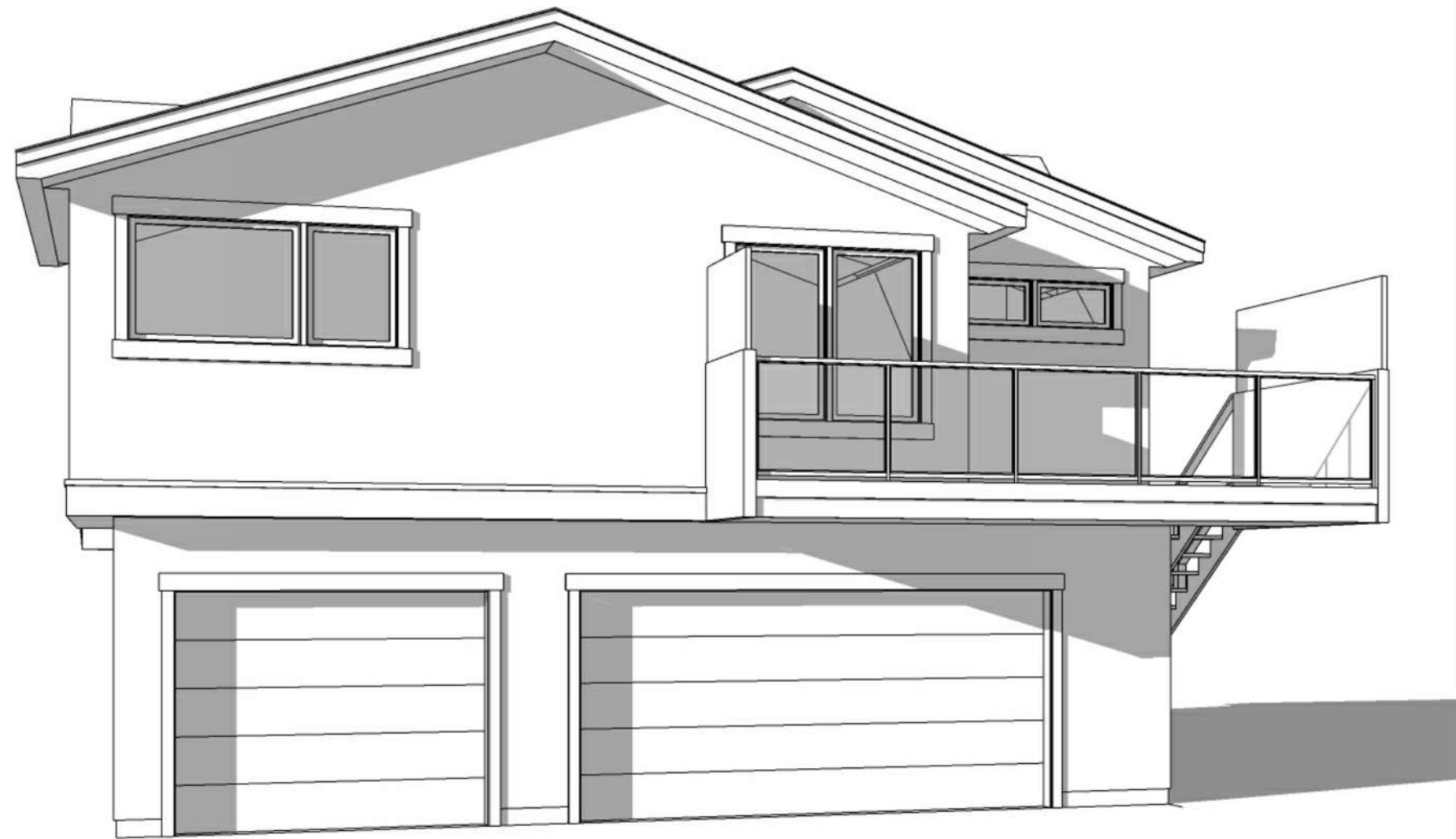
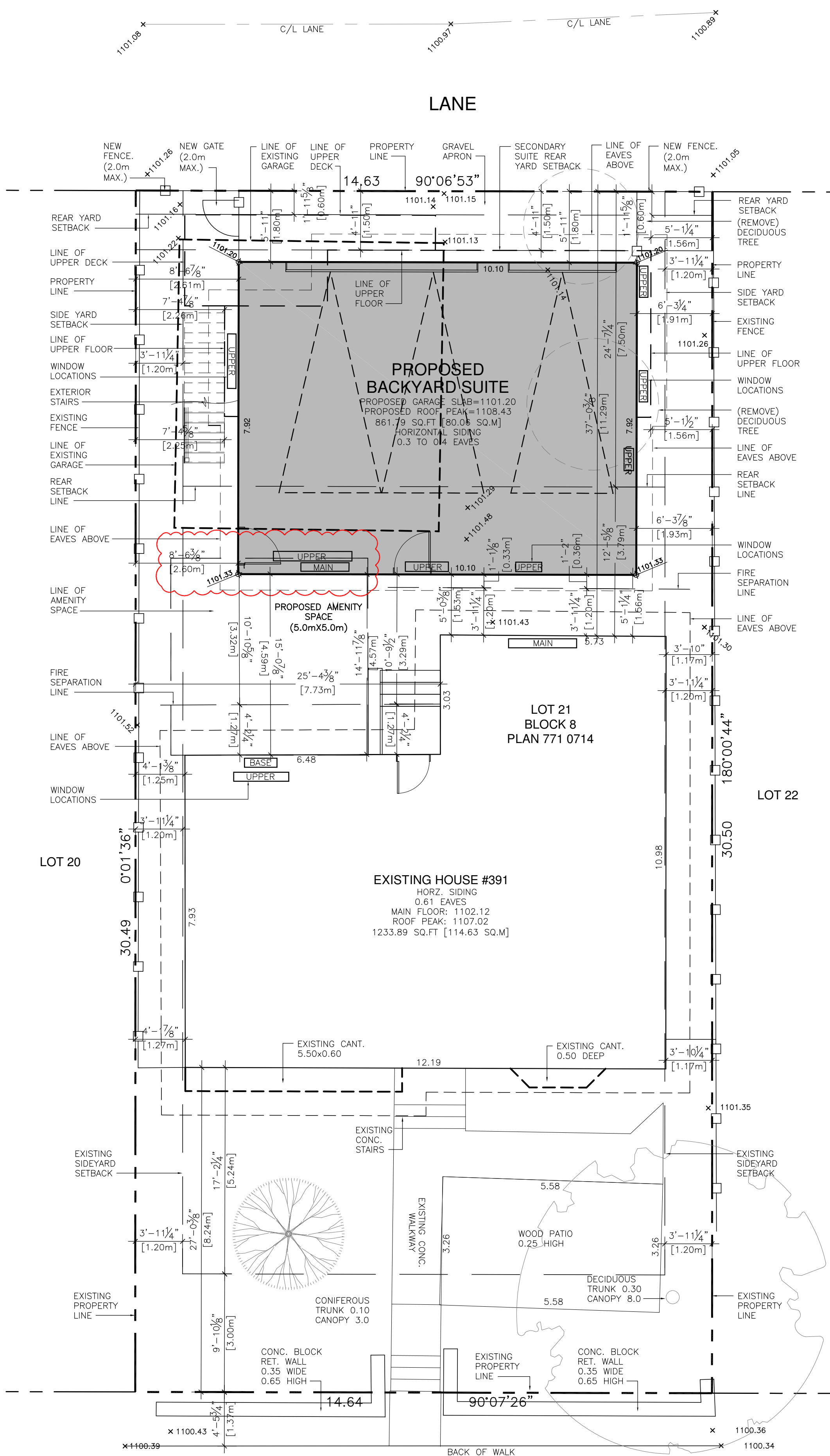




BYLAW INFORMATION - BACKYARD SUITE	
BACKYARD SUITE REAR SETBACK:	(a) 1.5m FOR ANY PORTION OF THE BUILDING USED AS A BACKYARD SUITE; AND (b) 0.6m FOR ANY PORTION OF THE BUILDING USED AS A PRIVATE GARAGE.
BACKYARD SUITE SIDE SETBACK:	1.2m FOR ANY PORTION OF THE BUILDING USED AS A BACKYARD SUITE
BACKYARD SUITE MIN. SEPARATION:	5.0m IS REQUIRED BETWEEN THE CLOSEST FAÇADE OF THE MAIN RESIDENTIAL BUILDING TO THE CLOSEST FAÇADE OF A BACKYARD SUITE. THE MINIMUM FAÇADE SEPARATION IN SUBSECTION (3) MAY BE REDUCED TO 1.5M WHERE AMENITY SPACE IS PROVIDED AT GRADE THAT: (a) IS ADJACENT TO THE MAIN RESIDENTIAL BUILDING AND THE BACKYARD SUITE; AND (b) HAS NO DIMENSION LESS THAN 5.0m.
BACKYARD SUITE HEIGHT(MAX.):	THE MAXIMUM BUILDING HEIGHT FOR A BACKYARD SUITE IS 7.5m. THE MAXIMUM BUILDING HEIGHT FOR A BACKYARD SUITE IS: (a) 5.0 METRES MEASURED FROM GRADE AT A SIDE PROPERTY LINE SHARED WITH A PARCEL DESIGNATED WITH A LOW DENSITY RESIDENTIAL DISTRICT; (b) 3.0 METRES MEASURED FROM GRADE AT A REAR PROPERTY LINE SHARED WITH A PARCEL DESIGNATED WITH A LOW DENSITY RESIDENTIAL DISTRICT; AND (c) INCREASES AT A 45 DEGREE ANGLE TO A MAXIMUM OF 7.5 METRES AT A PROPORTIONAL DISTANCE FROM THE SHARED PROPERTY LINE.
BACKYARD SUITE FLOOR AREA (MAX.):	THE MAXIMUM FLOOR AREA OF A BACKYARD SUITE, EXCLUDING ANY AREA COVERED BY STAIRWAYS AND INTERNAL LANDINGS NOT EXCEEDING 2.5 SQ.m IS 75.0 SQ.m THE MAXIMUM FLOOR AREA OF A BACKYARD SUITE MAY BE RELAXED BY THE DEVELOPMENT AUTHORITY TO A MAXIMUM OF 10.0%
BACKYARD SUITE AMENITY SPACE:	A BACKYARD SUITE MUST HAVE A PRIVATE AMENITY SPACE THAT: (a) IS LOCATED OUTDOORS; AND (b) HAS A MINIMUM AREA OF 7.5 SQ.m WITH NO DIMENSION LESS THAN 1.5m
BACKYARD SUITE BALCONY:	A BACKYARD SUITE MAY INCLUDE A BALCONY WHERE THE BALCONY: (a) PROJECTS FROM A FAÇADE THAT FACES A PROPERTY LINE SHARED WITH A LANE OR A STREET; OR (b) INCLUDES A PRIVACY WALL THAT SCREENS THE BALCONY FROM A PROPERTY LINE SHARED WITH A PARCEL DESIGNATED WITH LOW DENSITY RESIDENTIAL DISTRICT WHERE: (i) THE BALCONY IS SETBACK LESS THAN 4.0m FROM THE SHARED PROPERTY LINE; AND (ii) THE PRIVACY WALL IS A MINIMUM OF 2.0m IN HEIGHT AND A MAXIMUM OF 3.0m IN HEIGHT. A BALCONY ATTACHED TO A BACKYARD SUITE MAY PROJECT INTO A REQUIRED SETBACK AREA FROM A PROPERTY LINE SHARED WITH A STREET OR A LANE TO A MINIMUM SETBACK OF 0.6m FROM THE PROPERTY LINE.



391 WOODVALE CRESCENT S.W

SITE STATISTICS	
MUNICIPAL ADDRESS:	391 WOODVALE CRESCENT SW
COMMUNITY:	WOODLANDS
LEGAL DESCRIPTION:	LOT: 21 BLOCK: 8 PLAN 771 0714
LAND USE DESIGNATION:	R-CG RESIDENTIAL-GRADE ORIENTED INFILL
BYLAW INFORMATION [R-CG DISTRICT]	

PURPOSE:	(c) ACCOMMODATES SECONDARY SUITES AND BACKYARD SUITES WITH NEW AND EXISTING RESIDENTIAL DEVELOPMENT	
PERMITTED USES	ACCESSORY RESIDENTIAL BUILDING	
DISCRETIONARY USES:	BACKYARD SUITE	
LOT COVERAGE (MAX.):	45% OR; REDUCED BY 21.0M FOR EACH REQUIRED MOTOR VEHICLE PARKING STALL THAT IS NOT PROVIDED IN A PRIVATE GARAGE	
ACCESSORY SETBACKS:	SIDE (INTERIOR)	0.6m [1.96']
	REAR	0.6m [1.96']
MINIMUM DISTANCE BETWEEN ACCESSORY & MAIN BUILDING OVER 10.0 SQ.m:	1.0m	[3.28']

BYLAW CALCULATIONS	
AREA OF LOT:	4,802.96 SQ.FT [446.20 SQ.M]
AREA OF OVERALL EXISTING HOUSE FOOTPRINT:	1,230.96 SQ.FT [114.35 SQ.M]
AREA OF EXISTING GARAGE (TO BE REMOVED):	528.41 SQ.FT [49.09 SQ.M]
EXISTING LOT COVERAGE:	36.63%
AREA OF BACKYARD SUITE FOOTPRINT:	861.79 SQ.FT [80.06 SQ.M]
PROPOSED LOT COVERAGE:	43.57%

DISTANCE FROM PROPERTY LINES TO CORNERS OF PROPOSED GARAGE LEVEL:		
EAST SIDE (SHARED):		
NE CORNER:	6'-3 3/4"	[1.91m]
SE CORNER:	6'-3 3/8"	[1.92m]
WEST SIDE (SHARED):		
NW CORNER:	8'-6 7/8"	[2.61m]
SW CORNER:	8'-6 5/8"	[2.60m]
NORTH (LANE):		
NE CORNER:	5'-11"	[1.80m]
NW CORNER:	5'-11"	[1.80m]
SOUTH (HOUSE):		
SE CORNER:	5'-1 1/4"	[1.5m]
SW CORNER:	15'-0 5/8"	[4.59m]
DISTANCE FROM PROPERTY LINES TO CORNERS OF PROPOSED SUITE LEVEL:		
EAST SIDE (SHARED):		
NE CORNER:	5'-1 1/4"	[1.55m]
SE CORNER:	SAME AS GARAGE	
WEST SIDE (SHARED):		
NW CORNER:	7'-4 3/8"	[2.25m]
SW CORNER:	SAME AS GARAGE	
NORTH (LANE):		
NE CORNER:	4'-11"	[1.50m]
NW CORNER:	4'-11"	[1.50m]
SOUTH (HOUSE):		
SE CORNER:	SAME AS GARAGE	
SW CORNER:	SAME AS GARAGE	
BACKYARD SUITE BUILDING HEIGHT FROM SLAB:	23'9"	[7.23m]
BACKYARD SUITE FLOOR AREA		
LOWER FLOOR:	861.79 SQ.FT	[80.06 SQ.M]
UPPER FLOOR:	887.39 SQ.FT	[82.44 SQ.M]

DRAWING INDEX	
ARCHITECTURAL	
A1.1	- SITE PLAN, BYLAW INFORMATION, BYLAW CALCULATIONS, & CONCEPT IMAGE
A1.2	- AREA CALCULATIONS & SHADOW STUDY
A2.1	- PROPOSED BACKYARD SUITE FLOOR PLANS
A2.2	- PROPOSED BACKYARD SUITE ELEVATIONS
A2.3	- PROPOSED BACKYARD SUITE SECTIONS & LIMITING DISTANCE CALCULATIONS
A2.4	- PROPOSED APRON DETAILS

THE DESIGNER SHALL BE DEEMED THE OWNER OF ALL PLANS, SKETCHES, DRAWINGS, 30% OR SPECIFICATIONS IS STRICTLY FORBIDDEN AND AT ALL TIMES REMAIN THE PROPERTY OF THE DESIGNER.

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THE CONTRACTOR SHALL CONFIRM THAT THE DRAWINGS ACCURATELY REFLECT THE EXTENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

THESE DRAWINGS ARE NOT TO BE SCALED.

ALL SECTIONS OF PROVINCIAL BUILDING CODE & LOCAL BY-LAWS SHALL BE FOLLOWED AND ACHIEVED.

- BYLAW RELAXATION REQUESTS:
1.

5.0m X 5.0m AMENITY SPACE
- ENCROACHES INTO PROPOSED STRUCTURE BY 16"
2.

FLOOR SPACE AREA
- RELAX 10% UP 82.5SQ.M [880.02 SQ.FT]
3.

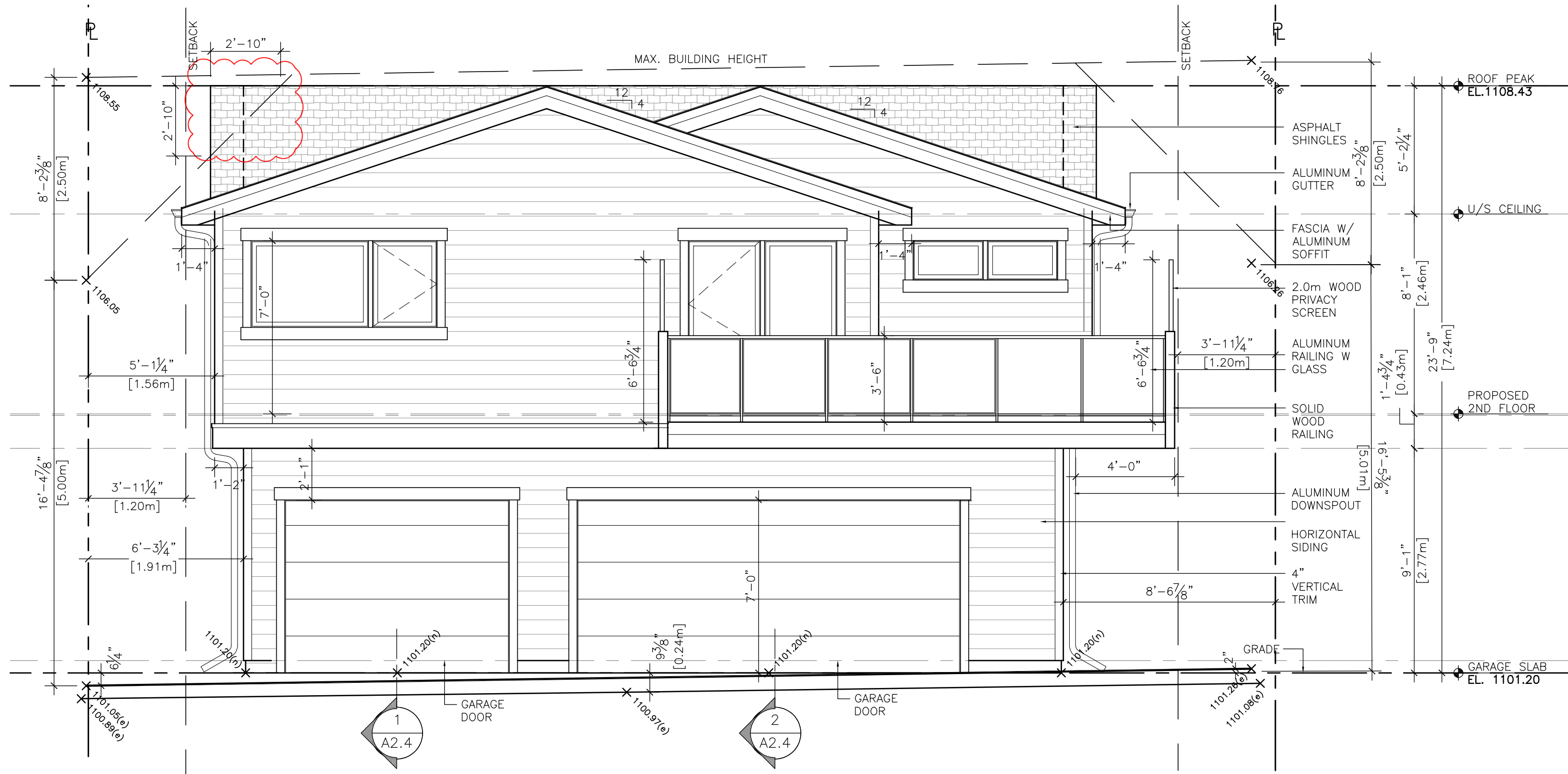
HEIGHT ON EAST ELEVATION
- GABLE ENCROACHES THE 45' HEIGHT LINE



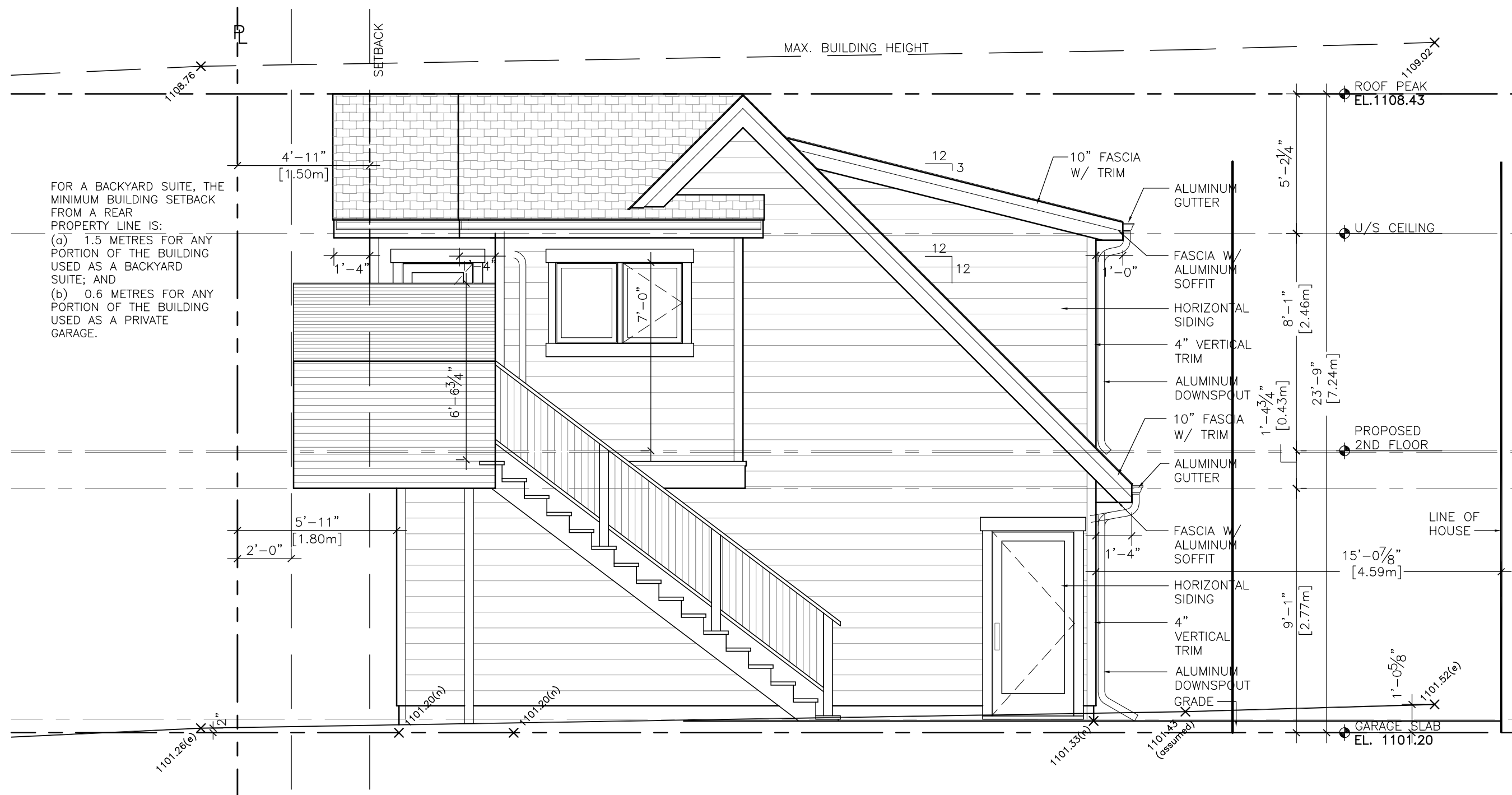
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info@giddendesign.com
403.752.7021

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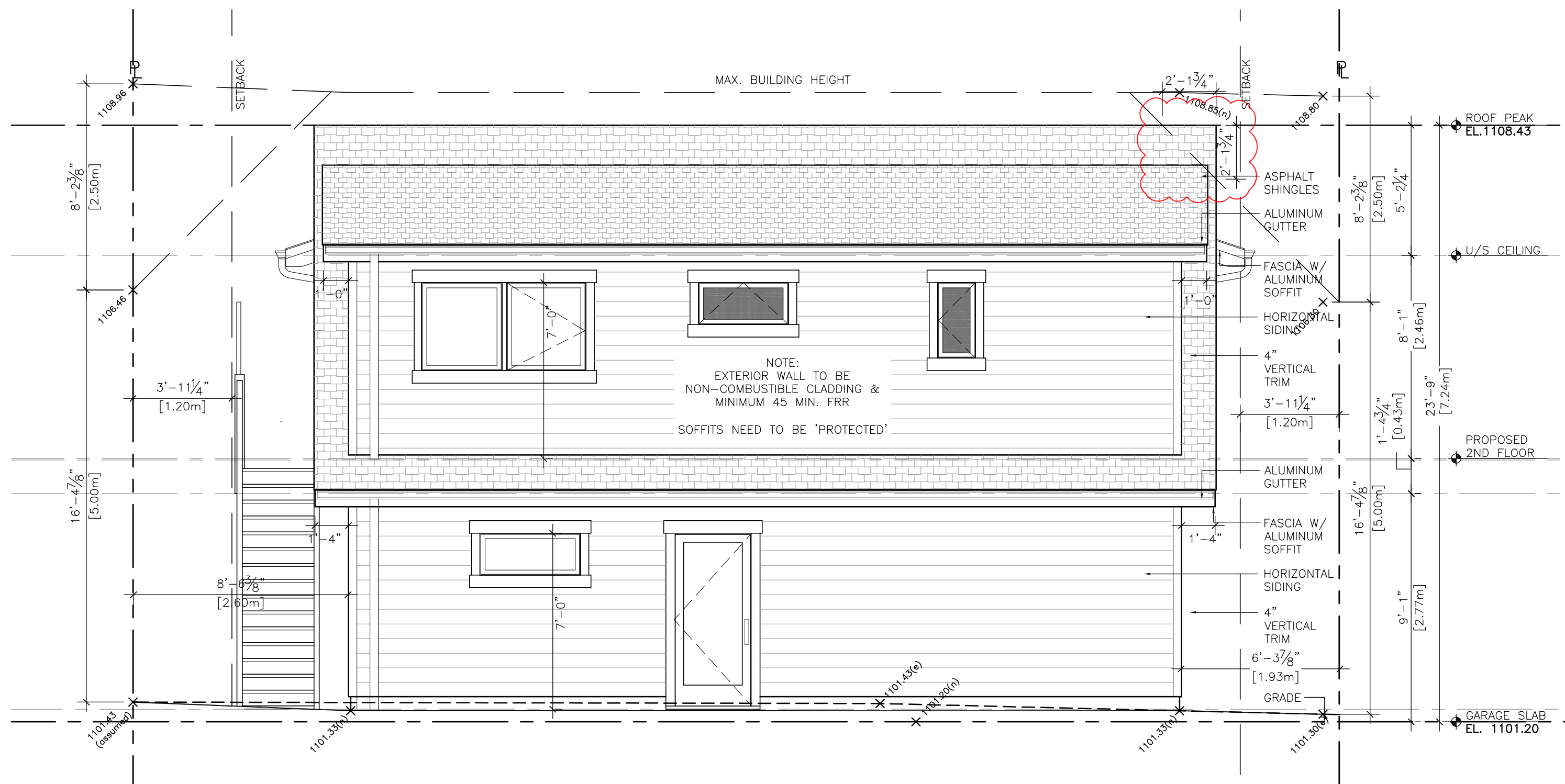
THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS RELATING TO THE WORK AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
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ALL SECTIONS OF PROVINCIAL BUILDING CODE & LOCAL BY-LAWS SHALL BE FOLLOWED AND ADHERED.



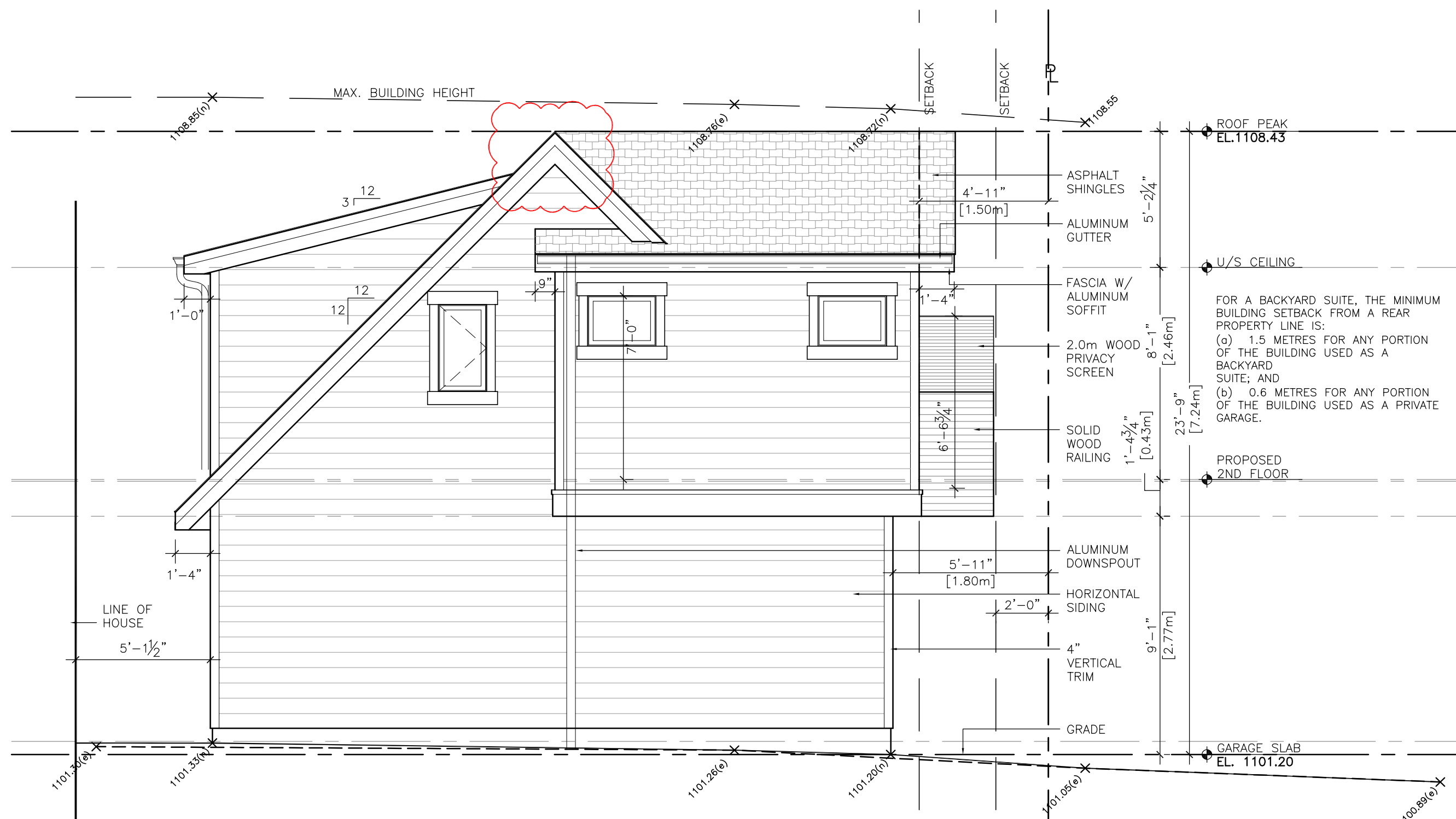
1
A2.2
SCALE: 1/4"=1'-0"



2
A2.2
SCALE: 1/4"=1'-0"



3
A2.2
SCALE: 1/4"=1'-0"



4
A2.2
SCALE: 1/4"=1'-0"

ISSUED FOR:
DEVELOPMENT PERMIT
FEB 5, 2026

TITLE:
PROPOSED
ELEVATIONS

project:
PRIVATE RESIDENCE
[BACKYARD SUITE]
#391 WOODVALE CRESCENT SW
CALGARY, ALBERTA

SHEET:

A2.2

DEVELOPMENT PERMIT
FEB 5, 2026

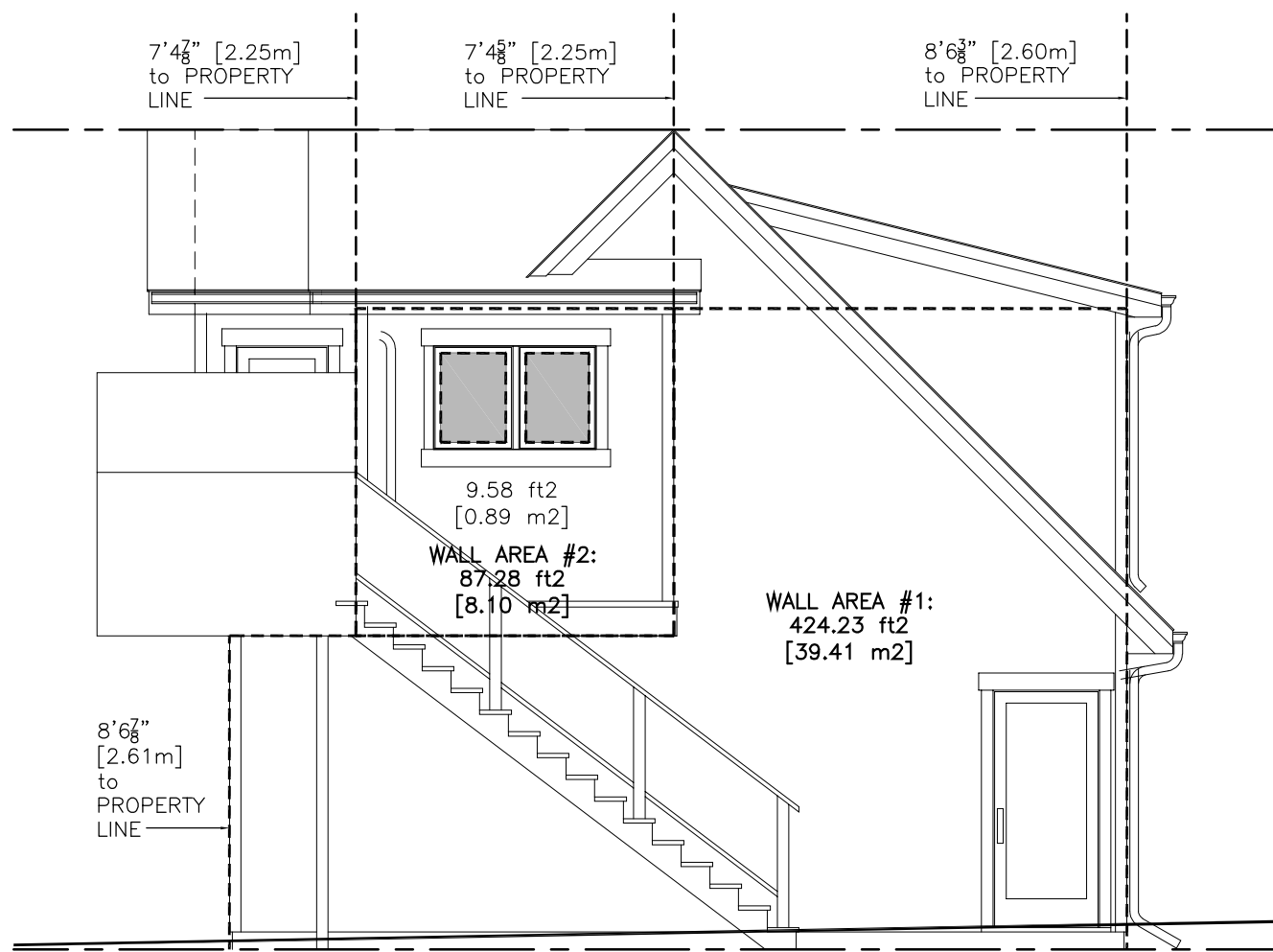


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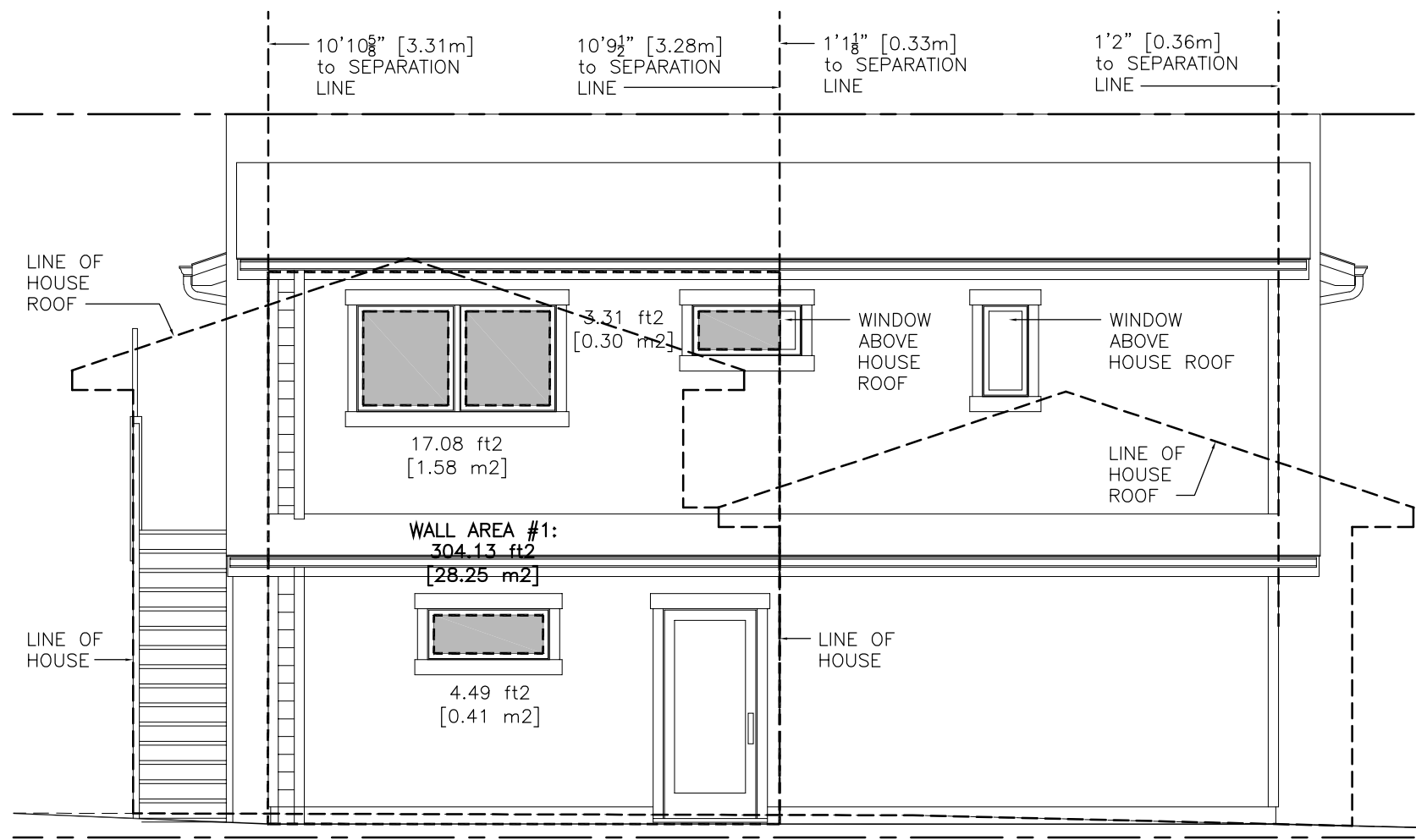
PROPOSED
2ND FLOOR

CARAGE SLAB
EL. 1101.20



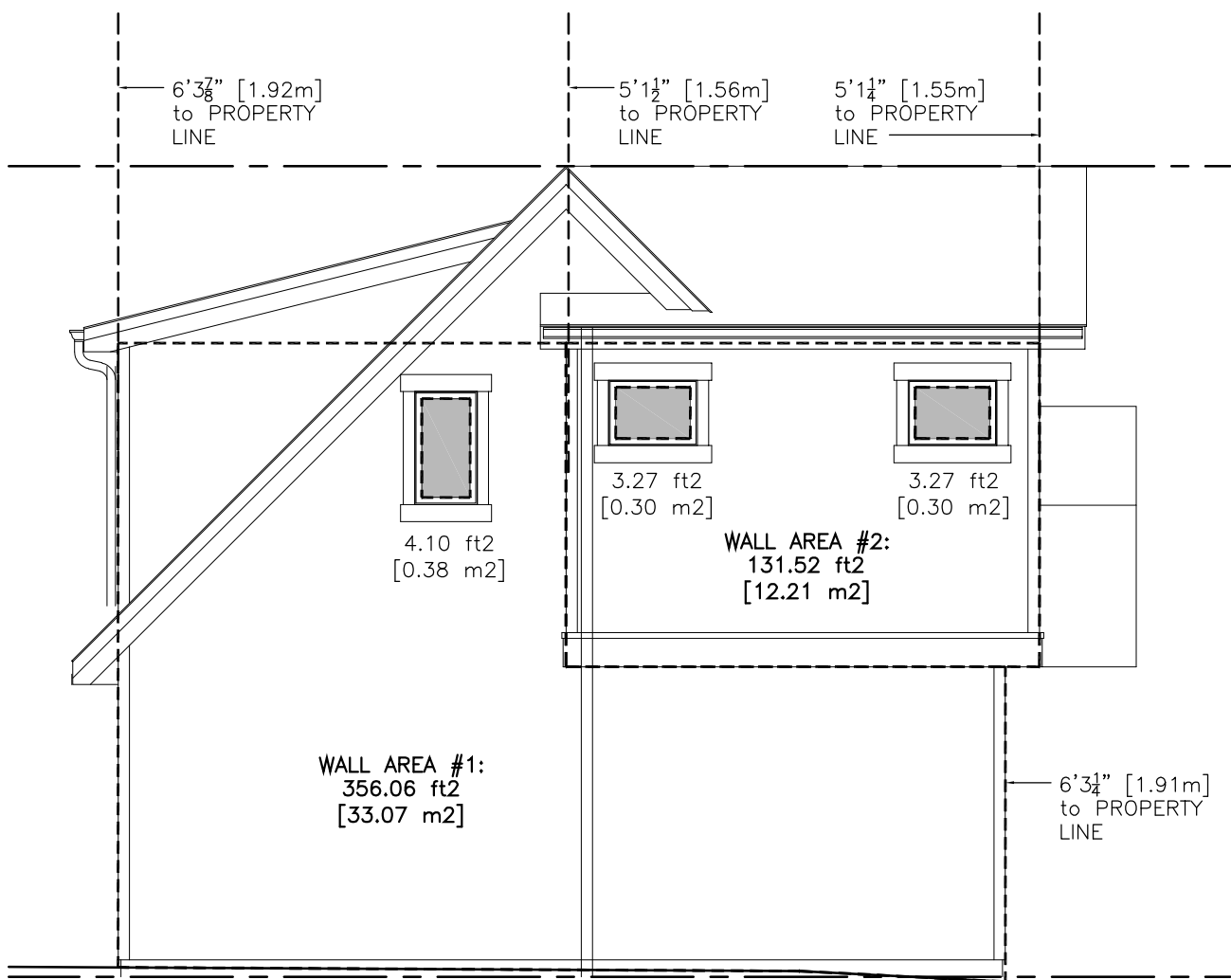
4
A2.3
PROPOSED
WEST ELEVATION LIMITING DISTANCE
SCALE: 3/16"=1'0"

AREA #1 CALCULATIONS	
OCCUPANCY OF BUILDING:	RESIDENTIAL
DISTANCE TO PL:	7'4 1/2" [2.25m]
AREA OF EXPOSING BUILDING FACES 1&2:	511.51 ft2 [47.52 m2]
ALLOWABLE UNPROTECTED OPENINGS:	12.25%
TOTAL AREA OF UNPROTECTED OPENINGS:	9.58 ft2 [0.89 m2]
TOTAL UNPROTECTED OPENING:	1.87%



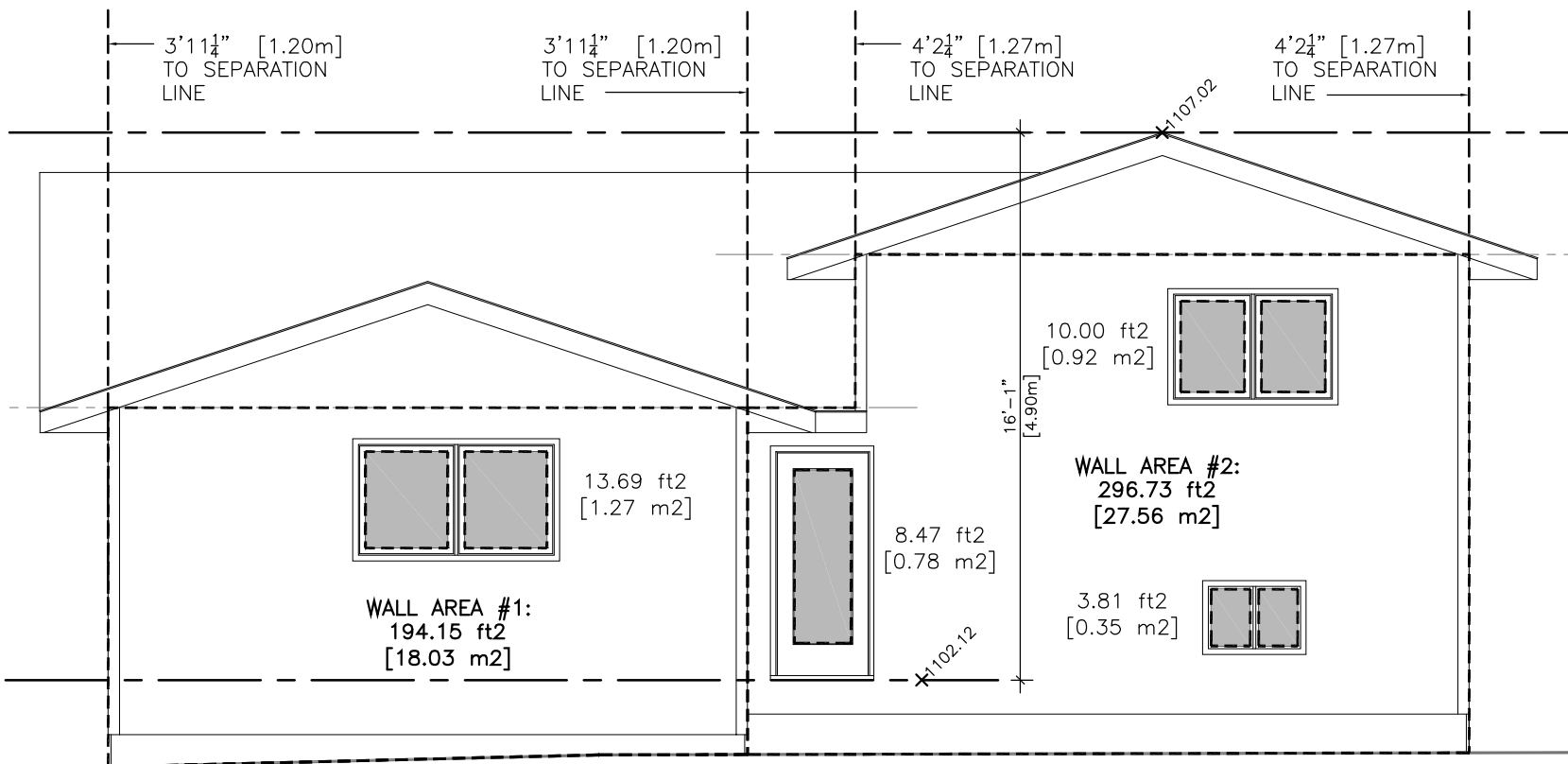
5
A2.3
PROPOSED
SOUTH ELEVATION LIMITING DISTANCE
SCALE: 3/16"=1'0"

AREA #1 CALCULATIONS	
OCCUPANCY OF BUILDING:	RESIDENTIAL
DISTANCE TO PL:	10'9 1/2" [3.28m]
AREA OF EXPOSING BUILDING FACES:	304.13 ft2 [28.25 m2]
ALLOWABLE UNPROTECTED OPENINGS:	29.28%
TOTAL AREA OF UNPROTECTED OPENINGS:	24.88 ft2 [2.31 m2]
TOTAL UNPROTECTED OPENING:	8.18%



6
A2.3
PROPOSED HOUSE
EAST ELEVATION LIMITING DISTANCE
SCALE: 3/16"=1'0"

AREA #1 CALCULATIONS	
OCCUPANCY OF BUILDING:	RESIDENTIAL
DISTANCE TO PL:	5'1 1/2" [1.55m]
AREA OF EXPOSING BUILDING FACES 1&2:	487.58 ft2 [45.29 m2]
ALLOWABLE UNPROTECTED OPENINGS:	8.20%
TOTAL AREA OF UNPROTECTED OPENINGS:	10.64 ft2 [0.98 m2]
TOTAL UNPROTECTED OPENING:	2.18%



7
A2.3
EXISTING HOUSE
NORTH ELEVATION LIMITING DISTANCE
SCALE: 3/16"=1'0"

AREA #1 CALCULATIONS	
OCCUPANCY OF BUILDING:	RESIDENTIAL
DISTANCE TO PL:	3'11 1/4" [1.20m]
AREA OF EXPOSING BUILDING FACES:	194.15 ft2 [18.03 m2]
ALLOWABLE UNPROTECTED OPENINGS:	7.05%
TOTAL AREA OF UNPROTECTED OPENINGS:	13.69 ft2 [1.27 m2]
TOTAL UNPROTECTED OPENING:	7.05%

AREA #2 CALCULATIONS	
OCCUPANCY OF BUILDING:	RESIDENTIAL
DISTANCE TO PL:	4'2 1/2" [1.27m]
AREA OF EXPOSING BUILDING FACES:	296.73 ft2 [27.56 m2]
ALLOWABLE UNPROTECTED OPENINGS:	7.50%
TOTAL AREA OF UNPROTECTED OPENINGS:	22.28 ft2 [2.06 m2]
TOTAL UNPROTECTED OPENING:	7.50%

ISSUED FOR:
DEVELOPMENT PERMIT FEB 5, 2026

TITLE:
PROPOSED
SECTIONS & LIMITING
DISTANCE CALCULATIONS

project:
PRIVATE RESIDENCE
[BACKYARD SUITE]

#391 WOODVALE CRESCENT SW
CALGARY, ALBERTA

SHEET:

A2.3