

NOTE
DOWN SPOUTS TO BE LOCATED ON SITE BY
INSTALLING CONTRACTOR AND LOCATIONS
TO BE CONFIRMED BY HOME OWNER

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
MIN. PERFORMANCE GRADE (PG) ^B :	25
MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	260Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M2xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7



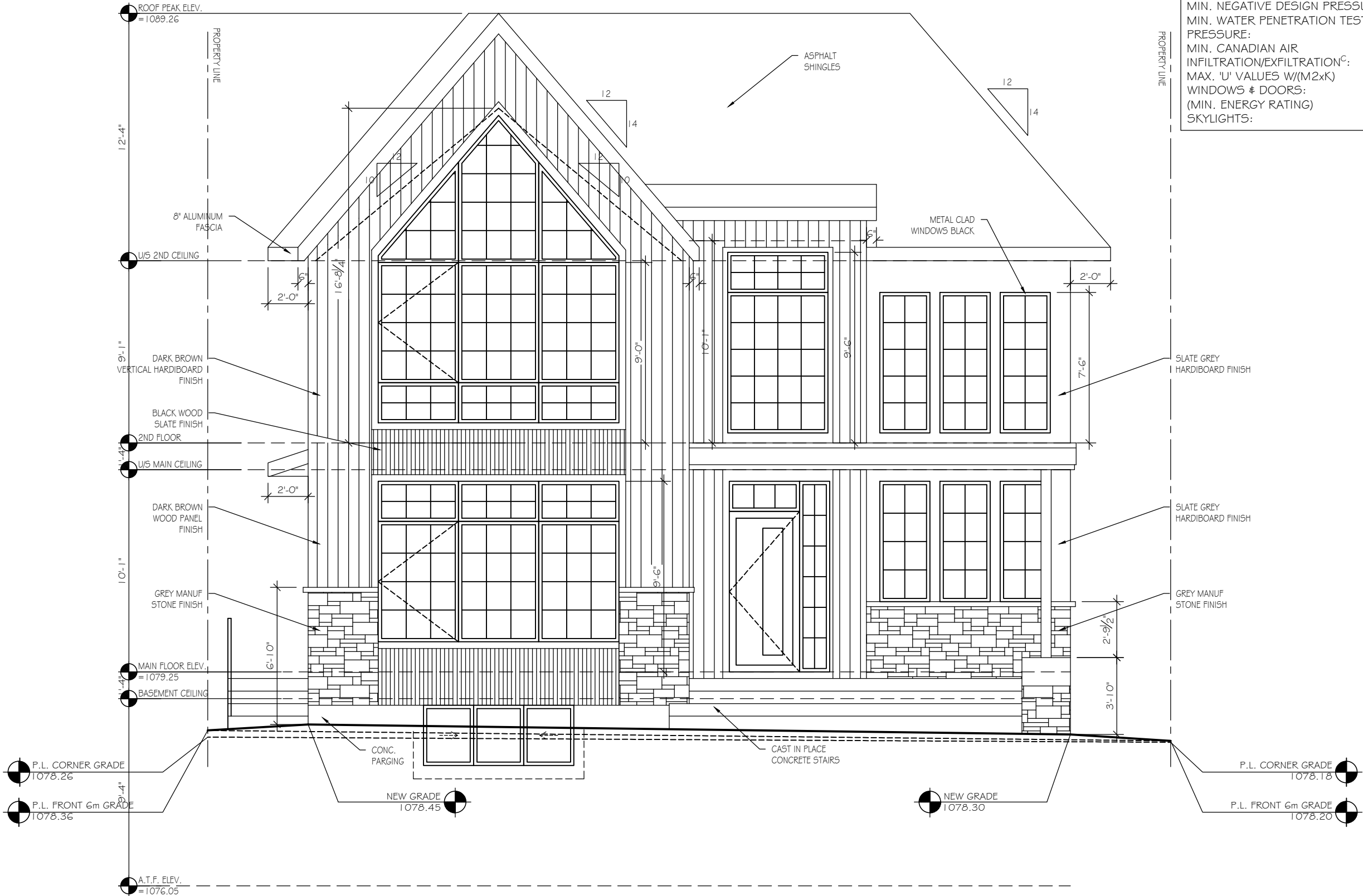
ENGINEER STAMP

CONTRACTOR TO
VERIFY ALL
DIMENSIONS PRIOR
TO START AND
REPORT ERRORS TO
DESIGNER FOR
CORRECTION.

DRAWN BY:	MET	SPECIFICATION:	CUSTOM
DATE:	JAN./26	MAIN AREA:	1661 SQ.FT.
SCALE:	3/16"=1'-0"	SECOND AREA:	1697 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3358 SQ.FT.

MODEL: CUSTOM SINGLE DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 CA
ADDRESS: 1140 REGENT CRESCENT N.E.

1 OF 16



EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

ROOF	ASPALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

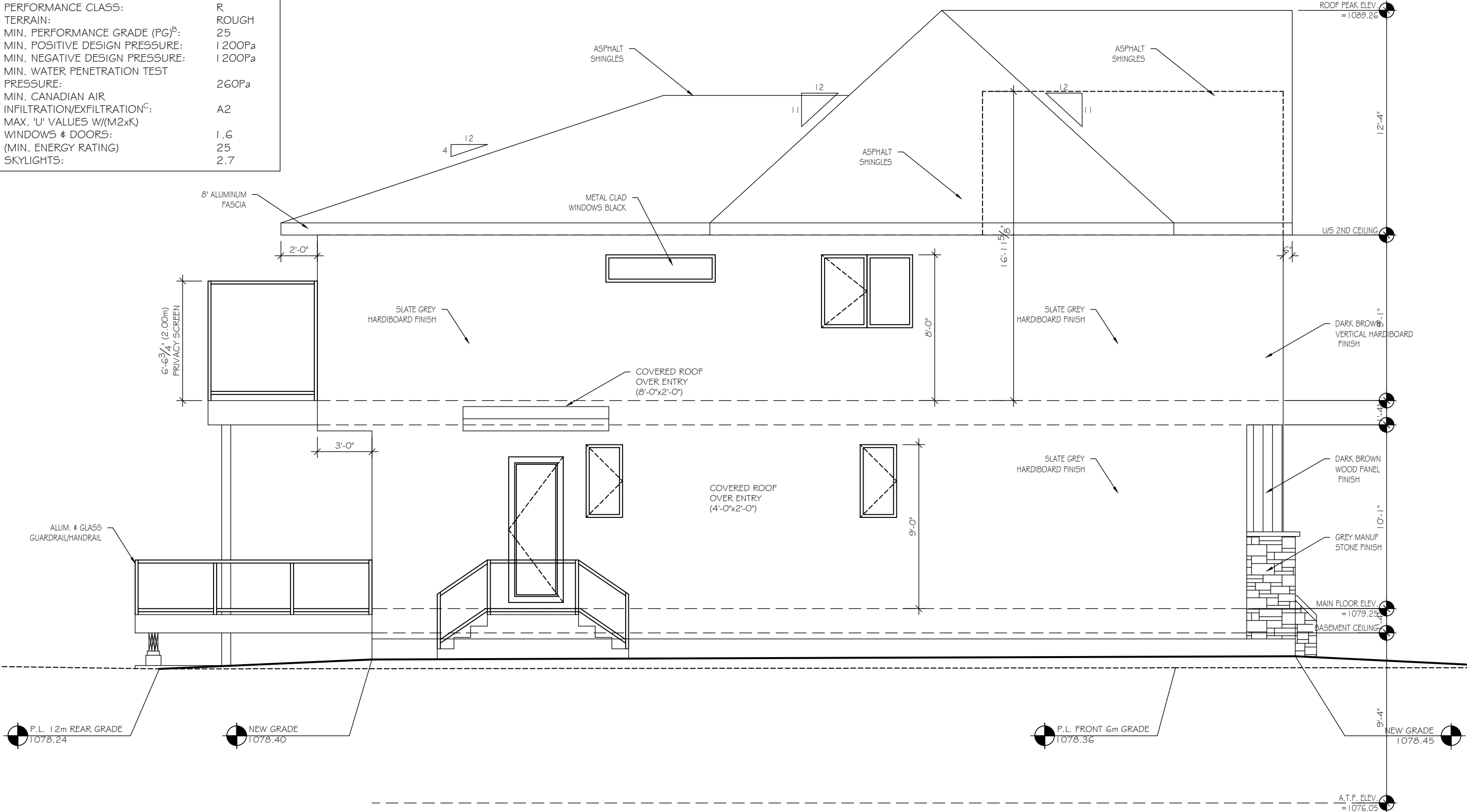
FRONT (EAST) ELEVATION

SCALE: 3/16"=1'-0"

HIGHEST AVERAGE GRADE FRONT = 1078.22
HIGHEST AVERAGE GRADE REAR = 1078.40
HIGHEST AVERAGE GRADE +1.00 = 1079.40
HIGHEST AVERAGE GRADE +1.00 + 11.00 = 1090.40
MAXIMUM HEIGHT = 1090.40
DIFFERENCE IN SLOPE FRONT TO BACK = 0.18m

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

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MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	2 60Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M2xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7



LEFT (SOUTH) ELEVATION

SCALE: 3/16" = 1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

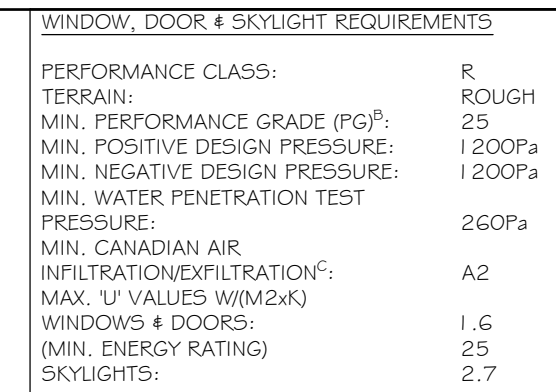
ROOF	ASPHALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINFWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

UNPROTECTED OPENINGS

WALL AREA :	1192.56 sq.ft.
GLAZING AREA ALLOWED (7.00%) :	83.48 sq.ft.
CURRENT GLAZING AREA :	62.11 sq.ft.

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JOB NO.: N/A	TOTAL AREA:	3358 SQ.FT.

MODEL: CUSTOM SINGLE DETACHED DWELLING	PLAN: 6133 CA
CLIENT: PRIVATE RESIDENCE	ADDRESS: 1140 REGENT CRESCENT N.E.
LOT: 20 BLOCK: 4	



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2 OF 16

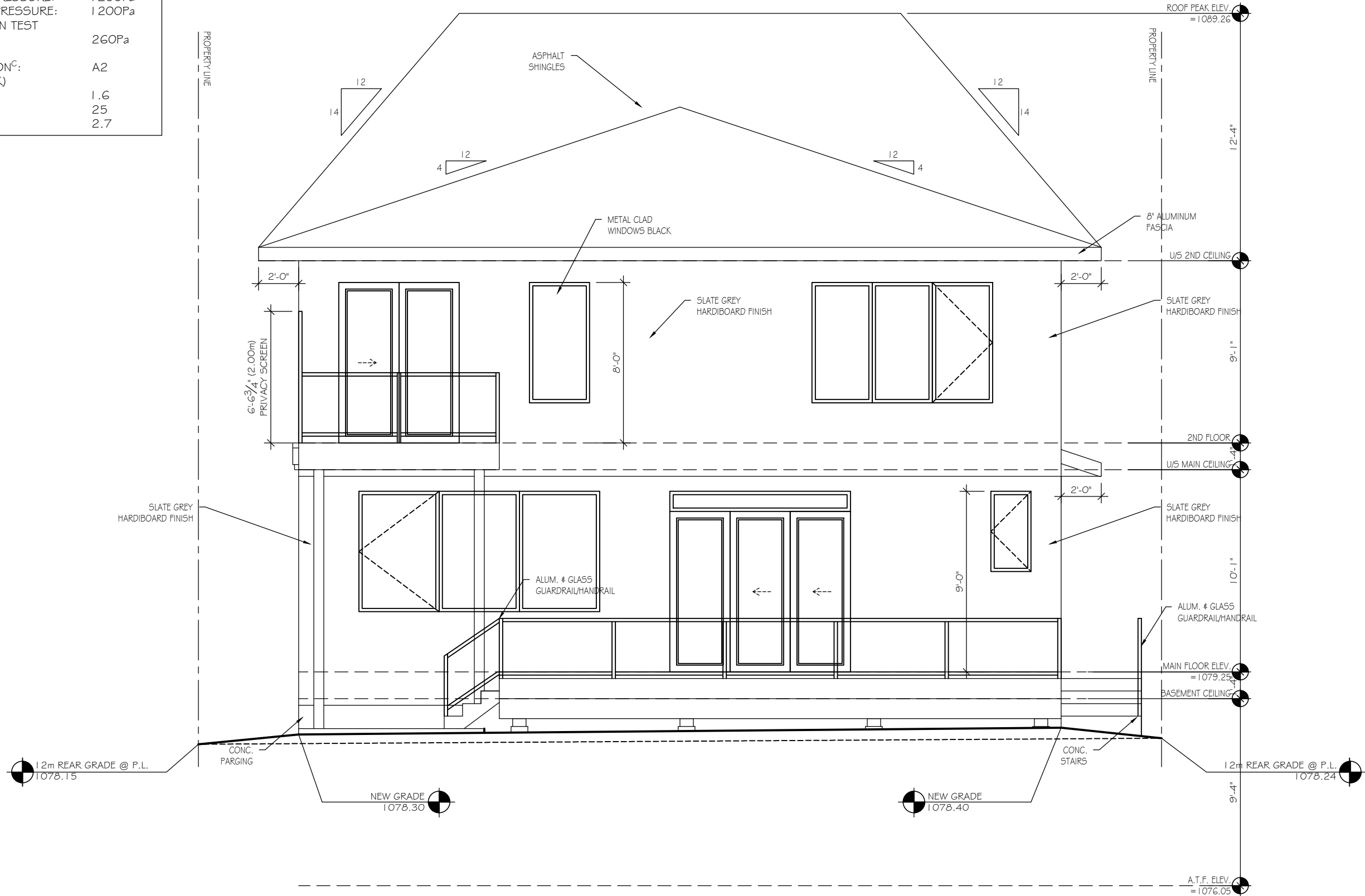
RIGHT (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS			
ROOF	ASPHALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU. STONE	N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

<u>UNPROTECTED OPENINGS</u>	
WALL AREA :	1213.25 sq.ft.
GLAZING AREA ALLOWED (7.00%) :	84.93 sq.ft.
CURRENT GLAZING AREA :	54.53 sq.ft.

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
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REAR (WEST) ELEVATION
SCALE: 3/16"= 1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

ROOF	ASPHALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

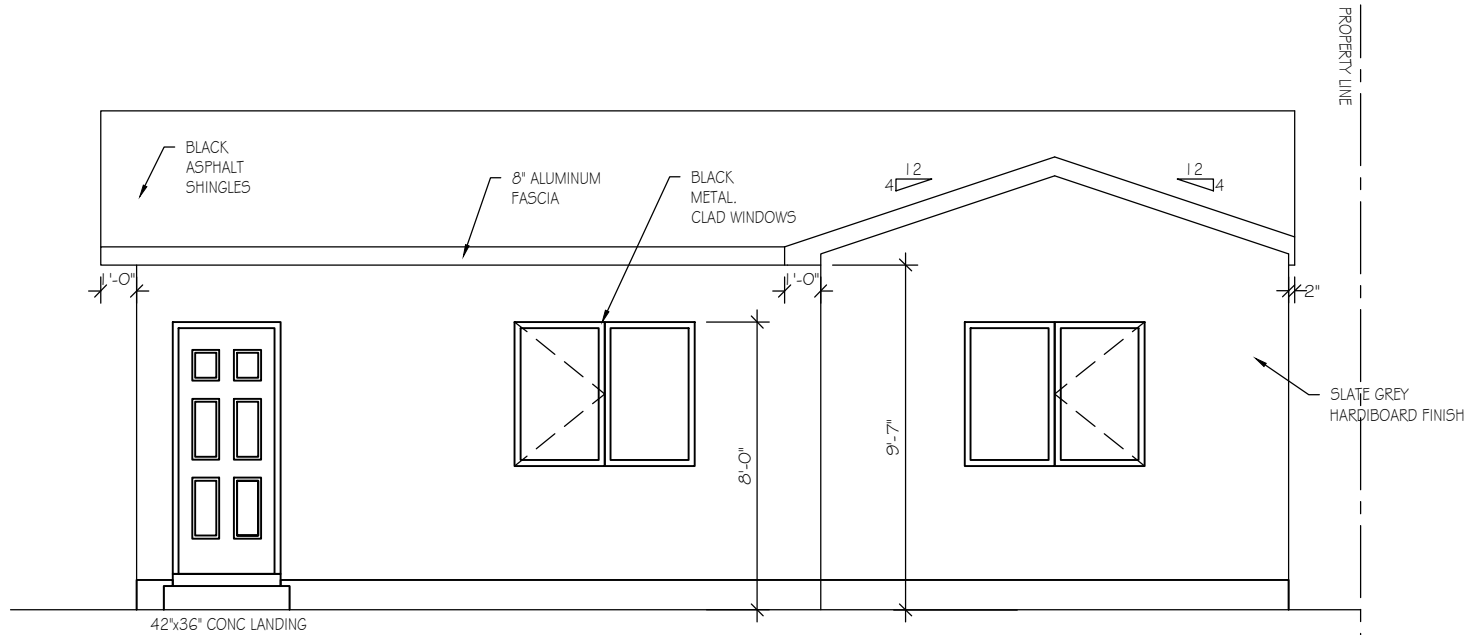


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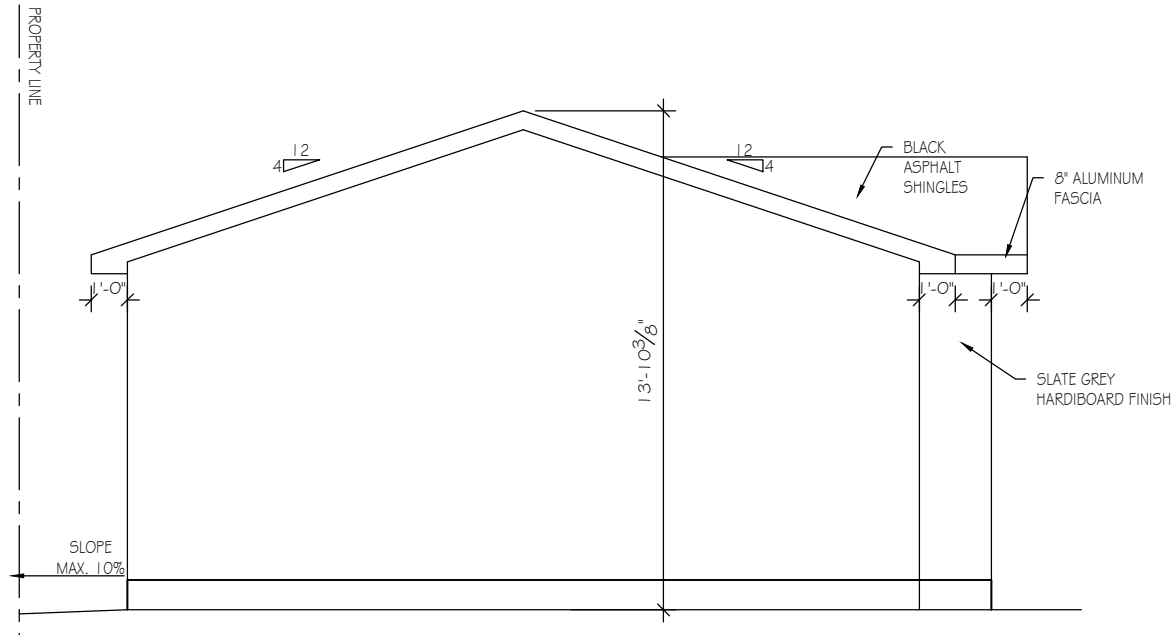
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JOB NO.:	N/A	TOTAL AREA:	3358 SQ.FT.

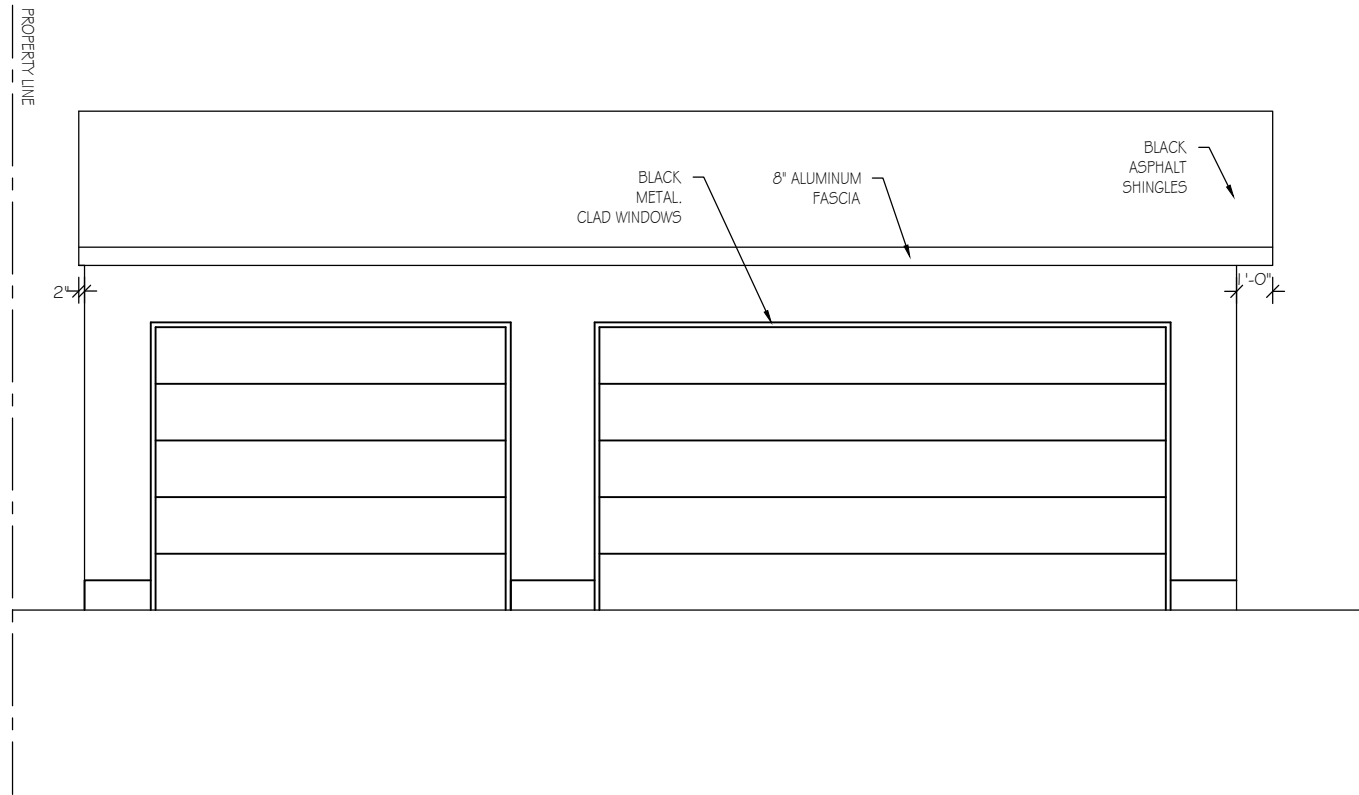
MODEL: CUSTOM SINGLE DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 CA
ADDRESS: 1140 REGENT CRESCENT N.E.



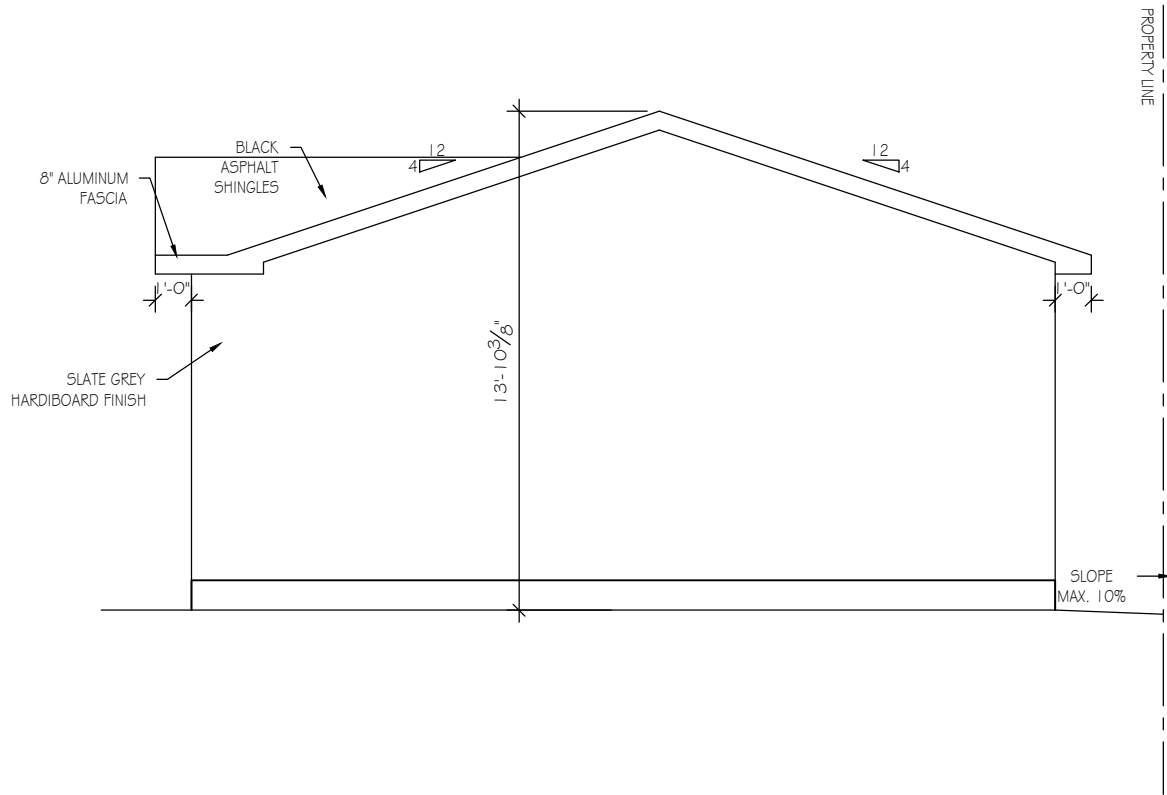
FRONT ELEVATION - EAST
SCALE: 3/16"=1'-0"



RIGHT ELEVATION - SOUTH
SCALE: 3/16"=1'-0"



REAR ELEVATION - WEST
SCALE: 3/16"=1'-0"

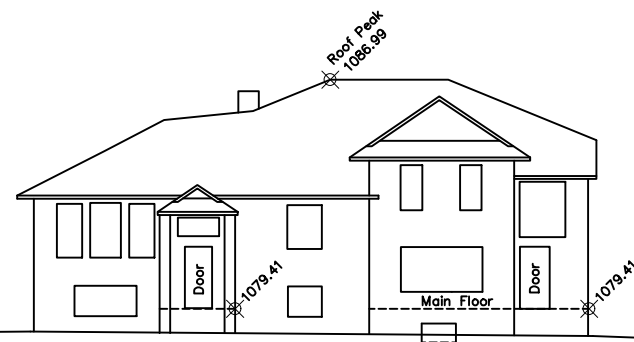


LEFT ELEVATION - NORTH
SCALE: 3/16"=1'-0"

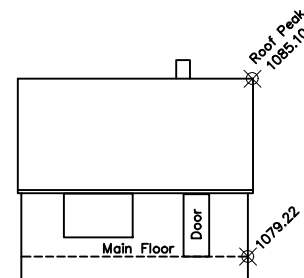
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DATE:	JAN./26	MAIN AREA:	1661 SQ.FT.
SCALE:	3/16"=1'-0"	SECOND AREA:	1697 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3358 SQ.FT.

MODEL:	CUSTOM SINGLE DETACHED DWELLING
CLIENT:	PRIVATE RESIDENCE
LOT:	20
BLOCK:	4
PLAN:	6133 CA
ADDRESS:	1140 REGENT CRESCENT N.E.

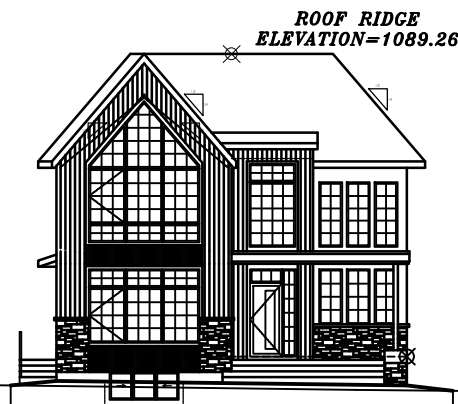
Radford Road N.E.



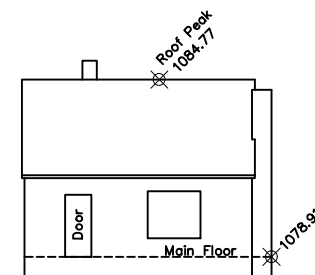
1148 & 1144 Regent Crescent N.E.
(Lot 22, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



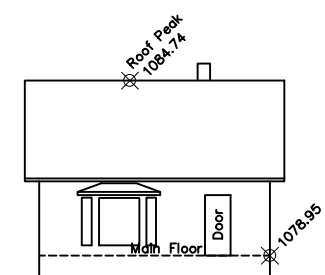
1142 Regent Crescent N.E.
(Lot 21, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



1140 Regent Crescent N.E.
(Lot 20, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



1138 Regent Crescent N.E.
(Lot 19, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



1136 Regent Crescent N.E.
(Lot 18, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.

1 EAST STREETScape
SCALE: 1:250

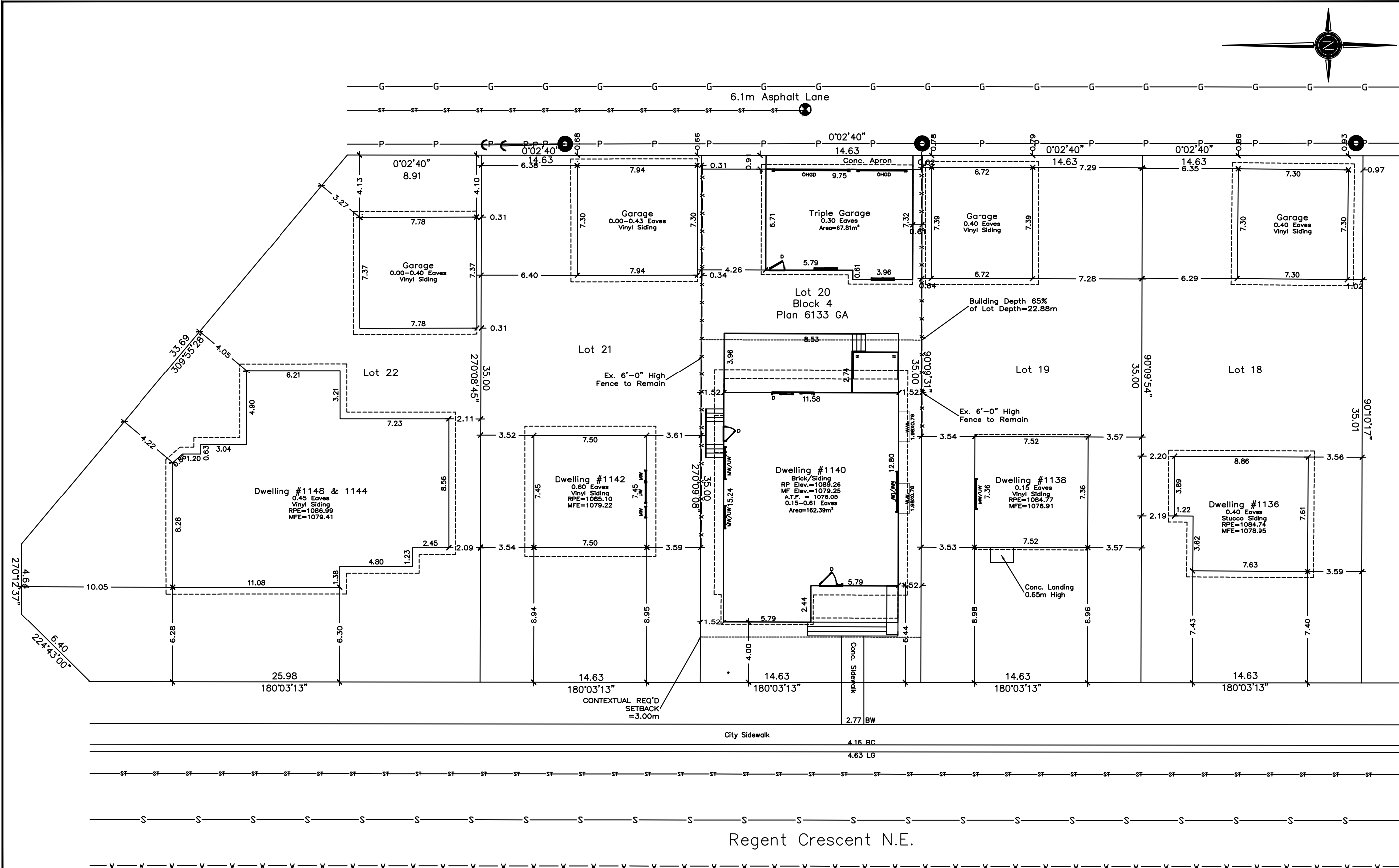


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DATE: JAN./26	MAIN AREA: 1661 SQ.FT.
SCALE: AS SHOWN	UPPER AREA: 1697 SQ.FT.
REVISED: -----	DEV. BASEMENT: 1445 SQ.FT.
JOB NO.: N/A	TOTAL AREA: 3358 SQ.FT.

MODEL: CUSTOM SINGLE DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 GA
ADDRESS: 1140 REGENT CRESCENT N.E.



1 BLOCK PLAN
SCALE: 1:250



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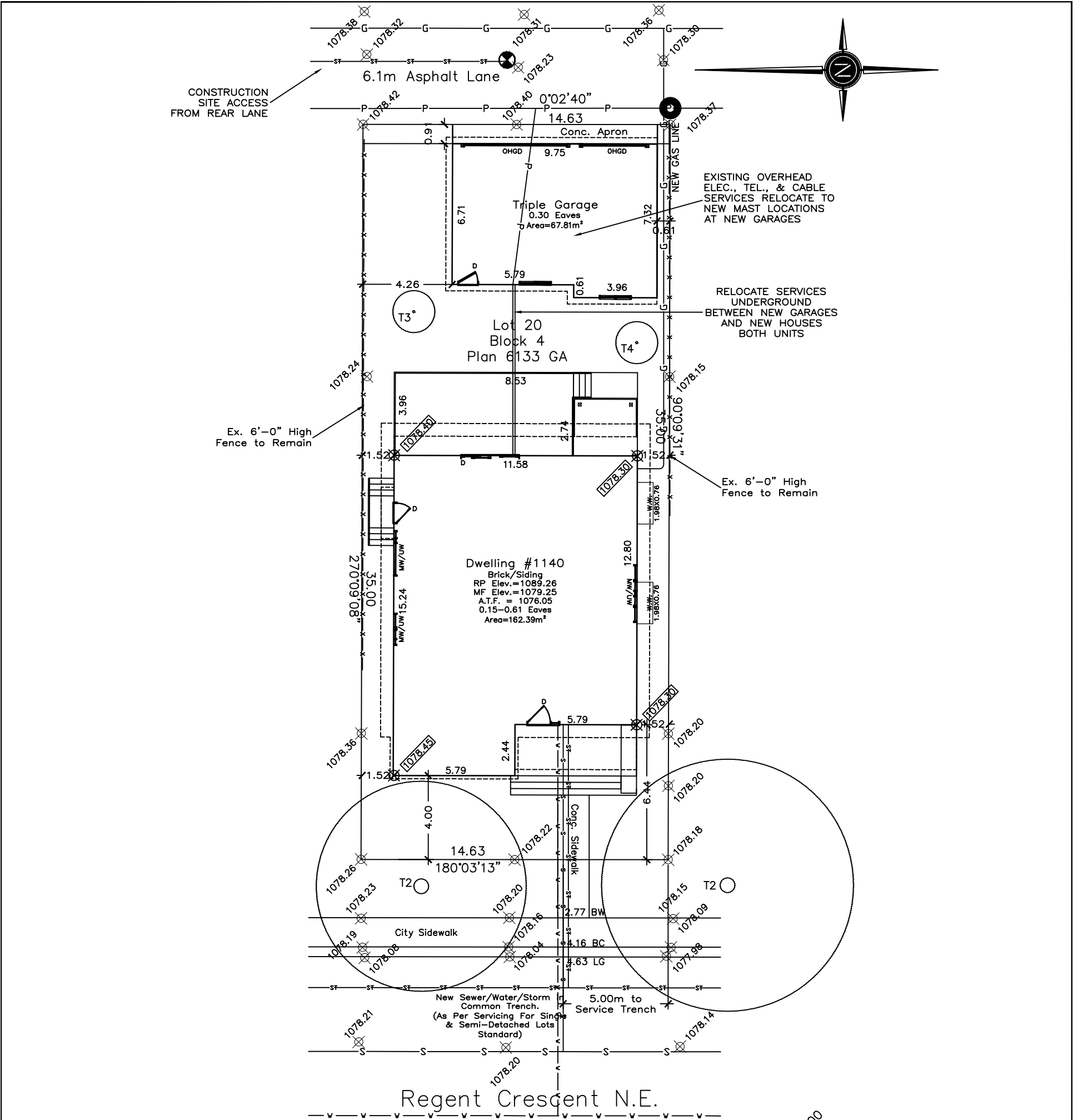
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JOB NO.:	N/A	TOTAL AREA:	3358 SQ.FT.

MODEL: CUSTOM SINGLE DETACHED DWELLING

CLIENT: PRIVATE RESIDENCE

LOT: 20 BLOCK: 4 PLAN: 6133 GA ADDRESS: 1140 REGENT CRESCENT N.E.

2 OF 3



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SITE PLAN

SCALE: 1:200

Tree No.	Variety	Scientific Name	Calliper (±)	Canopy (±)	Height (±)	Location	Disposition	Serial Number
T1	Deciduous	Fraxinus Pennsylvanica	0.70	10.00	9.00	In City Property	To Stay	T-32130955
T2	Deciduous	Fraxinus Pennsylvanica	0.70	12.00	9.00	In City Property	To Stay	T-32134720
T3	Coniferous		0.10	2.00	2.00	In Subject Property	To Stay	
T4	Coniferous		0.10	2.00	2.00	In Subject Property	New	

MAX SITE COVERAGE ALLOWED =	512.05 sq.m.x45%	
	230.42 sq.m.	
ACTUAL SITE COVERAGE =		
DWELLING	162.39 sq.m.	(1748.00 sq.ft.)
PORCHES	12.36 sq.m.	(133.00 sq.ft.)
	*Excluded from Lot Coverage 1P2007 Section 336 (5)	
GARAGE	67.82 sq.m.	(730.00 sq.ft.)
TOTAL	230.21 sq.m.	= 44.96%
PARKING REQUIRED	2 OFF STREET PARKING PER UNIT = 2 STALL TOTAL	
PARKING PROVIDED	2 CAR GARAGE PER UNIT = 2 STALLS TOTAL	
GROSS FLOOR AREA		
DWELLING	MAIN FLOOR	= 162.39 sq.m. (1748.00 sq.ft.)
	SECOND FLOOR	= 172.99 sq.m. (1862.00 sq.ft.)
TOTAL		= 335.38 sq.m. (3610.00 sq.ft.)

LEGEND

EX. ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES.(GEODETTIC)
NEW ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES.
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETTIC DATUM
AND ARE DERIVED FROM ASCMS 228098 AND 8573
ASCM 228098 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

----- denotes Calculation points
 ----- denotes Water Valve
 ----- denotes Gas Valve
 ----- denotes Manhole
 ----- denotes Tree
 ----- denotes Power Pole
 ----- denotes Sign
 ----- denotes Light Stand
-X-X- denotes Fence
----- denotes Sanitary Line
----- denotes Storm Line
----- denotes Water Line
----- denotes Gas Line
----- denotes Electrical Line
----- denotes Property Line

3 OF 3	MODEL: CUSTOM SINGLE DETACHED DWELLING	DRAWN BY: MET	SPECIFICATION: CUSTOM	CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.	ENGINEER STAMP	
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