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NORR

2300, 411 – 1st Street SE
 Calgary, AB, Canada T2G 4Y5
 norr.com

NORR Architects Engineers Planners
 A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc., Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
 Adrian Todella, P.Eng., APEGA
 Chris Pal, P.Eng., APEGA

HARVEST MARKET

CALGARY, ALBERTA, CANADA

DEVELOPMENT PERMIT: DP2026-00656
 NORR PROJECT NUMBER: RT1125-0147



ALLISON CLARK

320, 110 QUARRY PARK BLVD. SE
 CALGARY, AB T2C 3G3
 403-252-1234

DR2 RESPONSE - MAY 21, 2026

SURVEY WATT CONSULTING GROUP 1300-736 6 AVE SW CALGARY, ALBERTA T2P3T7 403-463-6609	CIVIL WATT CONSULTING GROUP 1300-736 6 AVE SW CALGARY, ALBERTA T2P3T7 403-463-6609	ARCHITECTURE NORR 2300, 411 – 1ST STREET SE CALGARY, AB, T2G 4Y5 403-264-4000	STRUCTURAL CORNERSTONE GROUP #280 200 RIVERCREST DRIVE SE CALGARY, AB, T2C 2X5 825-965-9271
MECHANICAL SMITH + ANDERSON 1205, 330 - 5TH AVE SW CALGARY, ALBERTA T2P 0L4 403-806-2539	ELECTRICAL SMITH + ANDERSON 1205, 330 - 5TH AVE SW CALGARY, ALBERTA T2P 0L4 403-806-2536	LANDSCAPE GROUND CUBED 6020 2ND STREET SE CALGARY, AB T2H 2L8 403-975-4747	

AMENDED DRAWINGS
 DP No Date Received
 DP2026-00656 MAY 22 2026
 THESE DRAWINGS REFER TO THE
 ABOVE DEVELOPMENT PERMIT NO.

Site Information

LAND USE DISTRICT	C-N2	COMMERCIAL - NEIGHBOURHOOD 2
LEGAL DESCRIPTION	PLAN 2510865	BLOCK 28 LOT 45
MUNICIPAL ADDRESS	43 RANGEVIEW GA SE, CALGARY	
COMMUNITY	RANGEVIEW	CALGARY
SITE AREA	6,160.0 SM	66,305.7 SF
	1.52 AC	0.62 HA

Development Statistics

PROPOSED USE	RETAIL / RESTAURANT	
FAR		
Base	1.00	6,160.0 SM
Proposed	0.23	1,415.6 SM
BUILDING HEIGHT	REQUIRED	PROPOSED
MAXIMUM	10M	7.73 M
LANDSCAPE COVERAGE	REQUIRED	PROPOSED
	-	-
BUILDING SETBACKS	REQUIRED	PROPOSED
North	3.0 M	4.29 M
South	5.0 M	13.37 M
East	3.0 M	5.67 M
West	3.0 M	12.44 M

Vehicle Parking Provided

TYPE	REQUIREMENT	REQUIRED STALLS	PROVIDED STALLS
OVERALL			69
CRU 1	COMMERCIAL RETAIL	-	-
CRU 2	COMMERCIAL RETAIL	-	-
CRU 3	COMMERCIAL RETAIL	-	-
CRU 4	COMMERCIAL RETAIL	-	-
CRU 5	COMMERCIAL RETAIL	-	-
CRU 6	COMMERCIAL RETAIL	-	-
CRU 7	COMMERCIAL RETAIL	-	-
	Total Stalls	0	69
	Deficiency		
	Surplus		69
Barrier Free Parking required	1 BF stall per 25 for first 100	69	3
	1 BF stall per additional 100	0	0
	TOTAL BF STALLS REQUIRED	3	

Bicycle Parking

TYPE	REQUIREMENT	REQUIRED STALLS	PROVIDED STALLS
Building 1		2	2
Class 1	-	-	-
Class 2	0.004 / SM OF GFA	2	2
Building 2		3	3
Class 1	-	-	-
Class 2	0.004 / SM OF GFA	3	3
Total Bike Stalls		6	6

4 ZONING MAP
DP10-01 SCALE: 1:5000



01



02



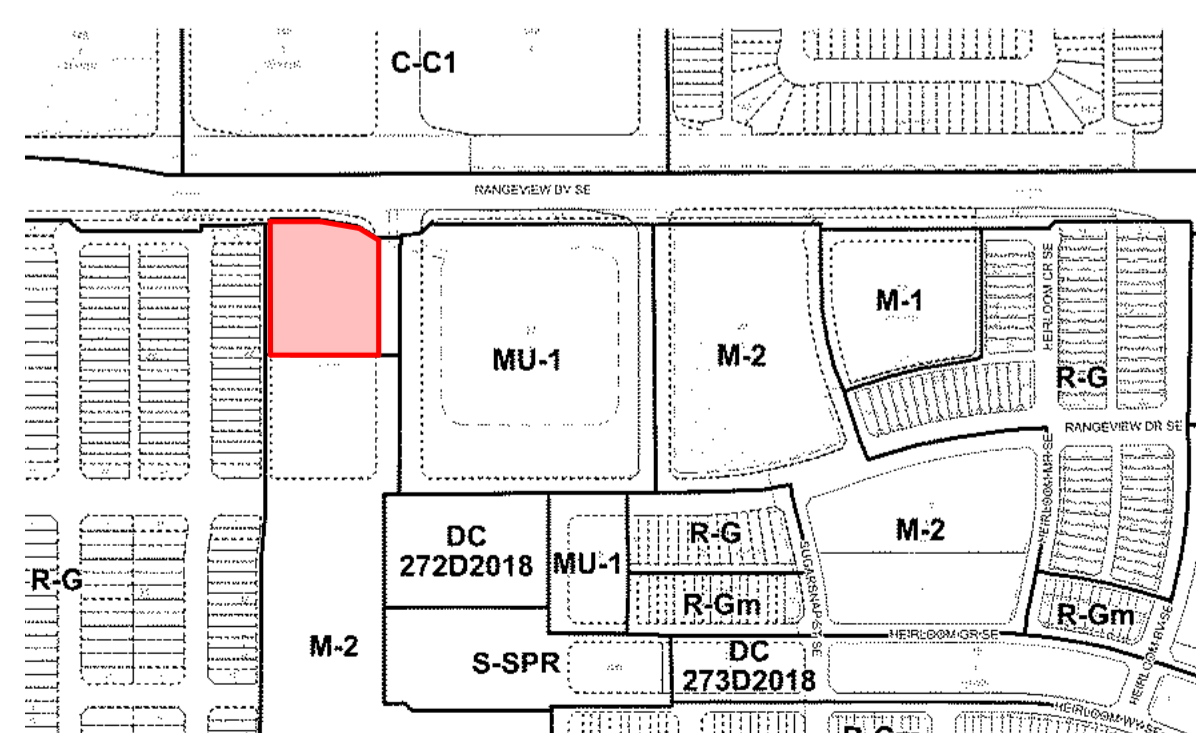
03 SITE IMAGES

Building Areas

COMMERCIAL AREA	PROPOSED USE	SM	SF
Building 1	CONVENIENCE FOOD STORE	232.26	2,500.03
CRU 2	RETAIL & CONSUMER SERVICE	195.41	2,103.38
CRU 3	RESTAURANT - LICENSED	148.65	1,600.06
SERVICE	MECH./ELEC. ROOM	19.63	211.30
		596.0 SM	6,415 SF

Building 2	PROPOSED USE	SM	SF
CRU 4	HEALTH CARE SERVICE	185.81	2,000.04
CRU 5	HEALTH CARE SERVICE	185.81	2,000.04
CRU 6	RETAIL & CONSUMER SERVICE	194.67	2,095.41
CRU 7	RESTAURANT - LICENSED	232.26	2,500.03
SERVICE	MECH./ELEC. ROOM	21.05	226.58
		819.6 SM	8,822 SF

OVERALL TOTAL	1,415.6 SM	15,236.9 SF
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DRAWING LIST - ARCHITECTURAL (DP SET)

- DP00-00 COVER SHEET
- DP10-01 SITE STATISTICS AND VICINITY PLAN
- DP10-02 OVERALL SITE PLAN
- DP10-03 W & R TRUCK SWEEP PATH, W&R DETAILS
- DP10-04 FIRE TRUCK SWEEP PATH
- DP10-05 LOADING TRUCK SWEEP PATH & SIGHT LINE STUDY
- DP10-06 PYLON SIGN
- DP10-07 3D RENDERINGS
- DP20-01 BUILDING 01 - FLOOR & ROOF PLAN
- DP20-02 BUILDING 02 - FLOOR & ROOF PLAN
- DP40-01 BUILDING 01 - ELEVATIONS
- DP40-02 BUILDING 02 - ELEVATIONS
- DP43-01 OVERALL BUILDING SECTIONS - BUILDING 01
- DP43-02 OVERALL BUILDING SECTIONS - BUILDING 02

DRAWING LIST - ELECTRICAL

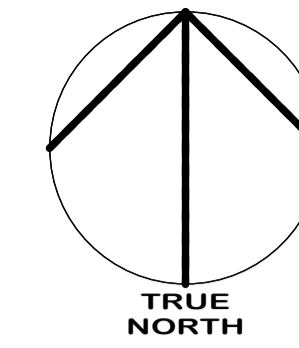
- DPE0.0 COVER & DRAWING LIST ELECTRICAL
- DPE0.1 ELECTRICAL LEGENDS
- DPE1.0 SITE PLAN - ELECTRICAL
- DPE1.1 SITE PLAN - PHOTOMETRIC CALCULATIONS
- DPE2.0 ELECTRICAL SCHEDULES

DRAWING LIST - CIVIL

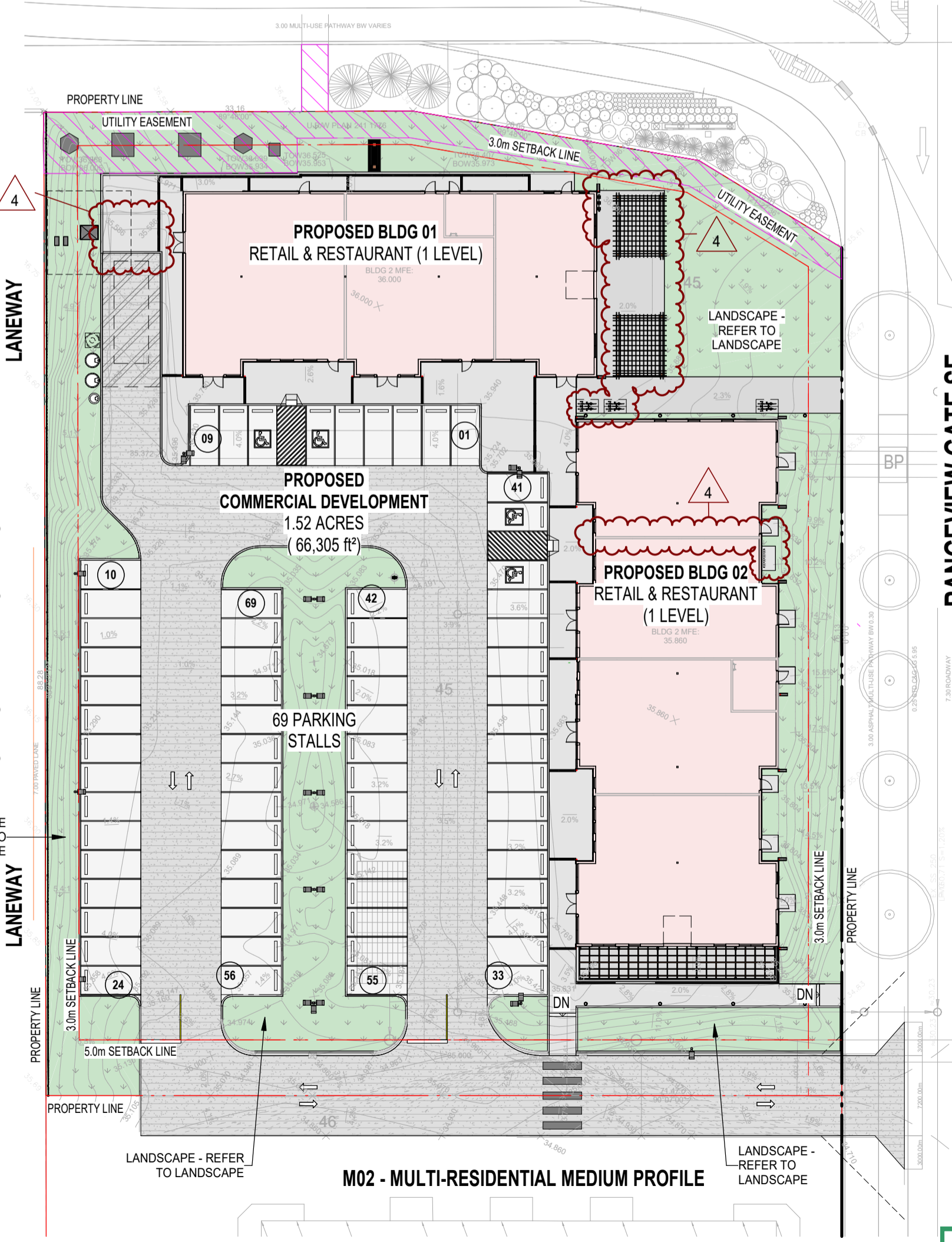
- C01 SITE SERVING PLAN
- C02 SITE GRADING PLAN
- C03 STORM WATER MANAGEMENT PLAN

DRAWING LIST - LANDSCAPE

- L0.01 LANDSCAPE BYLAW PLAN
- L0.02 OVERALL LANDSCAPE PLAN
- L1.01 LANDSCAPE LAYOUT PLAN
- L1.02 LANDSCAPE LAYOUT PLAN
- L2.01 LANDSCAPE PLANTING PLAN
- L2.02 LANDSCAPE PLANTING PLAN



1 VICINITY MAP
DP10-01 SCALE: 1:5000



2 ENLARGED SITE PLAN
DP10-01 SCALE: 1:400

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DATE	ISSUED FOR	REV
2026-01-28	ISSUED FOR DEVELOPMENT PERMIT	1
2026-02-23	REISSUED FOR DEVELOPMENT PERMIT	2
2026-04-17	DR1 RESPONSE	3
2026-05-21	DR2 RESPONSE	4

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Project Component

Key Plan

Consultants
Survey: WATT CONSULTING GROUP
Civil: WATT CONSULTING GROUP
Architecture: NORR
Structural: CORNERSTONE GROUP
Mechanical: SMITH + ANDERSON
Electrical: SMITH + ANDERSON
Interiors: TBD
Landscape: GROUNDCLUBED

Seal(s)

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Andrew Tolson, P. Eng., APEGA
Chris Pal, P. Eng., APEGA

Project Manager
D. BLAIR
Drawn
A.GERMANESE / S.KARVETI

Project Leader
D.BLAIR
Checked
D.BLAIR

Client
SECTION23

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3
Project
HARVEST MARKET

CALGARY, ALBERTA, CANADA

Drawing Title
SITE STATISTICS AND VICINITY PLAN

Scale
As indicated

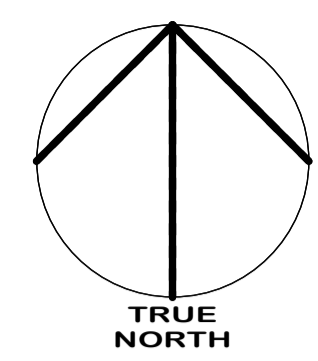
Project No.
RT1125-0147

Drawing No.
DP10-01

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ALL WORK WITHIN PROXIMITY TO ENMAX FACILITIES IS TO COMPLY AND BE IN ACCORDANCE WITH ENMAX GROUND DISTURBANCE GUIDELINES

RANGEVIEW BV SE



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NOTES

- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS, WALKWAYS AND FEATURES.
- REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING.
- NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED.
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.).
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
- ALL INFORMATION ABOUT SITE SERVICES, PEDESTALS, CONDUIT, UTILITY RIGHT OF WAY AND GRADING IS FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
- CAST-IN-PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED - REFER TO CIVIL.
- ALL BUILT ELEMENTS WITHIN THE PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE. NO PARKING ANYTIME/FIRE LANE SIGNAGE TO BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.5m.
- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lbs) LOAD & NFPA 1901-POINT LOAD OF 517kPA OVER 24x24" AREA.
- ALL OFFSITE LOCATIONS SHOWN OF EXISTING INFRASTRUCTURE INCLUDING TREES, EXISTING UG SERVICE LINES, EXISTING ELECTRICAL EQUIPMENT, EXISTING FIRE HYDRANTS, EXISTING BUS ZONES AND EXISTING LIGHTS NOTED FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS AND SURVEY.
- NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE.
- SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS.
- ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT.
- IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN, IF REQUIRED.
- UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING.
- AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEMNIFIED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE(S).
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND SIZING OF TRANSIT ZONES AND TRANSIT PADS.

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- Civil: WATT CONSULTING GROUP
- Architecture: NORR
- Structural: CORNERSTONE GROUP
- Mechanical: SMITH + ANDERSON
- Electrical: SMITH + ANDERSON
- Interiors: TBD
- Landscape: GROUNDCLUB

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Ariyan Tordjani, P.Eng., ARECQA
Chris Pal, P.Eng., APEGA

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D. BLAIR

Drawn

A.GERMANESE / S.KARVETI

Project Leader

D.BLAIR

Checked

D.BLAIR

Client

SECTION23

320, 110 Quarry Park Blvd. SE
Calgary, AB T2C 3G3

Project

HARVEST MARKET

CALGARY, ALBERTA, CANADA

Drawing Title

OVERALL SITE PLAN

Scale

As indicated

Project No.

RT1125-0147

Drawing No.

DP10-02

LANEWAY

1 DP10-03

POTENTIAL TRANSFORMER LOCATION (REFER TO ELECTRICAL)

BOUNDARY GRADES PER RANGEVIEW PHASE 5 DESIGN SURFACE FAC NOT COMPLETE

R-G - RESIDENTIAL - LOW DENSITY

FENCE ALONG PROPERTY LINE REFER TO LANDSCAPE

LANEWAY

1 OVERALL SITE PLAN
SCALE: 1:200

M02 - MULTI-RESIDENTIAL MEDIUM PROFILE

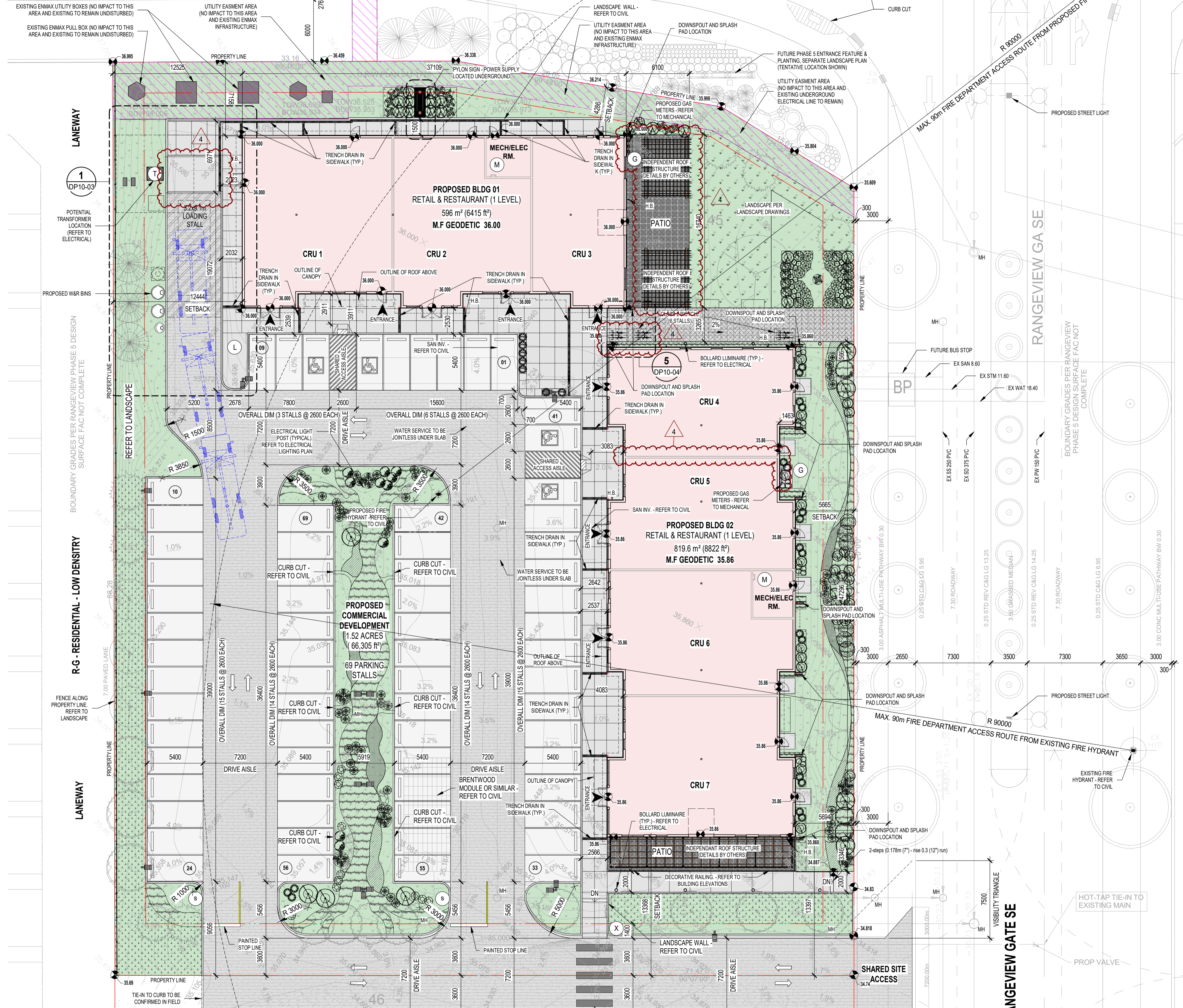
RANGEVIEW GATE SE

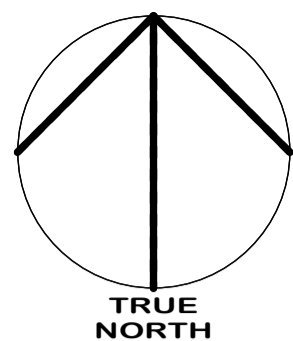
RANGEVIEW GA SE

BOUNDARY GRADES PER RANGEVIEW PHASE 5 DESIGN SURFACE FAC NOT COMPLETE

LEGEND

- FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
- LOADING TRUCK PATH
- WASTE & RECYCLING TRUCK PATH
- PROPERTY LINE - DELINEATES SCOPE OF WORK
- PROPERTY SETBACK LINE
- FIRE DEPARTMENT ACCESS ROUTE FROM FIRE HYDRANT
- UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL
- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lbs) LOAD & NFPA 1901-POINT LOAD OF 517kPA OVER 24x24" AREA
- PRINCIPAL ENTRANCE
- BARRIER FREE PARKING - SYMBOL PAINTED ON ASPHALT
- BARRIER-FREE RAMP (B.F.R.)
- BARRIER-FREE PARKING SIGN (INSTALLED AT ALL RELEVANT LOCATIONS)
- COMMERCIAL PARKING SIGNAGE
- MAIL PARKING SIGNAGE
- VISITOR PARKING SIGNAGE
- CROSSWALK SIGN
- LOADING ZONE / NO PARKING / PRIVATE PARKING SIGN
- ELECTRIC VEHICLE CHARGING STATION (SERVES 2 STALLS) - REFER TO ELECTRICAL
- WATER METER / GAS METER / ELECTRICAL METER - REFER TO CIVIL
- PROPOSED TRANSFORMER AND CONCRETE PAD - REFER TO ELECTRICAL
- FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL
- PAINTED CROSSWALK
- HOSE BIBB
- SITE ELECTRICAL LIGHT POST - REFER TO ELECTRICAL
- BIKE RACK - REFER TO LANDSCAPE DRAWINGS
- AREA DRAIN / CATCH BASIN / MANHOLE - REFER TO CIVIL
- DIRECTION OF TRAVEL
- MAIL BOXES
- EXISTING POWERPOLE
- EXISTING POWERPOLE TO BE REMOVED, SERVICE DISCONNECTED





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Project Leader D.BLAIR	Checked D.BLAIR

Client
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Project
HARVEST MARKET

CALGARY, ALBERTA, CANADA
Drawing Title
3D RENDERINGS

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DP10-07

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