



403 | 292 | 0610
1187 KENSINGTON CRESCENT NW
CALGARY, ALBERTA
T2N 1X7

1120 FRONTENAC AVENUE SW
CALGARY, ALBERTA

LEGAL DESCRIPTION
LOT 20
BLOCK 64
PLAN 7080AJ

DEAN THOMAS
DESIGN GROUP

403 | 719 | 6641
1109 OLYMPIC WAY SE
CALGARY, ALBERTA
T2G 1B9



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

ISSUED FOR DEVELOPMENT PERMIT: JANUARY 29, 2026

BUILDING NOTES						DRAWING LIST	
-THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED, OR COPIED IN FULL OR IN PORTION WITHOUT WRITTEN CONSENT. -DO NOT SCALE DRAWINGS.	-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.	-UTILITIES SUBJECT TO CHANGE LOCATION DEPENDING ON BUILDING SITE CONDITIONS.	-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.	-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.	-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.	A1.1 - BLOCK PLAN A1.2 - SITE PLAN A1.3 - TREE PLAN A2.1 - FRONT & RIGHT ELEVATIONS A2.2 - REAR & LEFT ELEVATIONS A2.3 - INTERNAL ELEVATIONS A3.1 - FOUNDATION PLAN A3.2 - LOWER LEVEL DEVELOPMENT PLAN A3.3 - MAIN FLOOR PLAN A3.4 - UPPER FLOOR PLAN A3.5 - ROOF PLAN A4.1 - SECTIONS	A4.2 - SECTIONS A4.3 - SECTIONS A5.1 - WINDOW & DOOR SCHEDULE A6.1 - DETAILS A6.2 - DETAILS A6.3 - DETAILS E1.1 - LOWER LEVEL ELECTRICAL PLAN E1.2 - MAIN FLOOR ELECTRICAL PLAN E1.3 - UPPER FLOOR ELECTRICAL PLAN
	-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.	-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.	-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.	-4'-0" MIN FROST COVER REQUIRED AS PER ABC. SUBJECT TO ACTUAL SITE PLAN GRADES OR GRADE SLIP.	-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.		
	-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.		- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.				



PROJECT:

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REVISION SCHEDULE:

1.	ISSUED FOR DEVELOPMENT PERMIT	JAN 29, 2026
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DRAWN BY: BP, DC

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2327.50 SQ.FT.
UPPER FLOOR AREA (DEVELOPED)	2185.00 SQ.FT.
LOFT FLOOR AREA (DEVELOPED)	384.65 SQ.FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	4897.15 SQ.FT.
--	----------------

LOWER LEVEL AREA (DEVELOPED)	1793.03 SQ.FT.
ATTACHED GARAGE AREA	854.08 SQ.FT.
MECH/STORAGE	344.14 SQ.FT.
ENTRY DECK	316.06 SQ.FT.
REAR PATIO	478.17 SQ.FT.
ROOFTOP DECK	644.00 SQ.FT.

DRAWING TITLE:

ELEVATIONS P.1

SCALE: 1/4" = 1'-0"
DATE: JANUARY 29, 2026

SHEET:

A2.1



MATERIALS LEGEND		
NATURAL STONE [A]	LIMESTONE PLASTER PANELING [B]	SMOOTH ACRYLIC STUCCO [C]
DARK METAL PANELING [D]	ASPHALT ROOF SHINGLES [E]	TORCH-APPLIED MODIFIED BITUMEN ROOFING [F]
SMOOTH CONCRETE [G]	PAVING [H]	

COMMON DETAILS	
1. 4" LIMESTONE CAP W/ 1" O.H.	7. 39" LIMESTONE PLASTER FASCIA PROFILE
2. 6" LIMESTONE TRIM	8. 26" HIGH DECORATIVE LIMESTONE RAILING
3. 2" CURVED LIMESTONE TRIM	9. 24" LIMESTONE CHIMNEY CAP
4. 2" DARK METAL TRIM	10. CONC. RETAINING WALL C/W SMOOTH ACRYLIC STUCCO
5. 2" LIMESTONE TRIM	11. BLACK ALUMINUM DOWNSPOUT
6. 14" LIMESTONE CORNICE FASCIA PROFILE	

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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CALGARY, ALBERTALOT 20
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PLAN 7080AJTHESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP.
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FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED) 2327.50 SQ.FT.
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LOFT FLOOR AREA (DEVELOPED) 384.65 SQ.FT.

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LOWER LEVEL AREA (DEVELOPED) 1793.03 SQ.FT.
ATTACHED GARAGE AREA 854.08 SQ.FT.
MECH/STORAGE 344.14 SQ.FT.
ENTRY DECK 316.06 SQ.FT.
REAR PATIO 478.17 SQ.FT.
ROOFTOP DECK 644.00 SQ.FT.

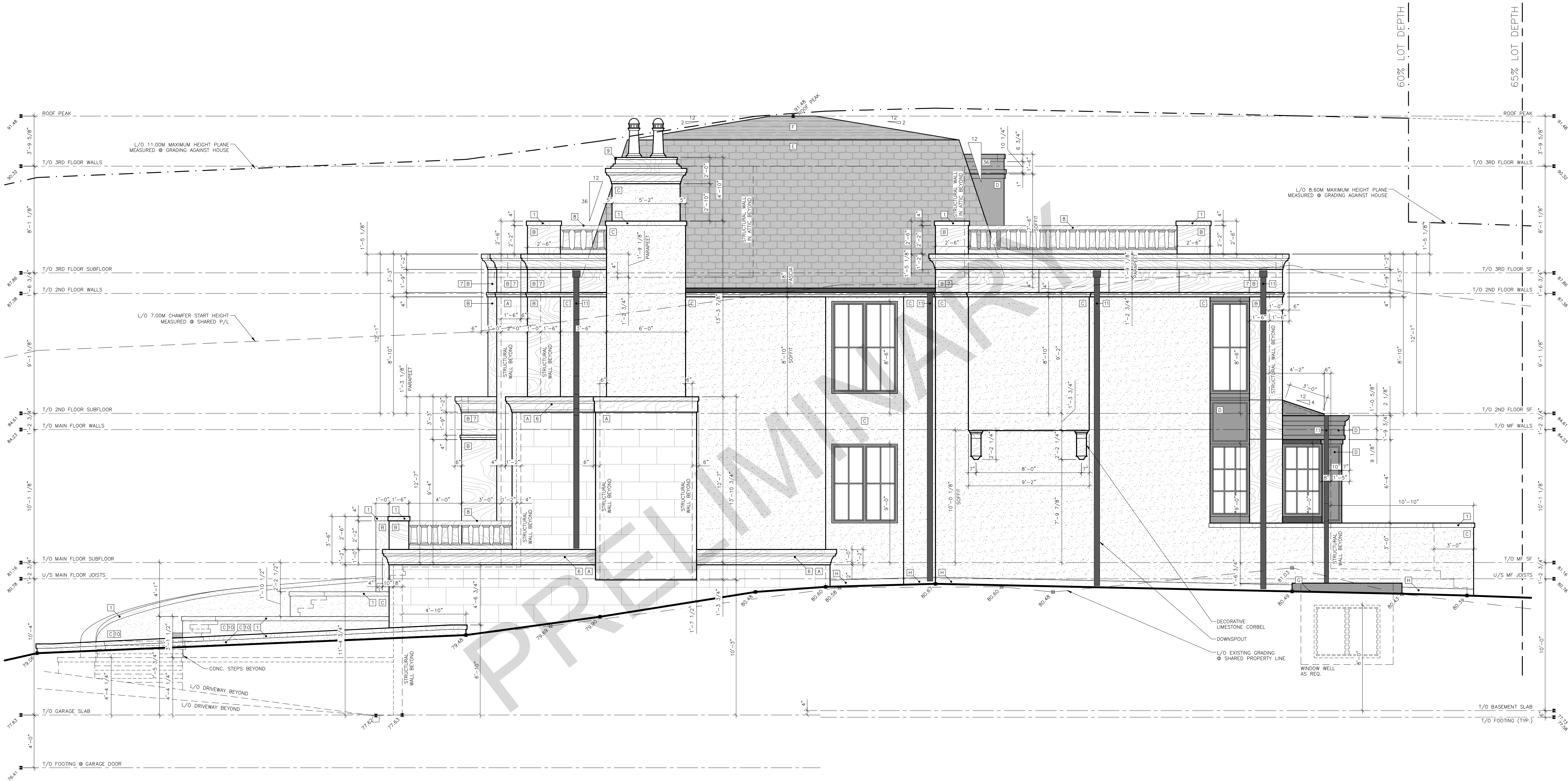
DRAWING TITLE:

ELEVATIONS P.2

SCALE: 1/4" = 1'-0"
DATE: JANUARY 29, 2026

SHEET:

A2.2



MATERIALS LEGEND

NATURAL STONE [A]	LIMESTONE PLASTER PANELING [B]	SMOOTH ACRYLIC STUCCO [C]
DARK METAL PANELING [D]	ASPHALT ROOF SHINGLES [E]	TORCH-APPLIED MODIFIED BITUMEN ROOFING [F]
SMOOTH CONCRETE [G]	PAVING [H]	

COMMON DETAILS

- 4" LIMESTONE CAP W/ 1" D.H.
- 6" LIMESTONE TRIM
- 2" CURVED LIMESTONE TRIM
- 2" DARK METAL TRIM
- 2" LIMESTONE TRIM
- 14" LIMESTONE CORNICE FASCIA PROFILE
- 39" LIMESTONE PLASTER FASCIA PROFILE
- 26" HIGH DECORATIVE LIMESTONE RAILING
- 24" LIMESTONE CHIMNEY CAP
- CONC. RETAINING WALL C/W SMOOTH ACRYLIC STUCCO
- BLACK ALUMINUM DOWNSPOUT

1 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT:

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1120 FRONTENAC AVENUE SW
CALGARY, ALBERTA

LOT 20
BLOCK 64
PLAN 7080AJ

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FLOOR AREAS:

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LOFT FLOOR AREA (DEVELOPED)	384.65 SQ.FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	4897.15 SQ.FT.
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LOWER LEVEL AREA (DEVELOPED)	1793.03 SQ.FT.
ATTACHED GARAGE AREA	854.08 SQ.FT.
MECH/STORAGE	344.14 SQ.FT.
ENTRY DECK	316.06 SQ.FT.
REAR PATIO	478.17 SQ.FT.
ROOFTOP DECK	644.00 SQ.FT.

DRAWING TITLE:

ELEVATIONS P.3

SCALE: 1/4" = 1'-0"
DATE: JANUARY 29, 2026

SHEET:

A2.3



MATERIALS LEGEND		
NATURAL STONE [A]	LIMESTONE PLASTER PANELING [B]	SMOOTH ACRYLIC STUCCO [C]
DARK METAL PANELING [D]	ASPHALT ROOF SHINGLES [E]	TORCH-APPLIED MODIFIED BITUMEN ROOFING [F]
SMOOTH CONCRETE [G]	PAVING [H]	

COMMON DETAILS	
1. 4" LIMESTONE CAP W/ 1" O.H.	7. 39" LIMESTONE PLASTER FASCIA PROFILE
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4. 2" DARK METAL TRIM	10. CONC. RETAINING WALL C/W SMOOTH ACRYLIC STUCCO
5. 2" LIMESTONE TRIM	11. BLACK ALUMINUM DOWNSPOUT
6. 14" LIMESTONE CORNICE FASCIA PROFILE	



PROJECT:

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CALGARY, ALBERTA

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FLOOR AREAS:

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ENTRY DECK	316.06 SQ.FT.
REAR PATIO	478.17 SQ.FT.
ROOFTOP DECK	644.00 SQ.FT.

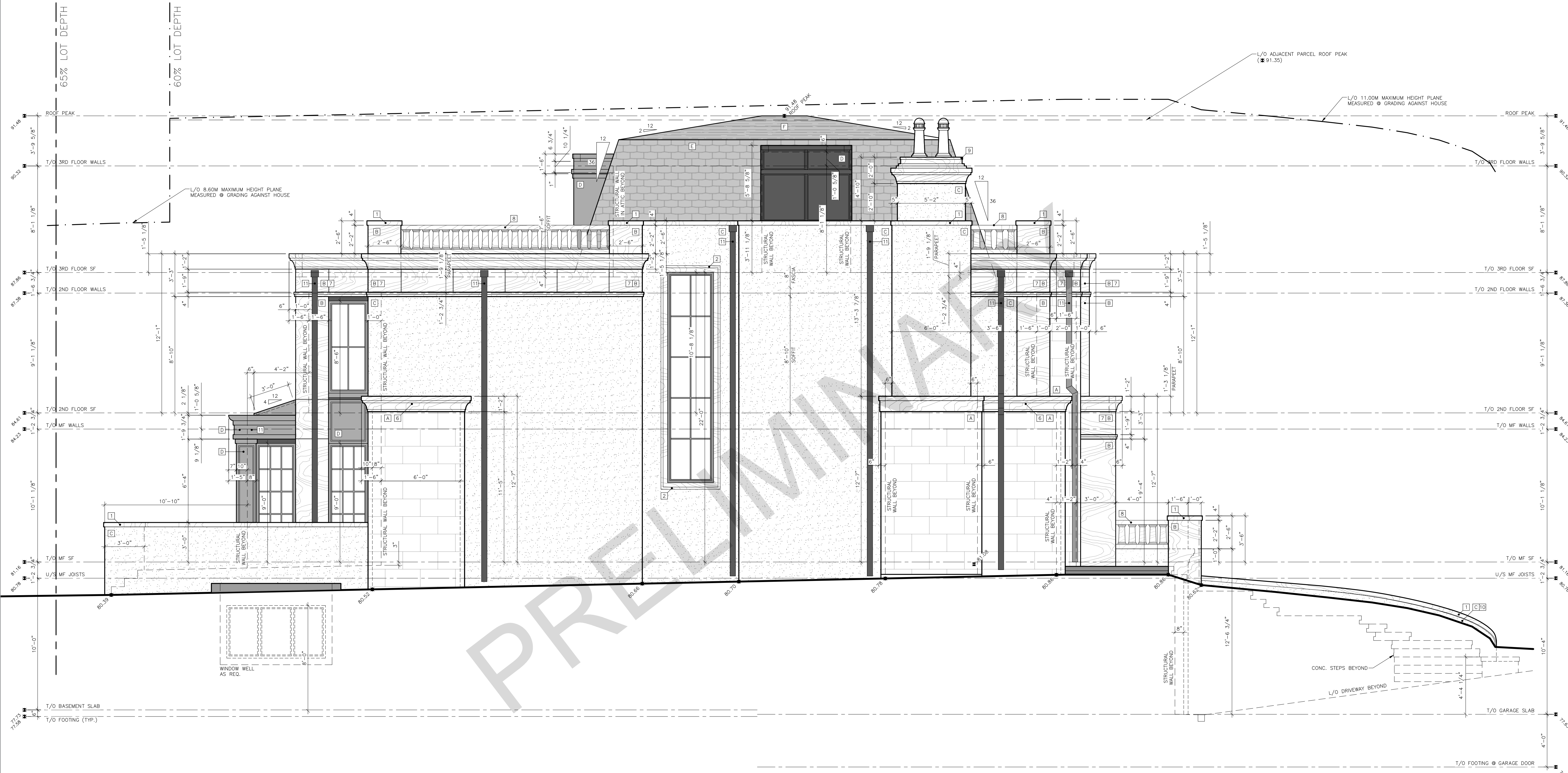
DRAWING TITLE:

ELEVATIONS P.4

SCALE: 1/4" = 1'-0"
DATE: JANUARY 29, 2026

SHEET:

A2.4



MATERIALS LEGEND

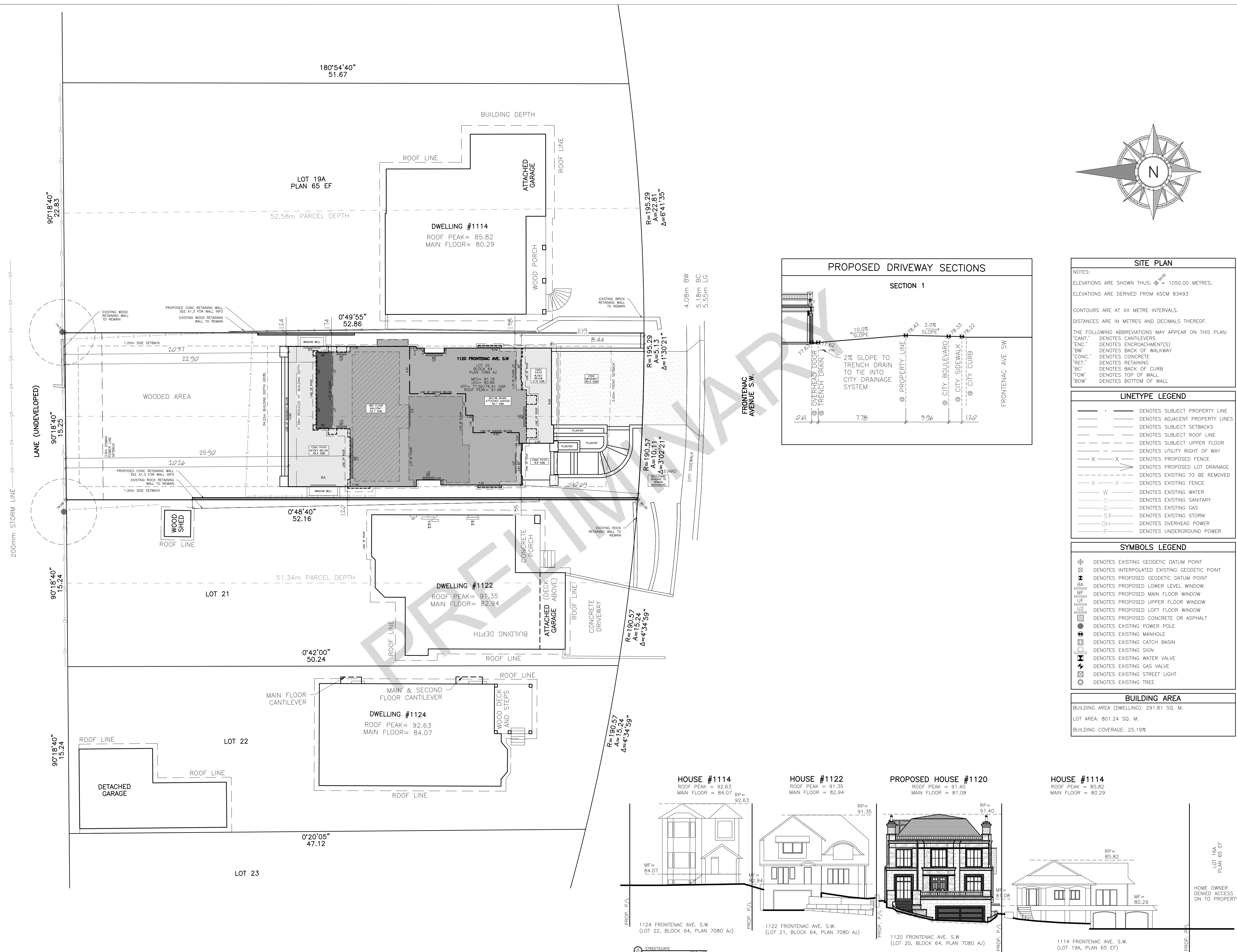
NATURAL STONE [A]	LIMESTONE PLASTER PANELING [B]	SMOOTH ACRYLIC STUCCO [C]
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SMOOTH CONCRETE [G]	PAVING [H]	

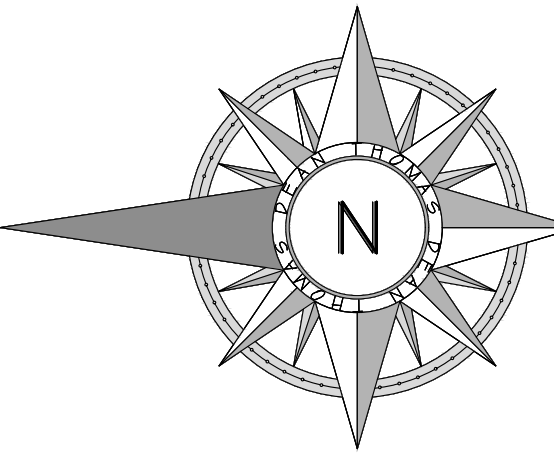
COMMON DETAILS

- 4" LIMESTONE CAP W/ 1" O.H.
- 6" LIMESTONE TRIM
- 2" CURVED LIMESTONE TRIM
- 2" DARK METAL TRIM
- 2" LIMESTONE TRIM
- 14" LIMESTONE CORNICE FASCIA PROFILE
- 39" LIMESTONE PLASTER FASCIA PROFILE
- 26" HIGH DECORATIVE LIMESTONE RAILING
- 24" LIMESTONE CHIMNEY CAP
- CONC. RETAINING WALL C/W SMOOTH ACRYLIC STUCCO
- BLACK ALUMINUM DOWNSPOUT

1 LEFT ELEVATION

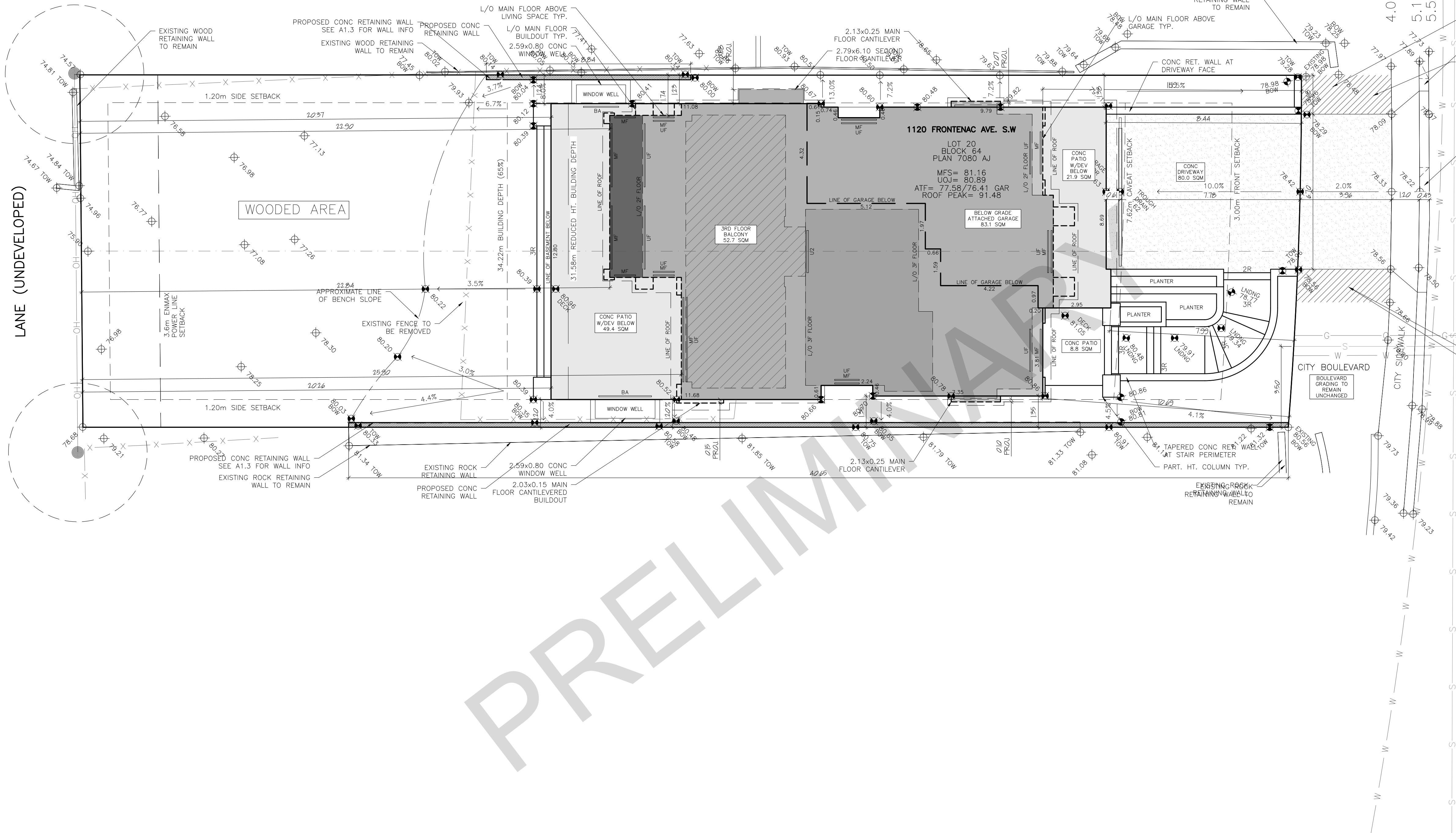
SCALE: 1/4" = 1'-0"





LANE (UNDEVELOPED)

200mm STORM LINE



DEAN THOMAS
DESIGN GROUP

03 | 719 | 6641

109 OLYMPIC WAY SE
CALGARY, ALBERTA
T2G 1B9



403 | 292 | 0610

1187 KENSINGTON CRESCENT NW
CALGARY, ALBERTA
T2N 1X7

PROJECT:

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1120 FRONTENAC AVENUE SW
CALGARY, ALBERTA

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LOOR AREAS:

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ENTRY DECK	316.06	SQ.FT.
REAR PATIO	478.17	SQ.FT.
ROOFTOP DECK	644.00	SQ.FT.

DRAWING TITLE:

GRADING PLAN

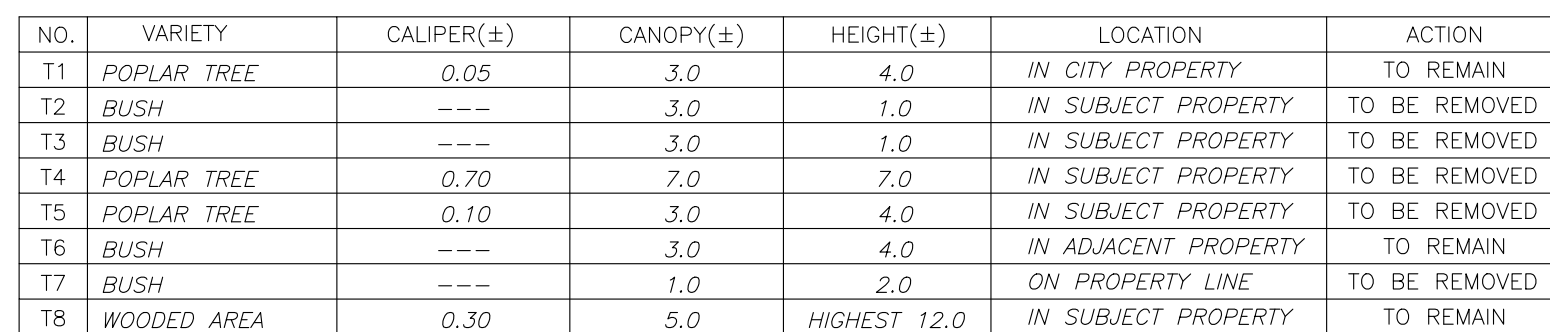
SCALE: 1:100
DATE: JANUARY 29, 2026

SHEET:

1:100
JANUARY 29, 2026

A1.3

SHEET:



NO.	VARIETY	CALIPER(±)	CANOPY(±)	HEIGHT(±)	LOCATION	ACTION
11	POPULAR TREE	0.05	3.0	4.0	IN CITY PROPERTY	TO REMAIN
12	BUSH	---	3.0	1.0	IN SUBJECT PROPERTY	TO BE REMOVED
13	BUSH	---	3.0	1.0	IN SUBJECT PROPERTY	TO BE REMOVED
14	POPULAR TREE	0.70	7.0	7.0	IN SUBJECT PROPERTY	TO BE REMOVED
15	POPULAR TREE	0.10	3.0	4.0	IN SUBJECT PROPERTY	TO BE REMOVED
16	BUSH	---	3.0	4.0	IN ADJACENT PROPERTY	TO REMAIN
17	BUSH	---	1.0	2.0	ON PROPERTY LINE	TO BE REMOVED
18	WOODED AREA	0.30	5.0	HIGHEST 12.0	IN SUBJECT PROPERTY	TO REMAIN

LINETYPE LEGEND

	—	DENOTES SUBJECT PROPERTY LINE
	- - -	DENOTES ADJACENT PROPERTY LINES
	- - - - -	DENOTES SUBJECT SETBACKS
	- x - x -	DENOTES SUBJECT ROOF LINE
	- . - . -	DENOTES SUBJECT UPPER FLOOR
	- - -	DENOTES UTILITY RIGHT OF WAY
	- X - X -	DENOTES PROPOSED FENCE
	- > - > -	DENOTES PROPOSED LOT DRAINAGE
	- - - x - - -	DENOTES EXISTING TO BE REMOVED
	- X - X -	DENOTES EXISTING FENCE
	- W -	DENOTES EXISTING WATER
	- S -	DENOTES EXISTING SANITARY
	- G -	DENOTES EXISTING GAS
	- ST -	DENOTES EXISTING STORM
	- OH -	DENOTES OVERHEAD POWER
	- P -	DENOTES UNDERGROUND POWER

BUILDING AREA
BUILDING AREA (DWELLING): 291.81 SQ. M.
LOT AREA: 801.24 SQ. M.
BUILDING COVERAGE: 25.19%

DEANTHOMAS
DESIGN GROUP

1109 OLYMPIC WAY SE
CALGARY, ALBERTA
T2G 1B9



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ROOFTOP DECK	644.00	SQ.FT.

DRAWING TITLE:

TREE PLAN

SCALE: 1:100
DATE: JANUARY 29, 2026

SHEET:

A1.4