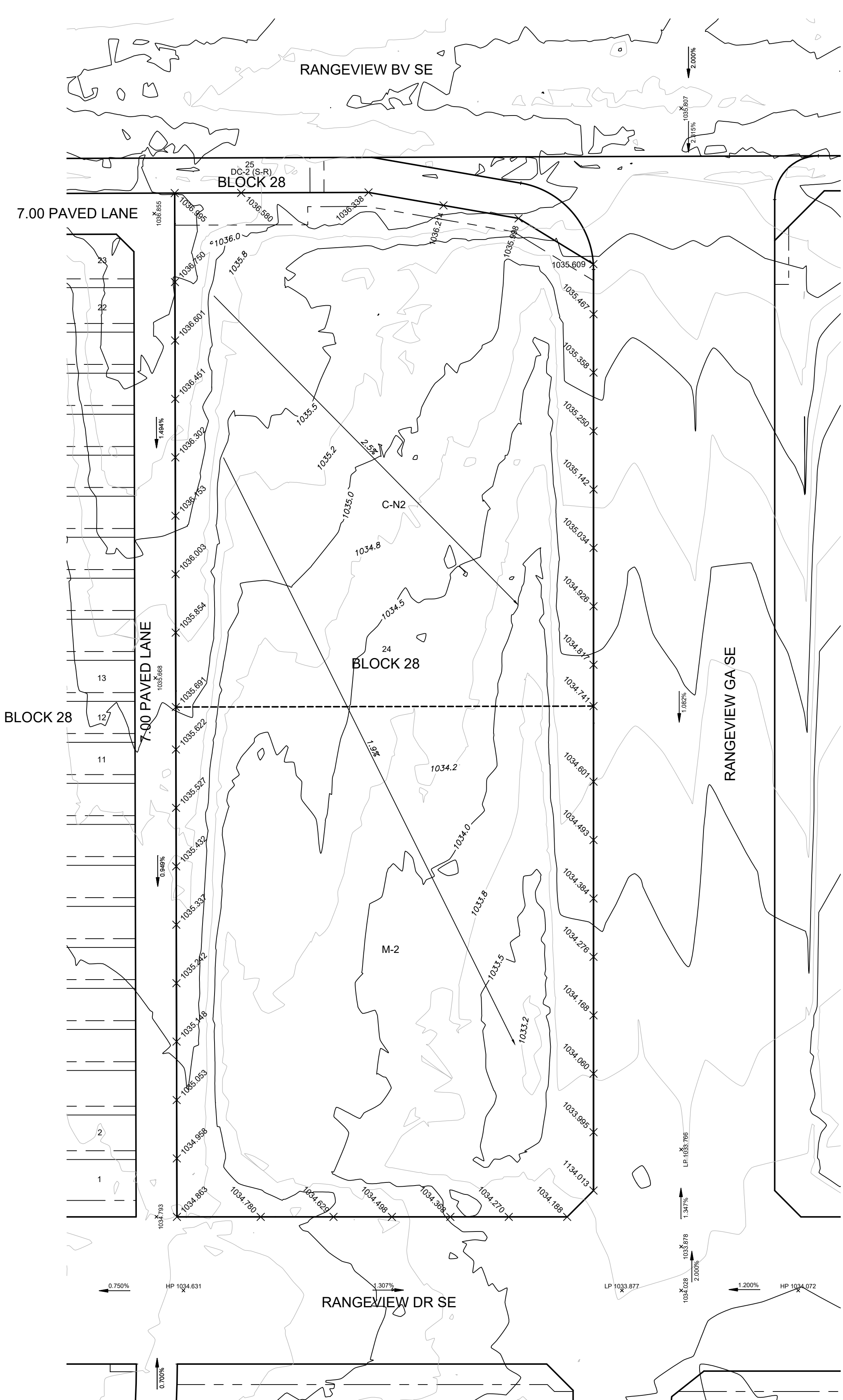


AMENDED DRAWINGS
DP No DP2026-00656 Date Received MAY 22 2026
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A1 landscape layout plan

L1.01 1:200

AMENDED DRAWINGS
DP No Date Received
DP2026-00656 JUNE 1, 2026
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NOTES

1. CONTOURS REFLECT EXISTING ROUGH GRADE SURVEYED 2023-09-13.
2. ELEVATIONS AT PROPERTY LINE ARE FINISHED GROUND.



NAD 83
COORDINATES

ISSUED FOR REVIEW

0	ISSUED FOR REVIEW	2024-11-07	JMC	JR
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

PERMIT	STAMP

	BY	DATE (YYYY-MM-DD)
DESIGNED	JR/ACW	2023-03-15
DRAWN	JMC	2023-03-20
CHECKED	SW	2023-07-10
SCALE	0 10 20 m 1:500	



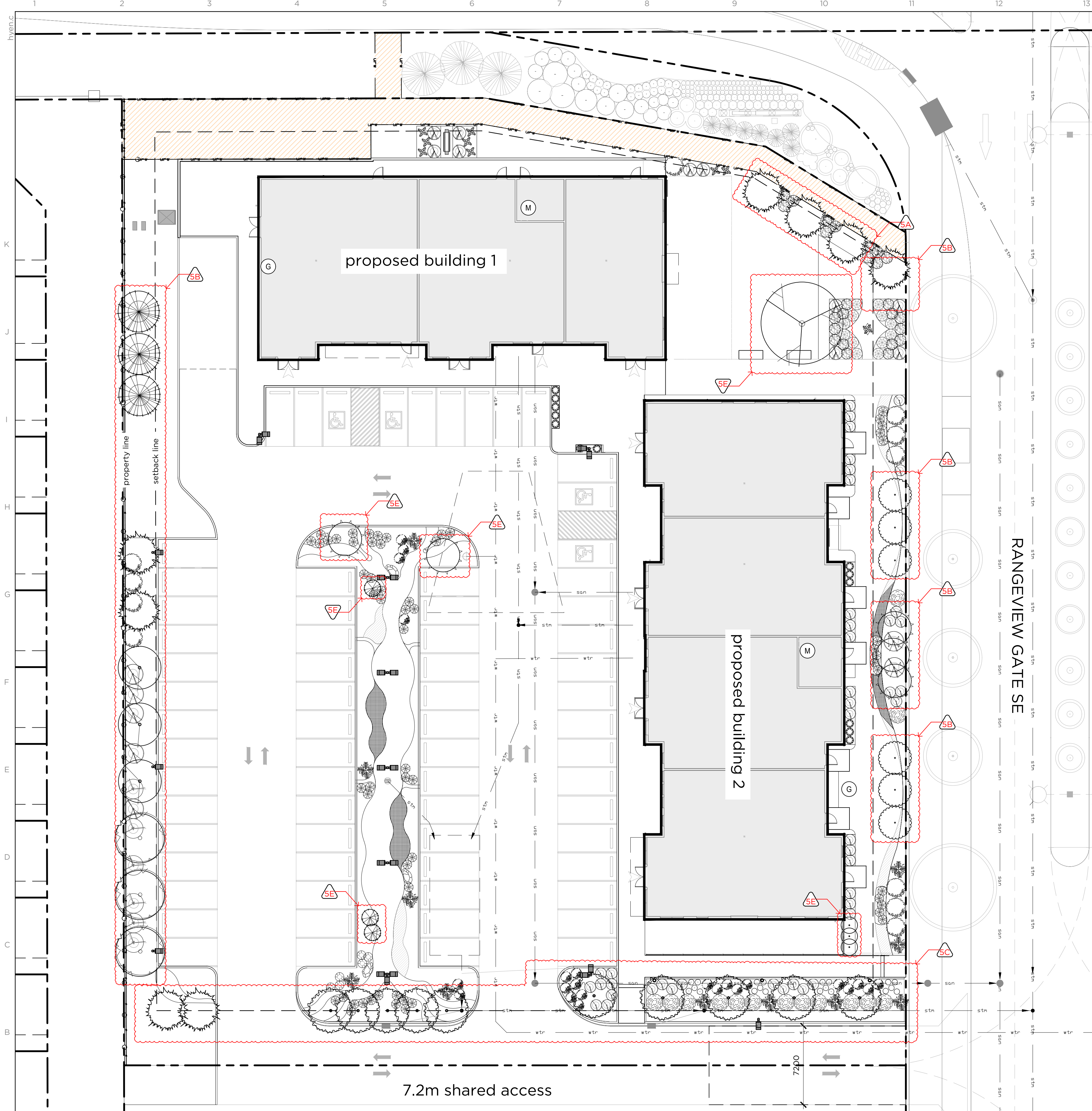
PROJECT	RANGEVIEW PHASE 5
SEC: 23 - TWP: 22 - RGE: 29 - W 4th M	

SHEET TITLE			
MULTI-FAMILY SITE (M-2) & (C-N2) LOT 24 BLK 28 SITE GRADING			
FILE NO. 00092025-50-MF Site Grading.dwg		ENG DWG NO.	
SHEET ID. 001		SHEET NO.	
	BY	DATE (YYYY-MM-DD)	PROFILE NO.
DRAWN			

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS AND/OR OMISSIONS SHALL BE REPORTED TO EXP SERVICES INC.

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landscape plan legend

- property line
- setback line
- proposed water line
- proposed sanitary line
- proposed storm line
- proposed 1.8m high wooden fence

proposed plant list for trees

number	symbol	description	
45		deciduous trees = 31	coniferous trees = 14
3 north setback area			
3		large coniferous trees - 3.0m ht	
		• swiss stone pine	<i>pinus cembra</i>
10 east setback area			
9		medium ornamental deciduous trees - 50mm caliper	
		• thunderchild crabapple	<i>malus 'thunderchild'</i>
		• showy mountain ash	<i>sorbus decora</i>
1		large coniferous trees - 3.0m ht	
		• swiss stone pine	<i>pinus cembra</i>
12 south setback area			
10		medium ornamental deciduous trees - 75mm caliper	
		• schubert chokecherry	<i>prunus virginiana 'schubert'</i>
2		large coniferous trees - 3.0m ht	
		• swiss stone pine	<i>pinus cembra</i>
11 west setback area			
3		large shade deciduous trees - 75mm caliper	
		• patmore green ash	<i>fraxinus pennsylvanica 'patmore'</i>
3		medium ornamental deciduous trees - 75mm caliper	
		• dolgo apple	<i>malus 'dolgo'</i>
2		large coniferous trees - 3.0m ht	
		• swiss stone pine	<i>pinus cembra</i>
3		small coniferous trees - 2.0m ht	
		• scott sentinel pine	<i>pinus sylvestris 'fastigiata'</i>
9 trees outside of setback areas			
1		large shade deciduous trees - 75mm caliper	
		• brandon elm	<i>ulmus americana 'brandon'</i>
5		medium ornamental deciduous trees - 50mm caliper	
		• showy mountain ash	<i>sorbus decora</i>
		• swedish columnar aspen	<i>populus tremula 'erecta'</i>
3		small coniferous trees - 2.0m ht	
		• brandon white cedar	<i>thuja occidentalis 'brandon'</i>

proposed plant list for shrubs

number	symbol	description	
214		total overall shrubs - 214 total provided at 600 mm sp/ht minimum	
20		• dwarf european cranberry	<i>viburnum opulus 'nanim'</i>
		• blue ice bog rosemary	<i>andromeda polifolia 'blue ice'</i>
		• phenomenal lavender	<i>lavandula x intermedia 'phenomenal'</i>
19		• gold star potentilla	<i>potentilla fruticosa 'gold star'</i>
		• abbotswood potentilla	<i>potentilla fruticosa 'abbotswood'</i>
115		• western sandcherry	<i>prunus besseyi</i>
		• blue star juniper	<i>juniperus squamata 'blue star'</i>
		• wild rose	<i>rosa woodsii</i>
		• campfire rose	<i>rosa 'campfire'</i>
		• dwarf arctic willow	<i>salix purpurea 'nana'</i>
36		• snowbelle mockorange	<i>philadelphus 'snowbelle'</i>
		• alpine currant	<i>ribes alpinum</i>
		• black currant	<i>ribes nigrum</i>
		• fireside' ninebark	<i>physocarpus opulifolius 'fireside'</i>
24		• wolf willow	<i>elaeagnus commutata</i>
		• saskatoon	<i>amelanchier alnifolia</i>
		• red osier dogwood	<i>cornus sericea 'farrow'</i>

proposed plant list for ornamental grasses

number	symbol	description	
165		total overall ornamental grasses - 165	
61		• elijah blue fescue	<i>festuca glauca 'elijah blue'</i>
44		• western wheat grass	<i>pascopyrum smithii</i>
60		• karl foerster reed grass	<i>calamagrostis x acutiflora 'karl foerster'</i>

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bylaw notes

5A	trees in north setback. (3)
5B	trees in east setback. (10)
5C	trees in south setback. (12)
5D	trees in west setback. (11)
5E	trees outside setback. (12)



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