



403 | 292 | 0610
1187 KENSINGTON CRESCENT NW
CALGARY, ALBERTA
T2N 1X7

1120 FRONTENAC AVENUE SW
CALGARY, ALBERTA

LEGAL DESCRIPTION
LOT 20
BLOCK 64
PLAN 7080AJ

DEAN THOMAS
DESIGN GROUP

403 | 719 | 6641
1109 OLYMPIC WAY SE
CALGARY, ALBERTA
T2G 1B9



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

ISSUED FOR DEVELOPMENT PERMIT: JUNE 29, 2026

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DRAWING LIST

A1.1 - BLOCK PLAN A1.2 - SITE PLAN A1.3 - TREE PLAN A2.1 - FRONT & RIGHT ELEVATIONS A2.2 - REAR & LEFT ELEVATIONS A2.3 - INTERNAL ELEVATIONS A3.1 - FOUNDATION PLAN A3.2 - LOWER LEVEL DEVELOPMENT PLAN A3.3 - MAIN FLOOR PLAN A3.4 - UPPER FLOOR PLAN A3.5 - ROOF PLAN A4.1 - SECTIONS	A4.2 - SECTIONS A4.3 - SECTIONS A5.1 - WINDOW & DOOR SCHEDULE A6.1 - DETAILS A6.2 - DETAILS A6.3 - DETAILS E1.1 - LOWER LEVEL ELECTRICAL PLAN E1.2 - MAIN FLOOR ELECTRICAL PLAN E1.3 - UPPER FLOOR ELECTRICAL PLAN
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PROJECT:

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CALGARY, ALBERTALOT 20
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REVISION SCHEDULE:

- | | | |
|----|-------------------------------------|--------------|
| 1. | ISSUED FOR DEVELOPMENT PERMIT | JAN 29, 2026 |
| 2. | ISSUED FOR DEVELOPMENT PERMIT (DR1) | JUN 29, 2026 |

DRAWN BY: BP, DC

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2327.50 SQ.FT.
UPPER FLOOR AREA (DEVELOPED)	2185.00 SQ.FT.
LOFT FLOOR AREA (DEVELOPED)	384.65 SQ.FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 4897.15 SQ.FT.

LOWER LEVEL AREA (DEVELOPED)	1793.03 SQ.FT.
ATTACHED GARAGE AREA	854.08 SQ.FT.
MECH/STORAGE	344.14 SQ.FT.
ENTRY DECK	316.06 SQ.FT.
REAR PATIO	478.17 SQ.FT.
ROOFTOP DECK	644.00 SQ.FT.

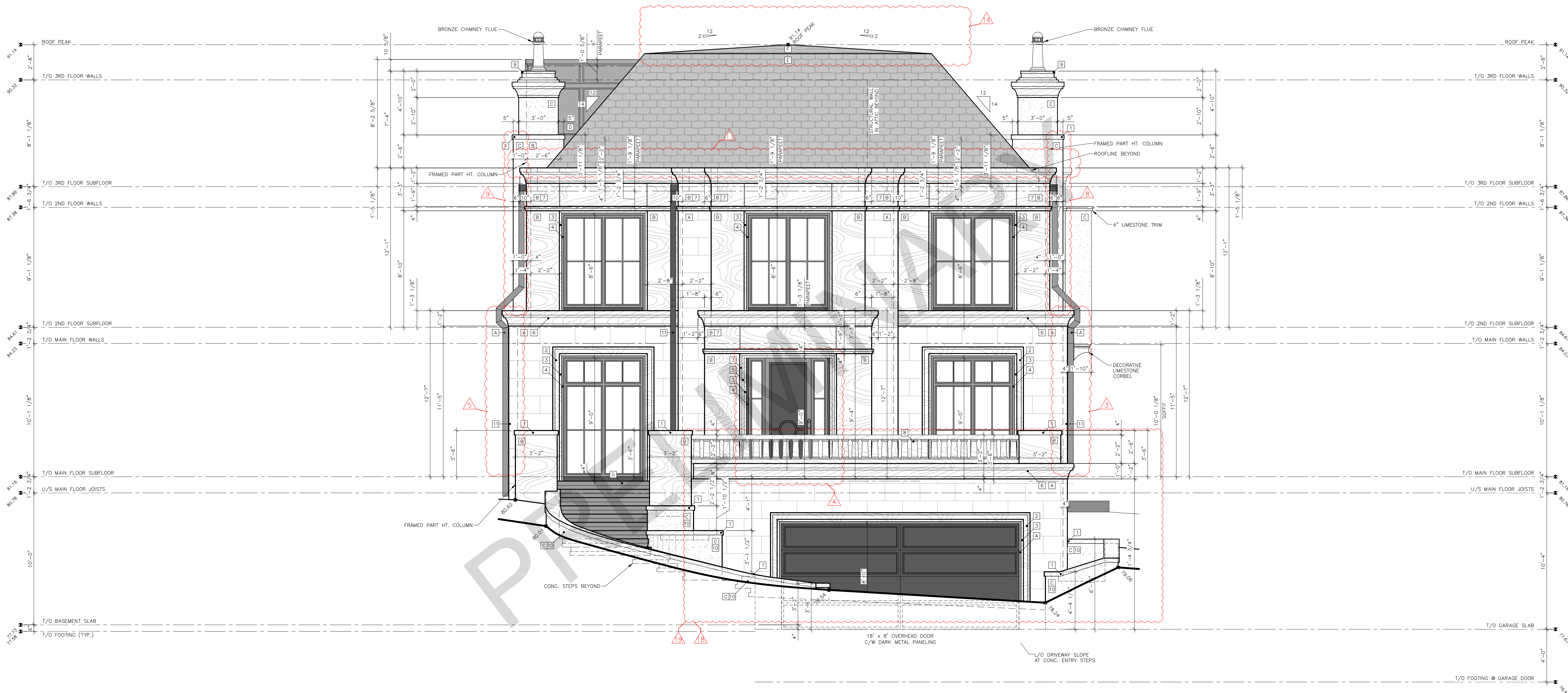
DRAWING TITLE:

ELEVATIONS P.1

SCALE: 1/4"=1'-0"
DATE: JUNE 29, 2026

SHEET:

A2.1



MATERIALS LEGEND		
NATURAL STONE [A]	LIMESTONE PLASTER PANELING [B]	SMOOTH ACRYLIC STUCCO [C]
DARK METAL PANELING [D]	ASPHALT ROOF SHINGLES [E]	TORCH-APPLIED MODIFIED BITUMEN ROOFING [F]
SMOOTH CONCRETE [G]	PAVING [H]	

COMMON DETAILS	
1. 4" LIMESTONE CAP W/ 1" O.H.	7. 39" LIMESTONE PLASTER FASCIA PROFILE
2. 6" LIMESTONE TRIM	8. 26" HIGH DECORATIVE LIMESTONE RAILING
3. 2" CURVED LIMESTONE TRIM	9. 24" LIMESTONE CHIMNEY CAP
4. 2" DARK METAL TRIM	10. CONC. RETAINING WALL C/W SMOOTH ACRYLIC STUCCO
5. 2" LIMESTONE TRIM	11. BLACK ALUMINUM DOWNSPOUT
6. 14" LIMESTONE CORNICE FASCIA PROFILE	

- RIGHT SIDE 14,000" ENG. FLUSH BEAM LOCATION WAS REVISED AND RELOCATED BY 6" TO SUPPORT FRAMED CHIMNEY ABOVE.
- LEFT SIDE 14,000" ENG. FLUSH BEAM LOCATION WAS REVISED AND RELOCATED BY 6" TO SUPPORT FRAMED CHIMNEY ABOVE.
- RIGHT SIDE CHIMNEY BUILD-OUT FRAMING LENGTH WAS REVISED TO 6'-10" X 4' WITH A TOTAL OF 12'-10" X 4' FOR THE FRAMED NATURAL STONE FINISH.
- MAIN DOOR WAS REVISED TO 3'-6" WITH LEFT-SIDE AND RIGHT-SIDE LIGHT OF 1'-3" X 9'-0".
- LEFT SIDE CHIMNEY BUILD-OUT FRAMING LENGTH WAS REVISED TO 6'-10" X 4' WITH A TOTAL OF 12'-10" X 4' FOR THE FRAMED NATURAL STONE FINISH.
- RIGHT SIDE CHIMNEY 14,000" ENG. FLUSH BEAM LENGTH WAS REVISED TO 5'-6".
- LEFT SIDE CHIMNEY 14,000" ENG. FLUSH BEAM LENGTH WAS REVISED TO 5'-6".
- RIGHT SIDE CHIMNEY AT SECOND FLOOR LEVEL WAS REVISED TO 6'-0" X 4".
- LEFT SIDE CHIMNEY AT SECOND FLOOR LEVEL WAS REVISED TO 6'-0" X 4".
- FRONT STONE BALUSTERS AND NEWEL POST WERE REMOVED. PARAPET TO REMAIN.
- FRONT STONE BALUSTERS AND PARAPET WERE REMOVED. ROOFING TO CONTINUE TO EDGE OF FRONT PARAPET.
- REAR STONE BALUSTERS WERE REVISED TO GLASS RAILINGS.
- ASPHALT TORCHED ON ROOFING AREA WAS REVISED TO TILE ON PEDESTAL NEWEL POST AND GLASS RAILING WERE ADDED.
- ROOF PEAK WAS REVISED TO #9:14. ASPHALT TORCH ON ROOFING FINISH TO REMAIN.
- FRONT ROOFING SLOPE WAS REVISED TO 14:12 SLOPE.
- ENTRY WALKWAY MATERIAL DIFFERENTIATION FOR HERITAGE.
- WINDOW CHANGED TO DOOR.
- DRIVEWAY RECONFIGURED TO SINGLE WIDE, FRONT STAIR WALL CURVE ADDED.
- EXTENDED FRONT DECK 12" FURTHER BEYOND FRONT GARAGE DOOR.

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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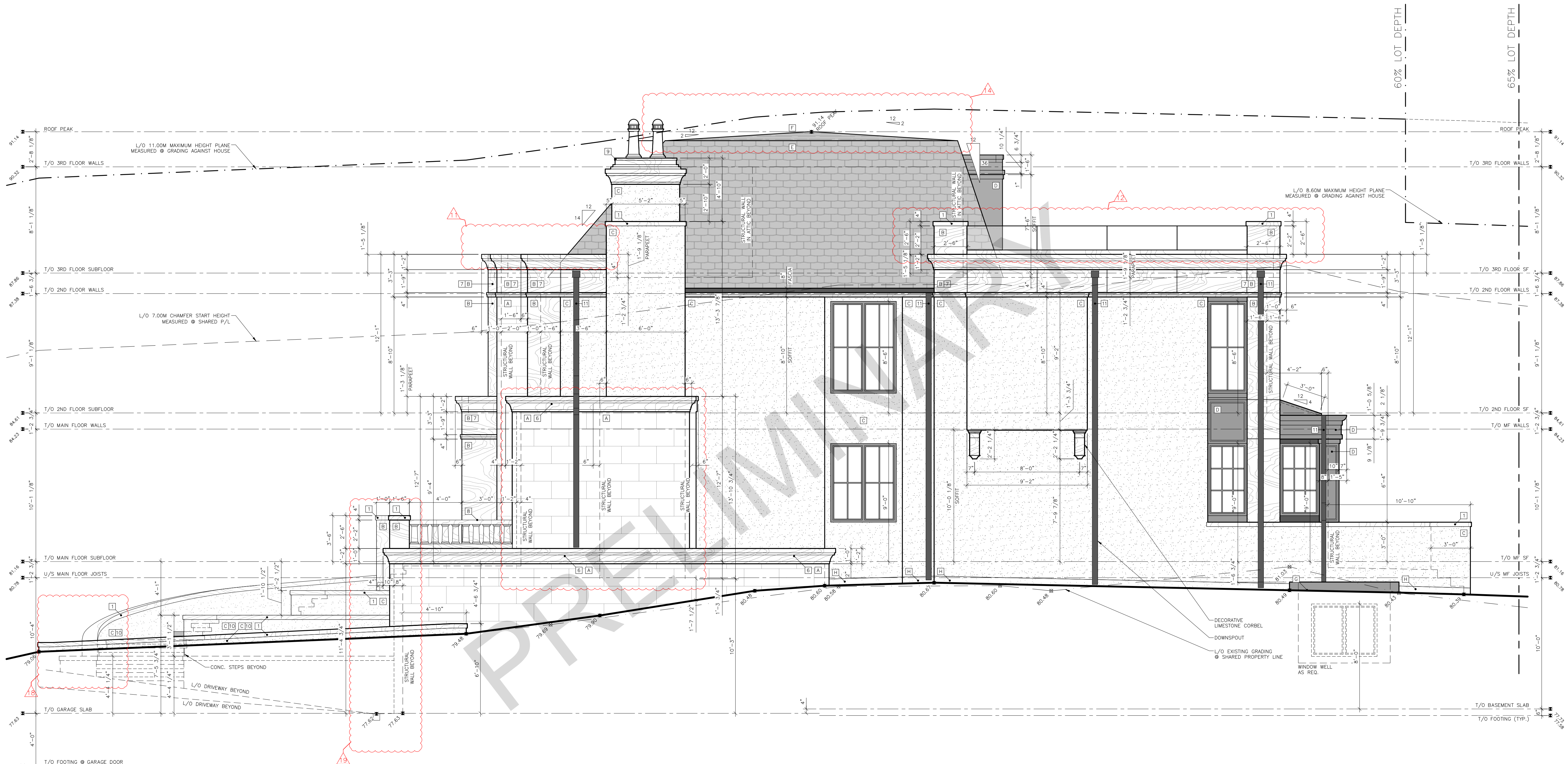
DRAWING TITLE:

ELEVATIONS P.2

SCALE:
DATE: 1/4" = 1'-0"
JUNE 29, 2026

SHEET:

A2.2



MATERIALS LEGEND

NATURAL STONE [A]	LIMESTONE PLASTER PANELING [B]	SMOOTH ACRYLIC STUCCO [C]
DARK METAL PANELING [D]	ASPHALT ROOF SHINGLES [E]	TORCH-APPLIED MODIFIED BITUMEN ROOFING [F]
SMOOTH CONCRETE [G]	PAVING [H]	

COMMON DETAILS

- | | |
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| 2. 6" LIMESTONE TRIM | 8. 26" HIGH DECORATIVE LIMESTONE RAILING |
| 3. 2" CURVED LIMESTONE TRIM | 9. 24" LIMESTONE CHIMNEY CAP |
| 4. 2" DARK METAL TRIM | 10. CONC. RETAINING WALL
C/W SMOOTH ACRYLIC STUCCO |
| 5. 2" LIMESTONE TRIM | 11. BLACK ALUMINUM DOWNSPOUT |
| 6. 14" LIMESTONE CORNICE FASCIA PROFILE | |

- RIGHT SIDE 14.000" ENG. FLUSH BEAM LOCATION WAS REVISED AND RELOCATED BY 6" TO SUPPORT FRAMED CHIMNEY ABOVE.
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- RIGHT SIDE CHIMNEY BUILD-OUT FRAMING LENGTH WAS REVISED TO 6'-10" X 4" WITH A TOTAL OF 12'-10" X 4" FOR THE FRAMED NATURAL STONE FINISH.
- MAIN DOOR WAS REVISED TO 3'-6" WITH LEFT-SIDE AND RIGHT-SIDE LIGHT OF 1'-3" X 9'-0".
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- RIGHT SIDE CHIMNEY 14.000" ENG. FLUSH BEAM LENGTH WAS REVISED TO 5'-6".
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- RIGHT SIDE CHIMNEY AT SECOND FLOOR LEVEL WAS REVISED TO 6'-0" X 4".
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- FRONT STONE BALUSTERS AND NEWEL POST WERE REMOVED. PARAPET TO REMAIN.
- FRONT STONE BALUSTERS AND PARAPET WERE REMOVED. ROOFING TO CONTINUE TO EDGE OF FRONT PARAPET.
- REAR STONE BALUSTERS WERE REVISED TO GLASS RAILINGS.
- ASPHALT TORCHED ON ROOFING AREA WAS REVISED TO TILE ON PEDESTAL. NEWEL POST AND GLASS RAILING WERE ADDED.
- ROOF PEAK WAS REVISED TO +91.14. ASPHALT TORCH ON ROOFING FINISH TO REMAIN.
- FRONT ROOFING SLOPE WAS REVISED TO 14:12 SLOPE.
- ENTRY WALKWAY MATERIAL DIFFERENTIATION FOR HERITAGE.
- WINDOW CHANGED TO DOOR.
- DRIVEWAY RECONFIGURED TO SINGLE WIDE, FRONT STAIR WALL CURVE ADDED.
- EXTENDED FRONT DECK 12" FURTHER BEYOND FRONT GARAGE DOOR.

1 RIGHT ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



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MECH/STORAGE	344.14 SQ.FT.
ENTRY DECK	316.06 SQ.FT.
REAR PATIO	478.17 SQ.FT.
ROOFTOP DECK	644.00 SQ.FT.

DRAWING TITLE:

ELEVATIONS P.3

SCALE: 1/4" = 1'-0"
DATE: JUNE 29, 2026

SHEET:

A2.3



MATERIALS LEGEND

NATURAL STONE [A]	LIMESTONE PLASTER PANELING [B]	SMOOTH ACRYLIC STUCCO [C]
DARK METAL PANELING [D]	ASPHALT ROOF SHINGLES [E]	TORCH-APPLIED MODIFIED BITUMEN ROOFING [F]
SMOOTH CONCRETE [G]	PAVING [H]	

COMMON DETAILS

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|---|---|
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- RIGHT SIDE CHIMNEY AT SECOND FLOOR LEVEL WAS REVISED TO 6'-0" X 4".
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- FRONT STONE BALUSTERS AND PARAPET WERE REMOVED. ROOFING TO CONTINUE TO EDGE OF FRONT PARAPET.
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- FRONT ROOFING SLOPE WAS REVISED TO 14:12 SLOPE.
- ENTRY WALKWAY MATERIAL DIFFERENTIATION FOR HERITAGE.
- WINDOW CHANGED TO DOOR.
- DRIVEWAY RECONFIGURED TO SINGLE WIDE, FRONT STAIR WALL CURVE ADDED.
- EXTENDED FRONT DECK 12" FURTHER BEYOND FRONT GARAGE DOOR.

1 REAR ELEVATION

SCALE: 1/4" = 1'-0"



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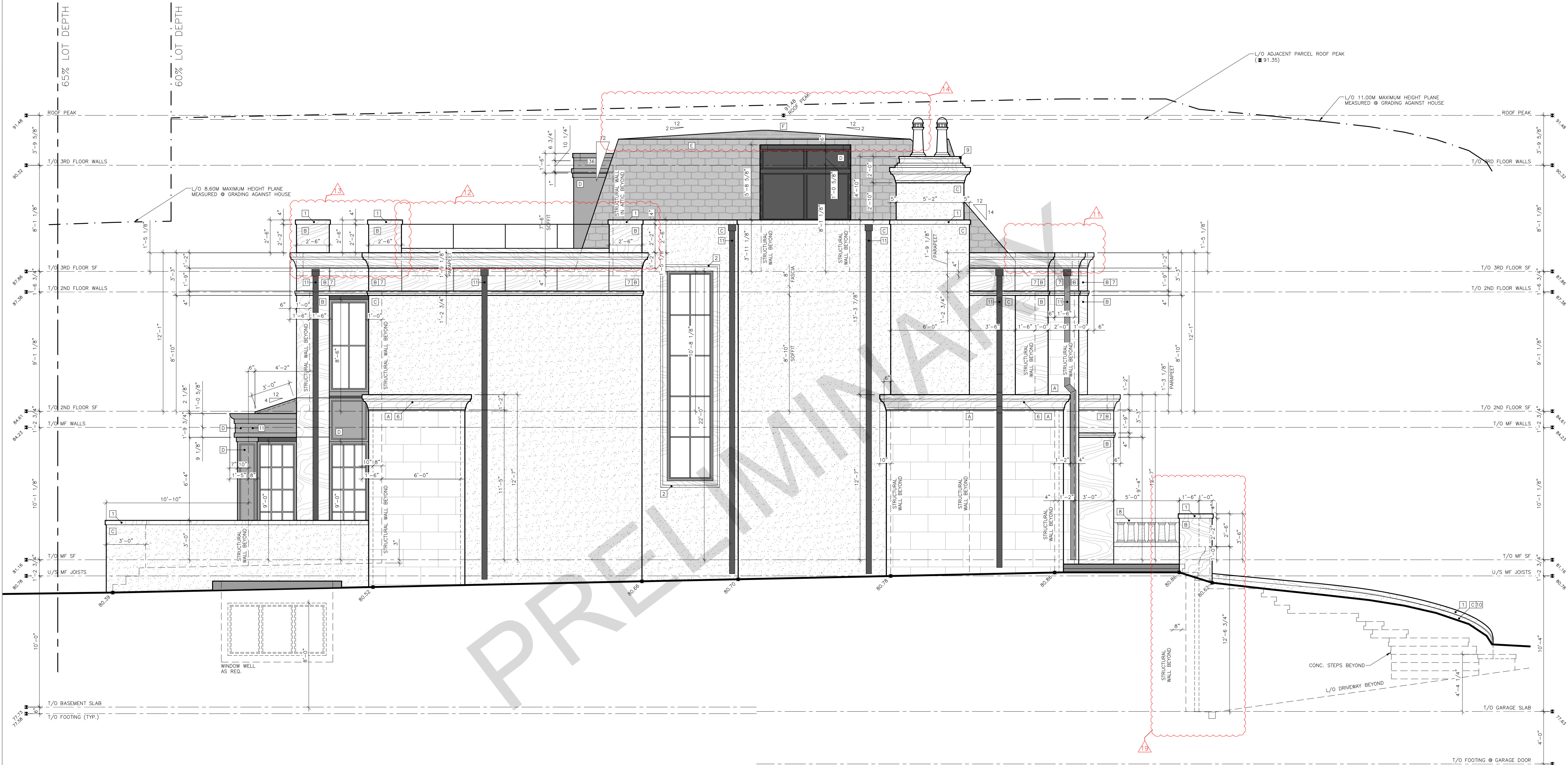
DRAWING TITLE:

ELEVATIONS P.4

SCALE: 1/4" = 1'-0"
DATE: JUNE 29, 2026

SHEET:

A2.4





PROJECT:

ISSUED FOR DEVELOPMENT PERMIT

1120 FRONTENAC AVENUE SW
CALGARY, ALBERTA

LOT 20
BLOCK 64
PLAN 7080AJ

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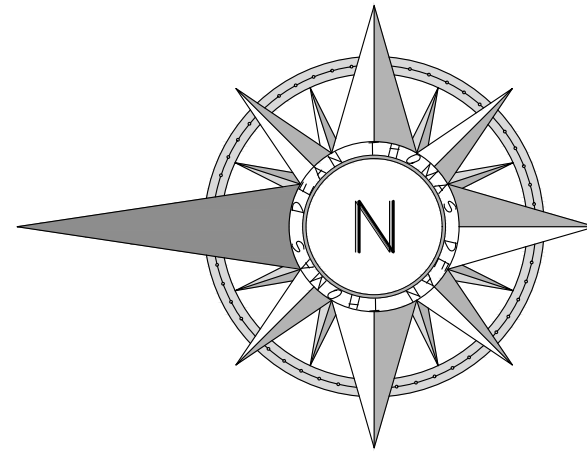
DRAWING TITLE:

BLOCK PLAN

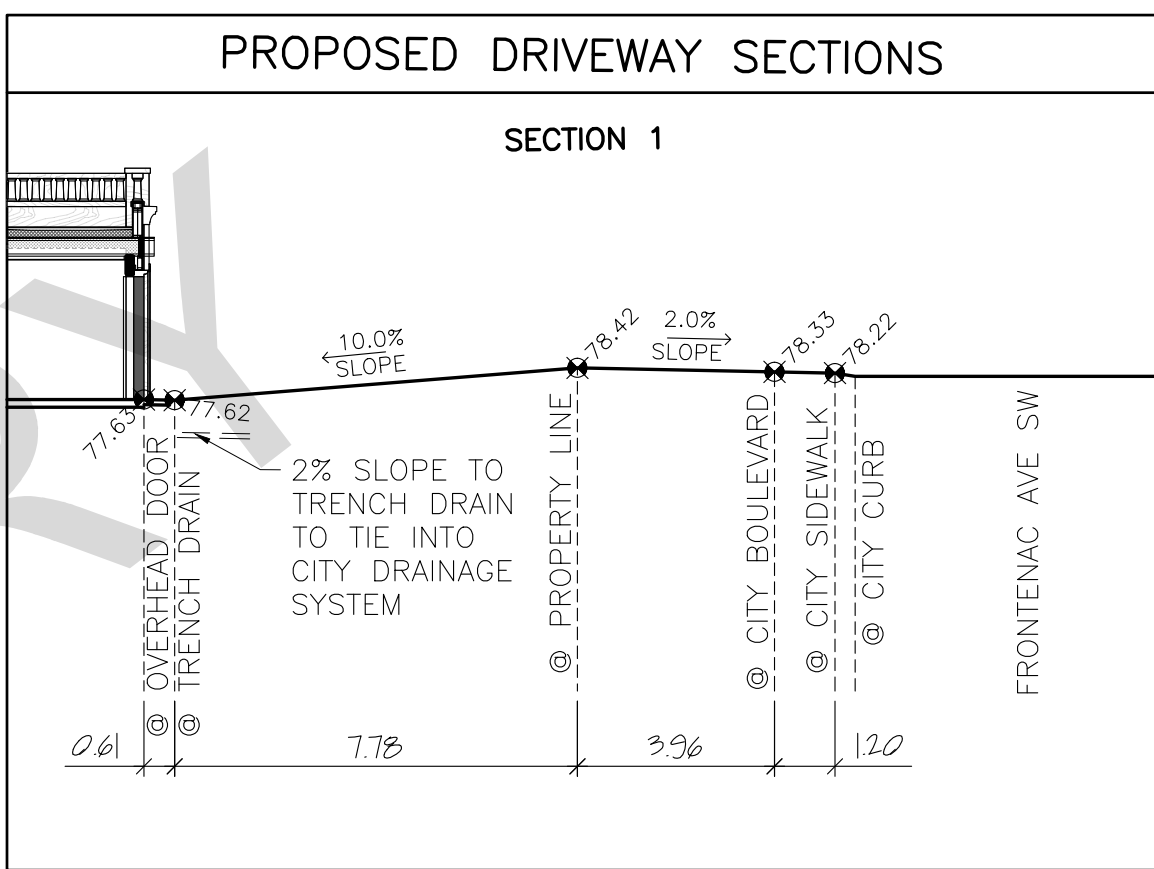
SCALE: 1:150
DATE: JUNE 29, 2026

SHEET:

A1.1



- RIGHT SIDE 14,000' ENG. FLUSH BEAM LOCATION WAS REVISED AND RELOCATED BY 6' TO SUPPORT FRAMED CHIMNEY ABOVE.
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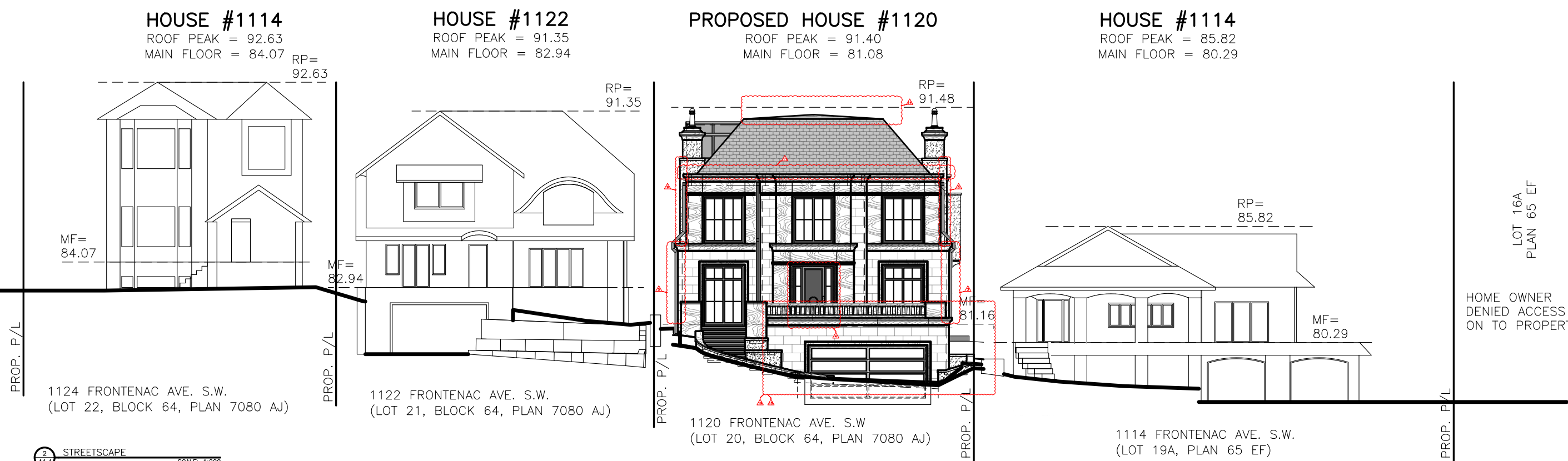


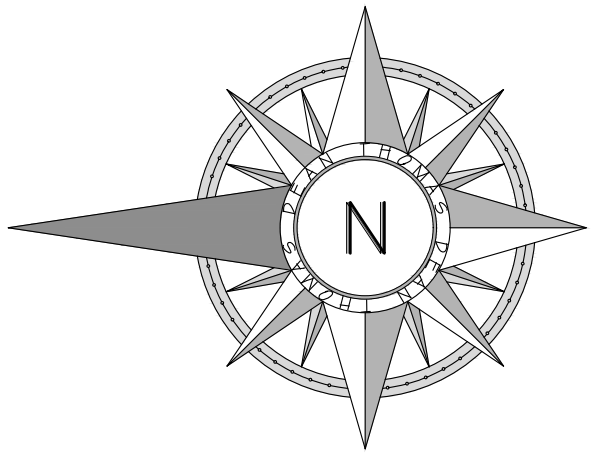
SITE PLAN	
NOTES:	
ELEVATIONS ARE SHOWN THUS: Φ = 1050.00 METRES.	
ELEVATIONS ARE DERIVED FROM ASCM 83493	
CONTOURS ARE AT XX METRE INTERVALS.	
DISTANCES ARE IN METRES AND DECIMALS THEREOF.	
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:	
'CANT.'	DENOTES CANTILEVERS
'ENC.'	DENOTES ENCROACHMENT(S)
'BW'	DENOTES BACK OF WALKWAY
'CONC.'	DENOTES CONCRETE
'RET.'	DENOTES RETAINING
'BC'	DENOTES BACK OF CURB
'TOW'	DENOTES TOP OF WALL
'BOW'	DENOTES BOTTOM OF WALL

LINETYPE LEGEND	
---	DENOTES SUBJECT PROPERTY LINE
---	DENOTES ADJACENT PROPERTY LINES
---	DENOTES SUBJECT SETBACKS
---	DENOTES SUBJECT ROOF LINE
---	DENOTES SUBJECT UPPER FLOOR
---	DENOTES UTILITY RIGHT OF WAY
X-X	DENOTES PROPOSED FENCE
X-X	DENOTES PROPOSED LOT DRAINAGE
X-X	DENOTES EXISTING TO BE REMOVED
X-X	DENOTES EXISTING FENCE
W	DENOTES EXISTING WATER
S	DENOTES EXISTING SANITARY
G	DENOTES EXISTING GAS
ST	DENOTES EXISTING STORM
OH	DENOTES OVERHEAD POWER
P	DENOTES UNDERGROUND POWER

SYMBOLS LEGEND	
Φ	DENOTES EXISTING GEODETIC DATUM POINT
$\otimes$	DENOTES INTERPOLATED EXISTING GEODETIC POINT
$\otimes$	DENOTES PROPOSED GEODETIC DATUM POINT
BA	DENOTES PROPOSED LOWER LEVEL WINDOW
MF	DENOTES PROPOSED MAIN FLOOR WINDOW
UF	DENOTES PROPOSED UPPER FLOOR WINDOW
U2	DENOTES PROPOSED LOFT FLOOR WINDOW
$\otimes$	DENOTES PROPOSED CONCRETE OR ASPHALT
$\otimes$	DENOTES EXISTING POWER POLE
$\otimes$	DENOTES EXISTING MANHOLE
$\otimes$	DENOTES EXISTING CATCH BASIN
$\otimes$	DENOTES EXISTING SIGN
$\otimes$	DENOTES EXISTING WATER VALVE
$\otimes$	DENOTES EXISTING GAS VALVE
$\otimes$	DENOTES EXISTING STREET LIGHT
$\otimes$	DENOTES EXISTING TREE

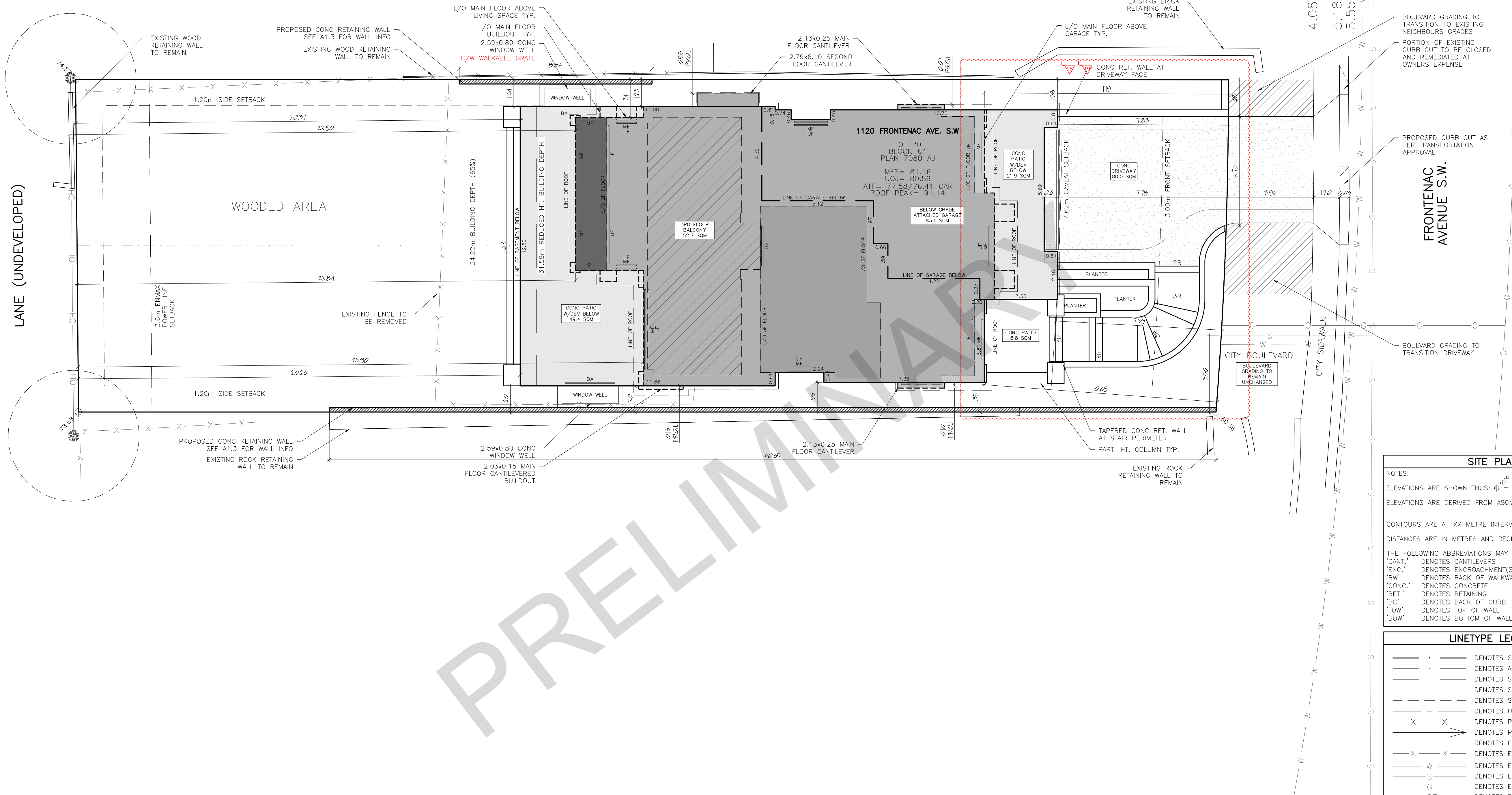
BUILDING AREA	
BUILDING AREA (DWELLING):	291.81 SQ. M.
LOT AREA:	801.24 SQ. M.
BUILDING COVERAGE:	25.19%





LANE (UNDEVELOPED)

200mm STORM LINE ST ST ST ST ST ST ST

[illegible]

SITE PLAN

NOTES:

ELEVATIONS ARE SHOWN THUS: $\oplus^{50.00} = 1050.00$ METRES.

ELEVATIONS ARE DERIVED FROM ASCM 83493

CONTOURS ARE AT XX METRE INTERVALS.
DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

'CANT.'	DENOTES	CANTILEVERS
'ENC.'	DENOTES	ENCROACHMENT(S)
'BW'	DENOTES	BACK OF WALKWAY
'CONC.'	DENOTES	CONCRETE
'RET.'	DENOTES	RETAINING
'BC'	DENOTES	BACK OF CURB
'TOW'	DENOTES	TOP OF WALL
'BOW'	DENOTES	BOTTOM OF WALL

LINETYPE LEGEND

— — — — —	•	— — — — —	DENOTES SUBJECT PROPERTY LINE
— — — — —		— — — — —	DENOTES ADJACENT PROPERTY LINES
— — — — —		— — — — —	DENOTES SUBJECT SETBACKS
— — — — —		— — — — —	DENOTES SUBJECT ROOF LINE
— — — — —		— — — — —	DENOTES SUBJECT UPPER FLOOR
— — — — —		— — — — —	DENOTES UTILITY RIGHT OF WAY
— — — — —	X	X	DENOTES PROPOSED FENCE
— — — — —		— — — — —	DENOTES PROPOSED LOT DRAINAGE
— — — — —		— — — — —	DENOTES EXISTING TO BE REMOVED
— — — — —	X	X	DENOTES EXISTING FENCE
— — — — —	W		DENOTES EXISTING WATER
— — — — —	S		DENOTES EXISTING SANITARY
— — — — —	G		DENOTES EXISTING GAS
— — — — —	ST		DENOTES EXISTING STORM
— — — — —	OH		DENOTES OVERHEAD POWER
— — — — —	P		DENOTES UNDERGROUND POWER

SYMBOLS LEGEND

	DENOTES EXISTING GEODETIC DATUM POINT
	DENOTES INTERPOLATED EXISTING GEODETIC POINT
	DENOTES PROPOSED GEODETIC DATUM POINT
	DENOTES PROPOSED LOWER LEVEL WINDOW
	DENOTES PROPOSED MAIN FLOOR WINDOW
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	DENOTES PROPOSED LOFT FLOOR WINDOW
	DENOTES PROPOSED CONCRETE OR ASPHALT
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	DENOTES EXISTING CATCH BASIN
	DENOTES EXISTING SIGN
	DENOTES EXISTING WATER VALVE
	DENOTES EXISTING GAS VALVE
	DENOTES EXISTING STREET LIGHT
	DENOTES EXISTING TREE

BUILDING AREA

BUILDING AREA (DWELLING): 291.81 SQ. M.
LOT AREA: 801.24 SQ. M.
BUILDING COVERAGE: 25.19%

DEANTHOMAS
DESIGN GROUP

403 | 719 | 6641

1109 OLYMPIC WAY SE
CALGARY, ALBERTA
T2G 1B9



403 | 292 | 0610

1187 KENSINGTON CRESCENT NW
CALGARY, ALBERTA
T2N 1X7

PROJECT:

ISSUED FOR
DEVELOPMENT PERMIT

1120 FRONTENAC AVENUE SW
CALGARY, ALBERTA

LOT 20
BLOCK 64
PLAN 7080AJ

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DESIGNER IMMEDIATELY.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

- | | | |
|----|-------------------------------------|--------------|
| 1. | ISSUED FOR DEVELOPMENT PERMIT | JAN 29, 2026 |
| 2. | ISSUED FOR DEVELOPMENT PERMIT (DR1) | JUN 29, 2026 |

DRAWN BY: BP, DC

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2327.50	SQ.FT.
UPPER FLOOR AREA (DEVELOPED)	2185.00	SQ.FT.
LOFT FLOOR AREA (DEVELOPED)	384.65	SQ.FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	4897.15	SQ.FT.
LOWER LEVEL AREA (DEVELOPED)	1793.03	SQ.FT.
ATTACHED GARAGE AREA	854.08	SQ.FT.
MECH/STORAGE	344.14	SQ.FT.
ENTRY DECK	316.06	SQ.FT.
REAR PATIO	478.17	SQ.FT.
ROOFTOP DECK	644.00	SQ.FT.

DRAWING TITLE:

SITE PLAN_x

SCALE: 1:100_x
DATE: JUNE 29, 2026

SHEET:

A1.2_x



4.08m	BW
5.18m	BC
5.55m	LG

TYPICAL FENCE DETAIL

[illegible]

BUILDING AREA (DWELLING): 291.81 SQ. M.
LOT AREA: 801.24 SQ. M.

SHEET: