

NOTE
DOWN SPOUTS TO BE LOCATED ON SITE BY
INSTALLING CONTRACTOR AND LOCATIONS
TO BE CONFIRMED BY HOME OWNER

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
MIN. PERFORMANCE GRADE (PG) ^B :	25
MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	260Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M2xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7



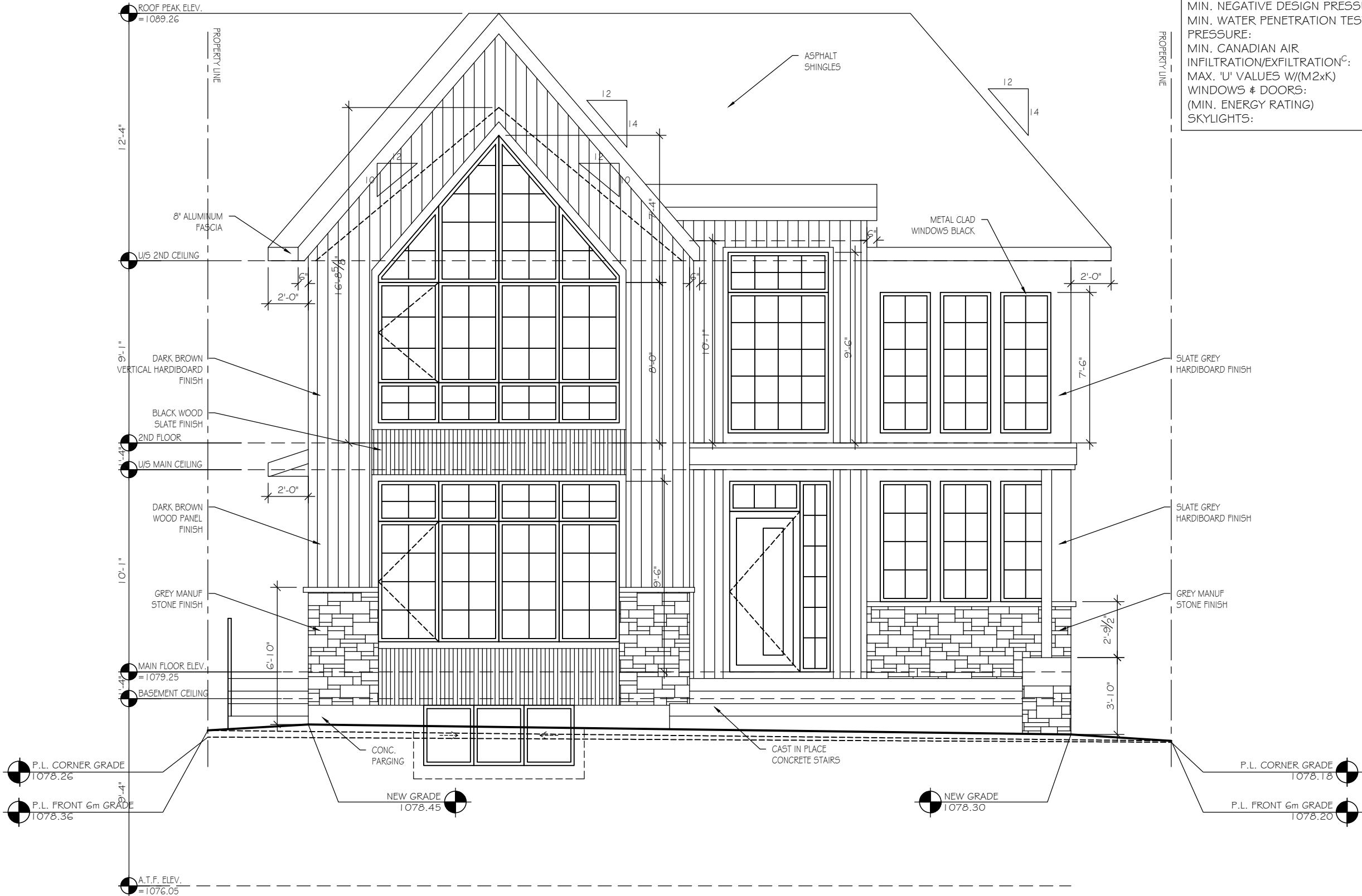
ENGINEER STAMP

CONTRACTOR TO
VERIFY ALL
DIMENSIONS PRIOR
TO START AND
REPORT ERRORS TO
DESIGNER FOR
CORRECTION.

DRAWN BY:	MET	SPECIFICATION:	CUSTOM
DATE:	APR./26	MAIN AREA:	1661 SQ.FT.
SCALE:	3/16"=1'-0"	SECOND AREA:	1661 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3322 SQ.FT.

MODEL: CUSTOM SINGLE DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 CA
ADDRESS: 1140 REGENT CRESCENT N.E.

1 OF 16



FRONT (EAST) ELEVATION

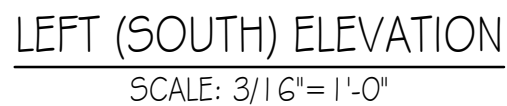
SCALE: 3/16"=1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

ROOF	ASPALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

HIGHEST AVERAGE GRADE FRONT = 1078.22
HIGHEST AVERAGE GRADE REAR = 1078.40
HIGHEST AVERAGE GRADE +1.00 = 1079.40
HIGHEST AVERAGE GRADE +1.00 + 11.00 = 1090.40
MAXIMUM HEIGHT = 1090.40
DIFFERENCE IN SLOPE FRONT TO BACK = 0.18m

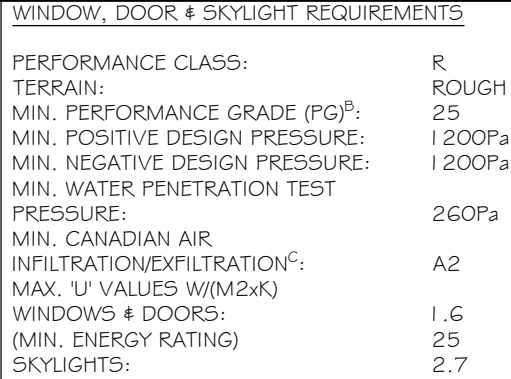
PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
MIN. PERFORMANCE GRADE (PG) ^B :	25
MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	260Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M ² xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7



ROOF	ASPHALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINFWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

WALL AREA :	1192.56 sq.ft.
GLAZING AREA ALLOWED (7.00%) :	83.48 sq.ft.
CURRENT GLAZING AREA :	62.11 sq.ft.

3 OF 16



SEVEN DESIGN LTD 

ENGINEER STAMP

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION

DRAWN BY: MET	SPECIFICATION:	CUSTOM
DATE: APR./26	MAIN AREA:	1661 SQ.FT.
SCALE: 3/16"=1'-0"	SECOND AREA:	1661 SQ.FT.
REVISED: N/A	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.: N/A	TOTAL AREA:	3322 SQ.FT.

MODEL: CUSTOM SINGLE DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 GA
ADDRESS: 1140 REGENT CRESCENT N.E.

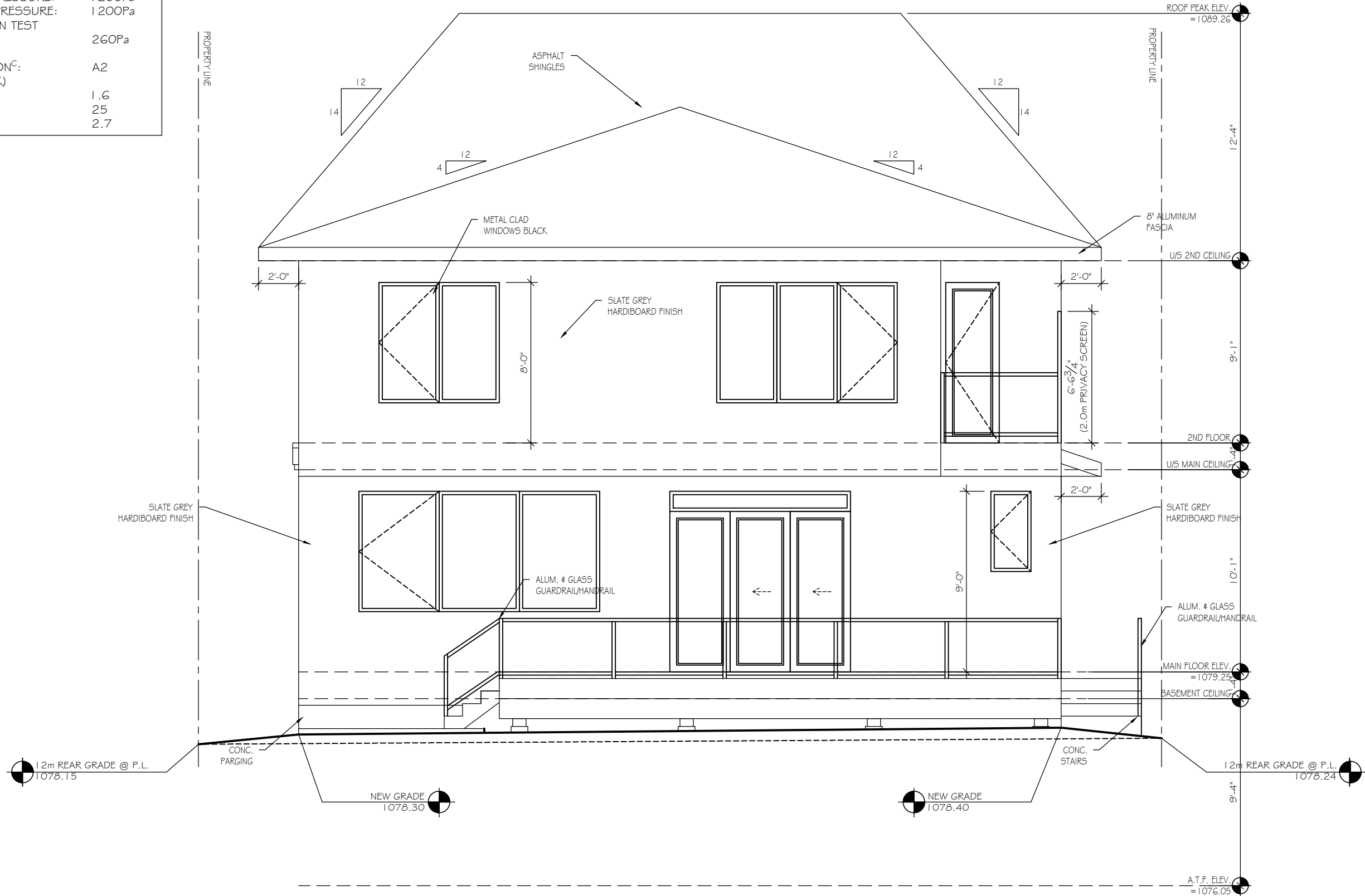
2 OF 16

ROOF	ASPHALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU. STONE	N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

WALL AREA :	1213.25 sq.ft.
GLAZING AREA ALLOWED (7.00%) :	84.93 sq.ft.
CURRENT GLAZING AREA :	54.53 sq.ft.

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
MIN. PERFORMANCE GRADE (PG) ^B :	25
MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	260Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M2xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7



REAR (WEST) ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

ROOF	ASPHALT - DK. BROWN	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO #1 - N/A	SIDING	WOOD GRAIN/SLAYE GREY
	STUCCO #2 - N/A	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

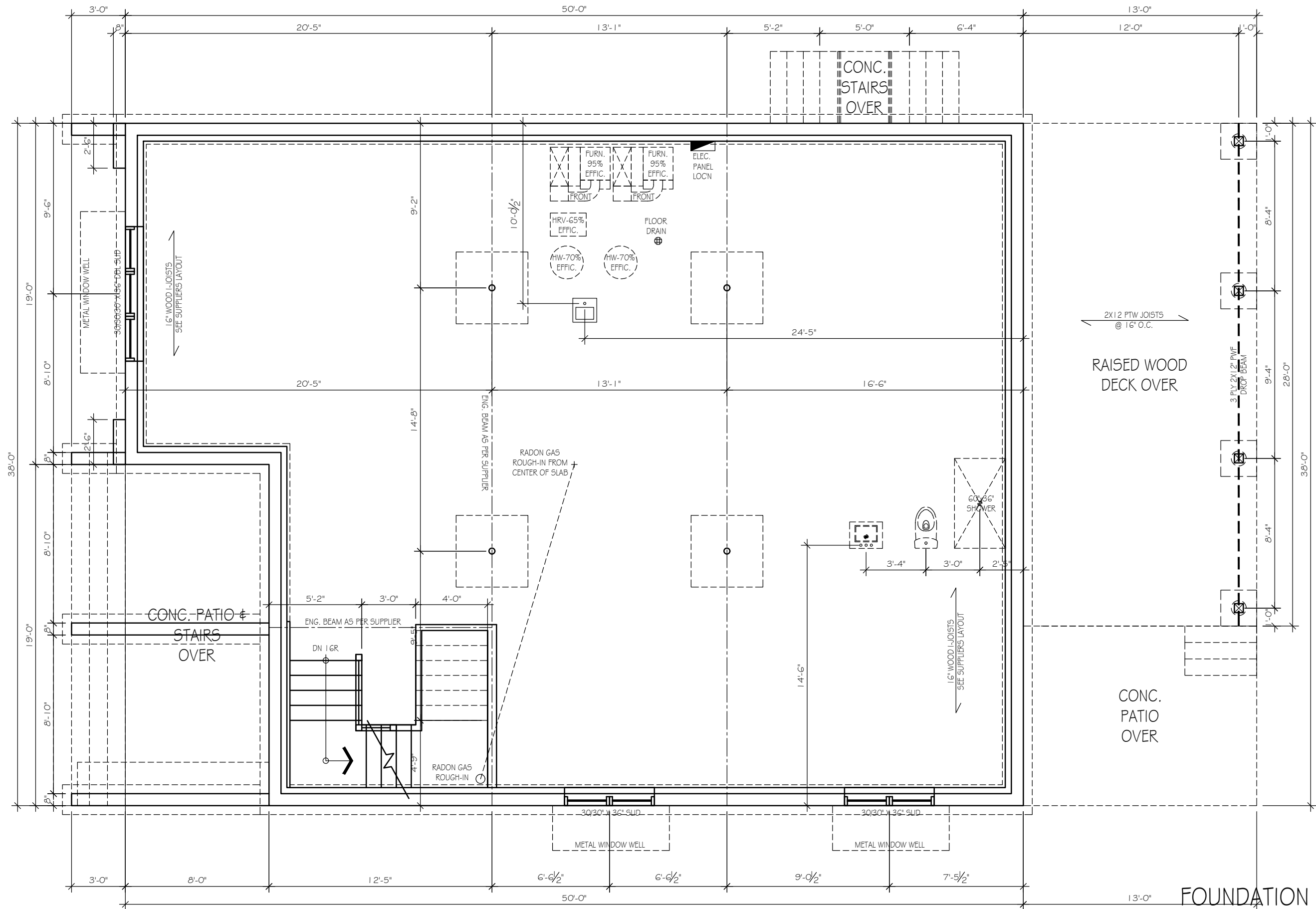


ENGINEER STAMP

CONTRACTOR TO
VERIFY ALL
DIMENSIONS PRIOR
TO START AND
REPORT ERRORS TO
DESIGNER FOR
CORRECTION.

DRAWN BY:	MET	SPECIFICATION:	CUSTOM
DATE:	APR./26	MAIN AREA:	1661 SQ.FT.
SCALE:	3/16"=1'-0"	SECOND AREA:	1661 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3322 SQ.FT.

MODEL:	CUSTOM SINGLE DETACHED DWELLING
CLIENT:	PRIVATE RESIDENCE
LOT:	20 BLOCK: 4 PLAN: 6133 CA
ADDRESS:	1140 REGENT CRESCENT N.E.



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"
1632 SQ.FT. SLAB
FOUNDATION WALL HEIGHT 9'-0"

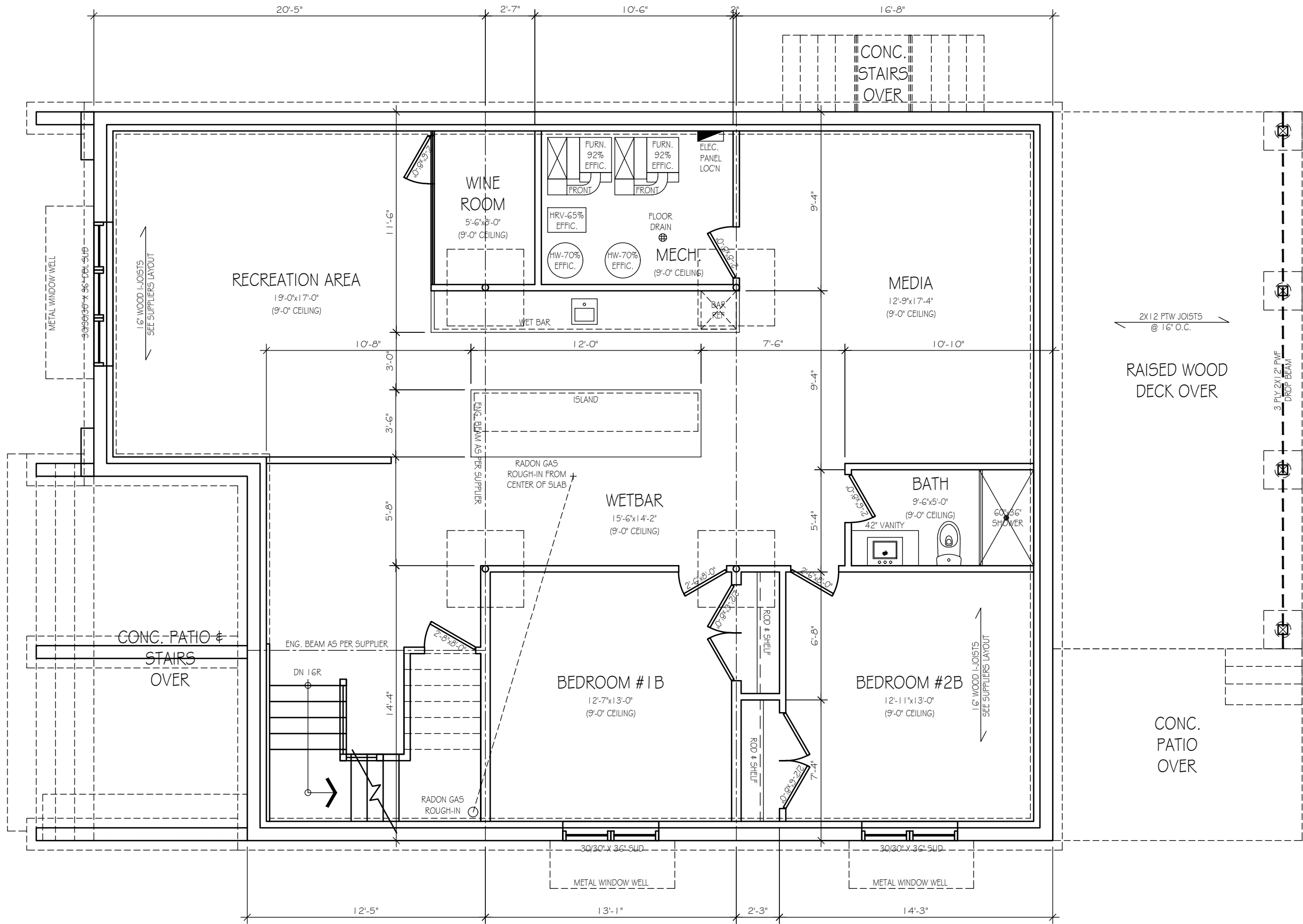
5 OF 16

MODEL: CUSTOM SINGLE DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 GA
ADDRESS: 1140 REGENT CRESCENT N.E

DRAWN BY: MET	SPECIFICATION:	CUSTOM	CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.
DATE: APR./26	MAIN AREA:	1661 SQ.FT.	
SCALE: 3/16"=1'-0"	SECOND AREA:	1661 SQ.FT.	
REVISED: N/A	DEV. BASEMENT:	1445 SQ.FT.	
JOB NO.: N/A	TOTAL AREA:	3322 SQ.FT.	

SEVEN DESIGN LTD

ENGINEER STAMP



BASEMENT DEVELOPMENT PLAN

SCALE: 3/16"=1'-0"
1445 SQ.FT. (DEVELOPED AREA)
FOUNDATION WALL HEIGHT 9'-0"

SEVEN DESIGN LTD

ENGINEER STAMP

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.

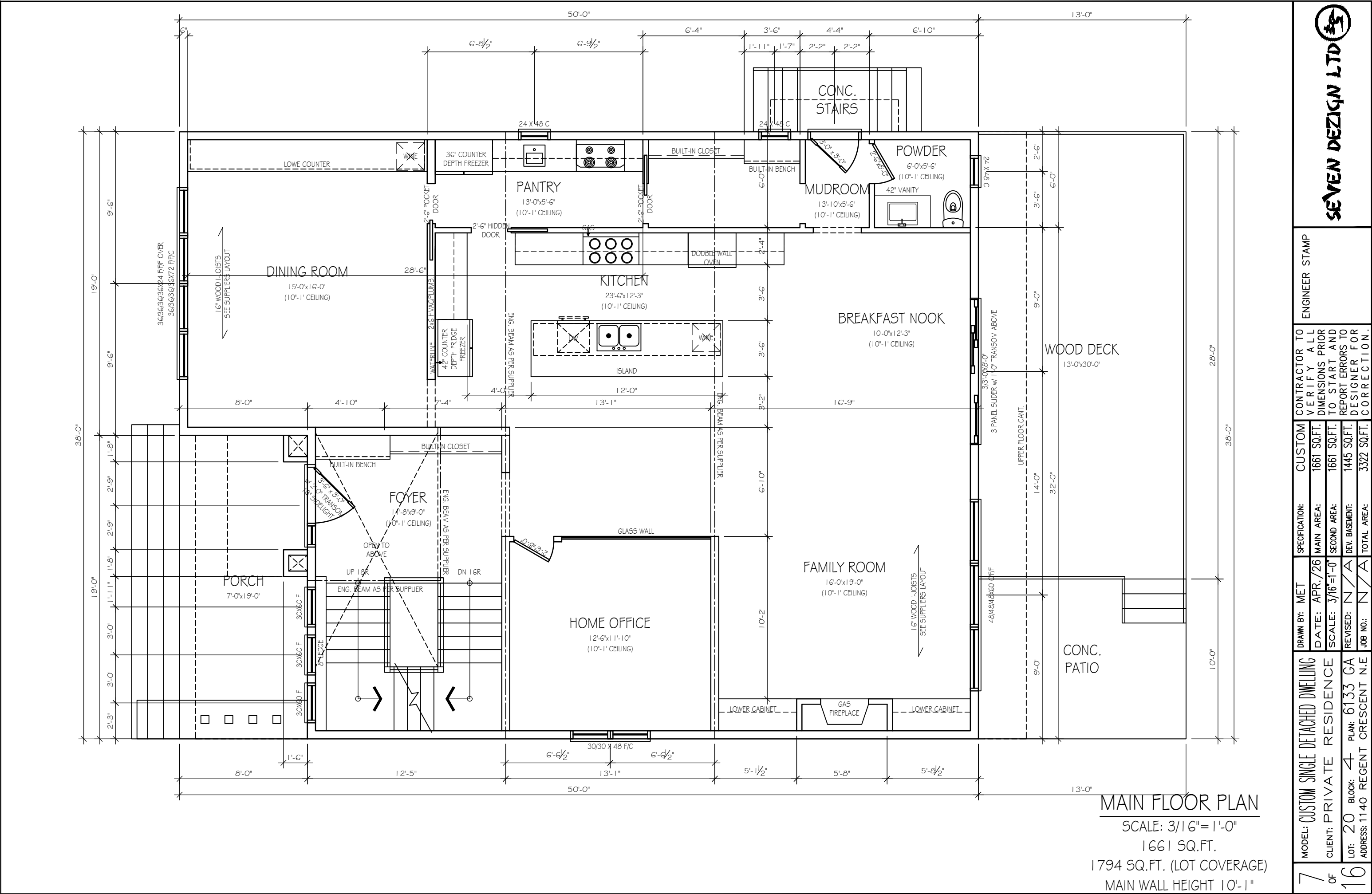
DRAWN BY:	MET	SPECIFICATION:	CUSTOM
DATE:	APR./26	MAIN AREA:	1661 SQ.FT.
SCALE:	3/16"=1'-0"	SECOND AREA:	1661 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3322 SQ.FT.

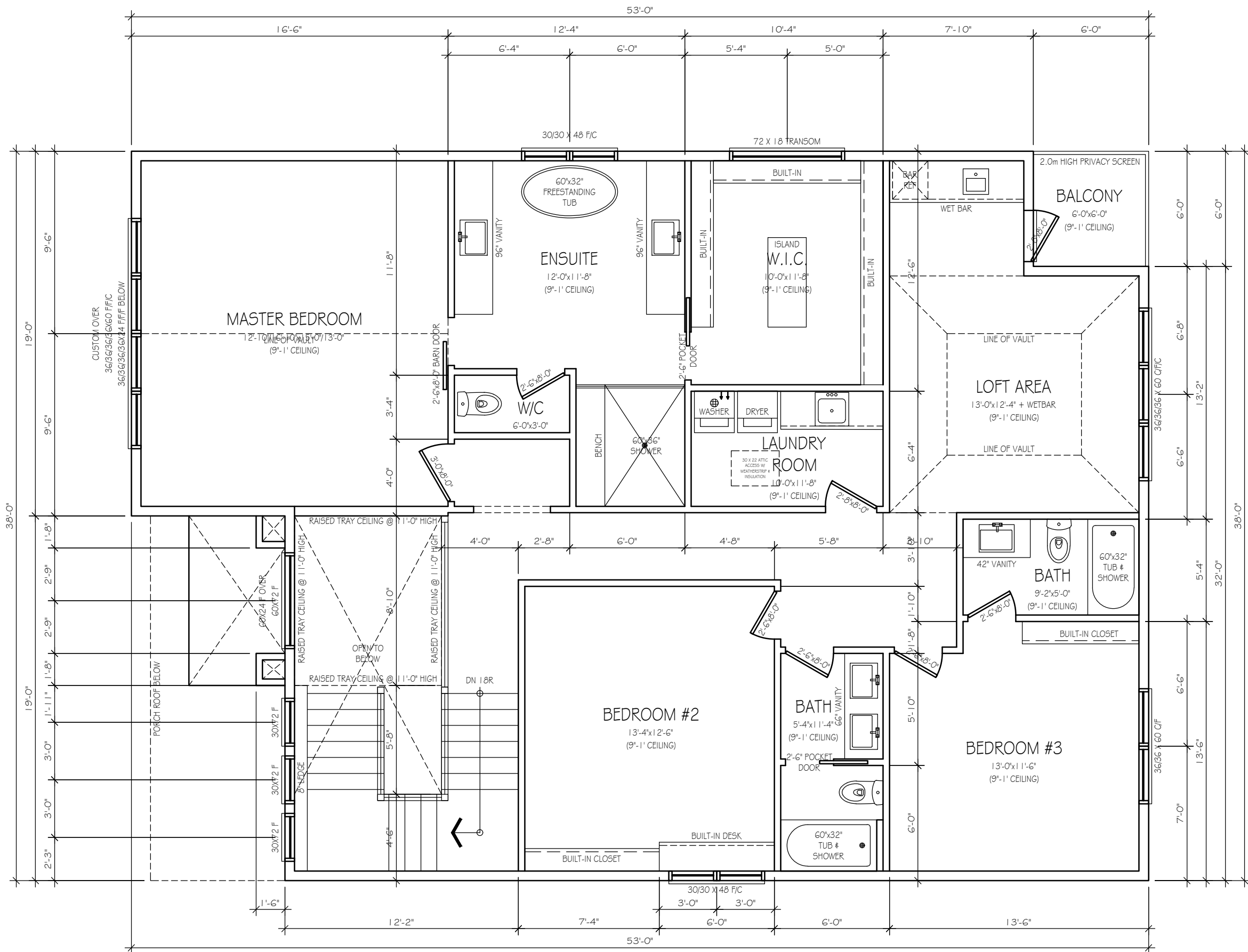
MODEL: CUSTOM SINGLE DETACHED DWELLING

CLIENT: PRIVATE RESIDENCE

LOT: 20 BLOCK: 4 PLAN: 6133 CA ADDRESS: 1140 REGENT CRESCENT N.E.

6 OF 16

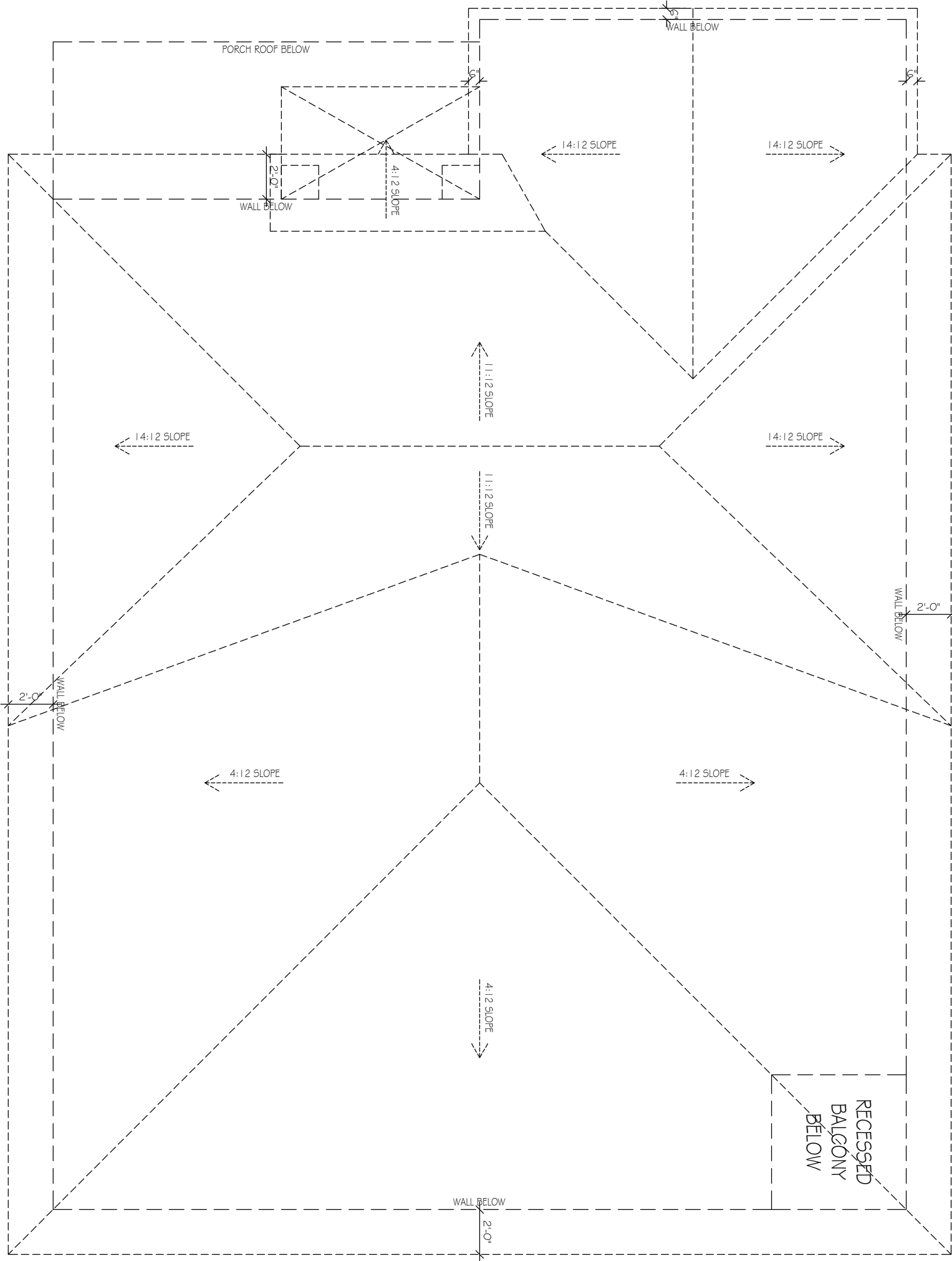




UPPER FLOOR PLAN
SCALE: 3/16" = 1'-0"
1661 SQ.FT.
UPPER WALL HEIGHT 9'-1"

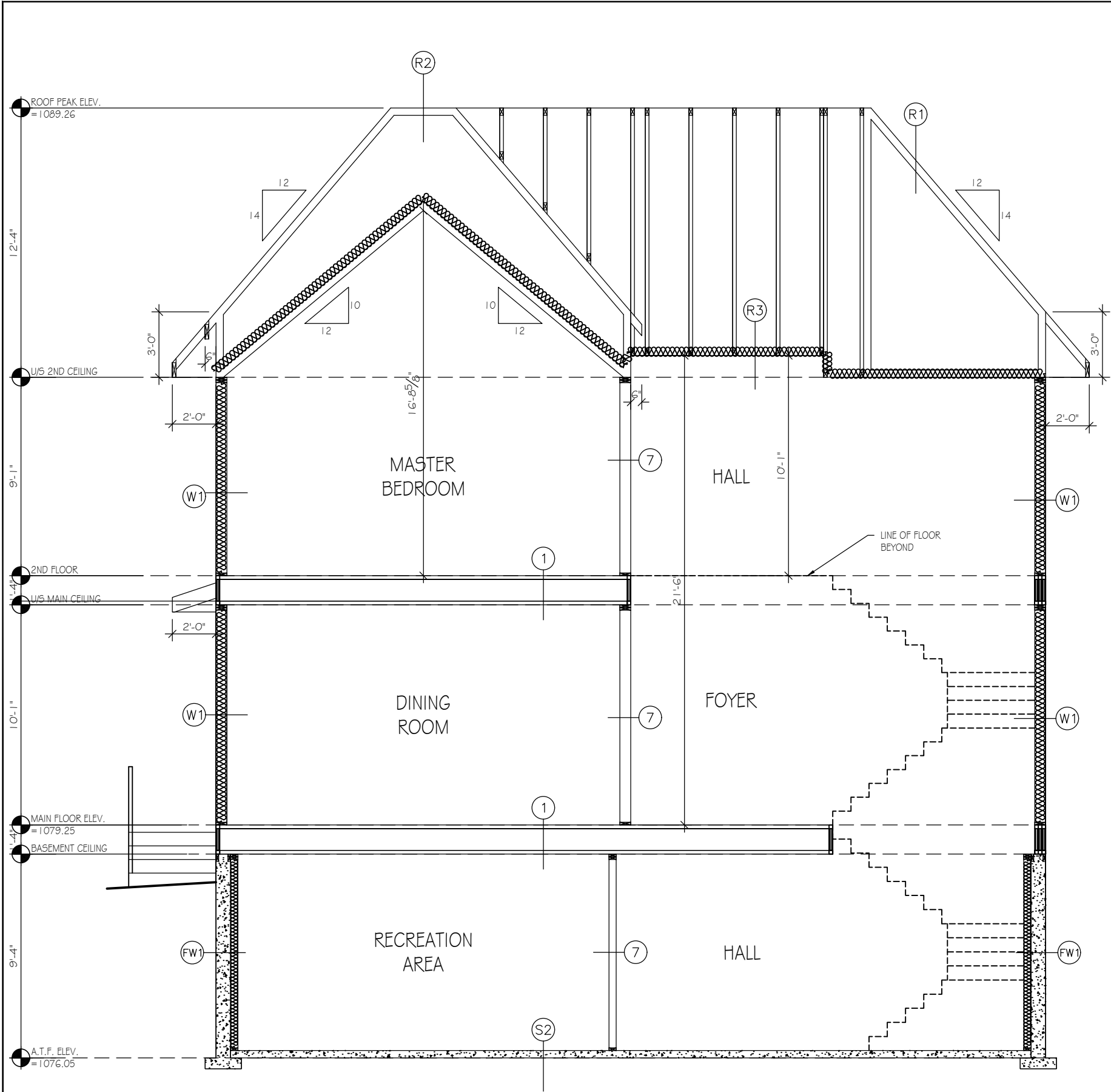
MODEL: CUSTOM SINGLE DETACHED DWELLING		DRAWN BY: MET		SPECIFICATION:		CUSTOM		CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.		ENGINEER STAMP	
CLIENT: PRIVATE RESIDENCE		DATE: APR./26		MAIN AREA:		1661 SQ.FT.					
LOT: 20 BLOCK: 4 PLAN: 6133 CA		SCALE: 3/16"=1'-0"		SECOND AREA:		1661 SQ.FT.					
ADDRESS: 1140 REGENT CRESCENT N.E.		REVISED: N/A		DEV. BASEMENT:		1445 SQ.FT.					
		JOB NO.: N/A		TOTAL AREA:		3322 SQ.FT.					

SEVEN DESIGN LTD



ROOF PLAN

9 OF 16	MODEL: CUSTOM SINGLE DETACHED DWELLING	DRAWN BY: MET	SPECIFICATION: CUSTOM	CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.	ENGINEER STAMP	SEVEN DESIGN LTD 
	CLIENT: PRIVATE RESIDENCE	DATE: APR./26	MAIN AREA: 1661 SQ.FT.			
	LOT: 20 BLOCK: 4 PLAN: 6133 GA	SCALE: 3/16"=1'-0"	SECOND AREA: 1661 SQ.FT.			
	ADDRESS: 1140 REGENT CRESCENT N.E	REVISED: N/A	DEV. BASEMENT: 1445 SQ.FT.			
		JOB NO.: N/A	TOTAL AREA: 3322 SQ.FT.			



BUILDING SECTION-A
SCALE: 3/16"= 1'-0"

CONSTRUCTION ASSEMBLY NOTES (REFER TO 9.36 APPENDIX DETAILS)

- R1

ROOF

30 YEAR ASPHALT SHINGLES
UNDERLAYMENTS
3/8" OSB OR PLYWOOD SHEATHING C/W 1" CLIPS
ENGINEER APPROVED ROOF TRUSSES @24" O.C.
R-50 LOOSE FILL / BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" CD DRYWALL
VENTED ATTIC SPACE TO MINIMUM 1/300
OF ROOF AREA TO CONFORM TO A.B.C.
ATTIC ACCESS WEATHER STRIPPED AND INSULATED
- 5

DOORS AND WINDOWS

DOORS TO BE 6'-8" HIGH (UNLESS NOTED OTHERWISE)
WINDOW SIZES SHOWN ARE NOMINAL FRAMER TO
REFER TO MANUFACTURERS SPECIFICATIONS
FOR EXACT ROUGH OPENING SIZES PRIOR TO
CONSTRUCTION
- 6

LINTEL NOTES

OPENINGS UP TO 6'-0" WIDE 2-2X10 SPRUCE
OPENINGS 6'-0" AND OVER PRE-ENGINEERED WOOD
LINTEL
- W1

EXTERIOR WALL CONSTRUCTION

EXTERIOR FINISH AS PER ELEVATIONS
BUILDING PAPER TYVEK - (AS PER A.B.C.9.23.17) TO BE
OVERLAPPED AT ALL JOINTS 4" (AS PER A.B.C.9.23.17.3)
3/8" O.S.B. SHEATHING (AS PER A.B.C. 9.23.16.2) C/W 1/8"
MINIMUM SHEATHING GAP BETWEEN VERTICAL AND
HORIZONTAL JOINTS (AS PER A.B.C.9.23.16.5)
PROVIDE MINIMUM 45 MINUTE FIRE RESISTANT GYPSUM
BOARD AT ALL WALLS LOCATED EQUAL TO OR LESS
THAN 1.2M FROM PROPERTY LINE FOR COMBUSTIBLE
EXTERIOR WALL FINISHES ONLY
2X6 WOOD STUD @24" O.C. R-22 BATT INSULATION
or
2X6 WOOD STUD @16" O.C. R-24 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" DRYWALL
- C3

CANTILEVERED FLOOR AREAS

FLOOR SHEATHING
6 MIL POLY VAPOUR BARRIER
R-28 BATT OR SPRAY FOAMING INSULATION
2X4 BLOCKING
PREFINISHED ALUMINUM SOFFIT OR
PREFINISHED ALUMINUM NON-VENTING SOFFIT
AT ALL SOFFITS LOCATED EQUAL TO OR LESS
THAN 1.2M FROM PROPERTY LINE
- 7

GENERAL NOTES

FASCIA BOARD PREFINISHED (SIZE NOTED ON
ELEVATIONS)
PREFINISHED ALUMINUM EAVESTROUGH
PREFINISHED ALUMINUM VENTED SOFFIT OR
PREFINISHED ALUMINUM NON-VENTING SOFFIT
AT ALL SOFFITS LOCATED TO OR LESS
THAN 1.2M FROM PROPERTY LINE
TRUSS MANUFACTURER TO VERIFY ALL ROOF
SLOPE & TRUSS DESIGN PRIOR TO FABRICATION
INTERIOR PARTITIONS TO BE 2X4 OR 2X6
STUDS @16" O.C. C/W DRYWALL BOTH SIDES
(UNLESS NOTED OTHERWISE)
PROVIDE BLOCKING UNDER ALL WASHERS AND
DRYERS, IN THE WALL BEHIND THE RANGE, TOWEL
BARS AND TOILET PAPER HOLDERS AS REQUIRED
- FW1

FOUNDATION WALL CONSTRUCTION

PARGING ABOVE GRADE - MAXIMUM 16" HIGH
1 X 4 NAILERS @ 24" O.C. AS REQUIRED TO EXTEND
EXTERIOR FINISHES TO PARGING
DAMP-PROOFING BELOW GRADE
8" CONCRETE FOUNDATION WALL C/W
2 ROWS OF 10M REBAR AT TOP & BOTTOM OF WALL
AND TIED INTO THE 24"x8" CONTINUOUS CONCRETE
STRIP FOOTING C/W KEYWAY
PROVIDE 4'-0" MINIMUM COVER TO ALL FOOTINGS
4" DIAMETER WEEPING TILE (TIED INTO STORM SEWER)
C/W 6" GRAVEL COVER - IF REQUIRED
MINIMUM 1/2" AIRSPACE
2 X 6 WOOD STUDS @ 24" O.C.
R-22 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" DRYWALL TO FINISHED AREAS ONLY
- 1

FLOOR CONSTRUCTION

FINISHED FLOORING
3/8" K-3 BOARD UNDERLAY (LINOLEUM AREAS ONLY)
3/4" T&G OSB OR PLYWOOD SHEATHING NAILED &
SCREWED TO FLOOR JOISTS (GLUED IF WEATHER
PERMITS)
STRAPPING & BLOCKING TO MAIN & UPPER FLOORS
(WHERE APPLICABLE)
PRE-ENGINEERED FLOOR JOISTS SPACED AS PER
ENGINEERS LAYOUT
1/2" CD DRYWALL (AS REQUIRED)
- 2

POST AND PAD FOOTINGS

3" DIAMETER ADJUSTABLE STEEL OR ENGINEERED
TELEPOST ON 48" X 48" X 10" CONCRETE PAD FOOTING
C/W 7 - 10M EACH WAY (UNLESS NOTED OTHERWISE)
- S2

BASEMENT SLAB CONSTRUCTION

3" CONCRETE SLAB (4" FOR UNDERSLAB HEATING)
10M REBAR @ 24" O.C. EACH WAY
6 MIL POLY VAPOUR BARRIER (WHERE APPLICABLE)
5" COMPACTED GRAVEL
- 3

GARAGE SLAB CONSTRUCTION

4" CONCRETE SLAB C/W 10M REBAR @ 24" O.C. EACH
WAY, SLOPED 4" TO OVERHEAD DOOR
6" COMPACTED GRAVEL
SLAB SUPPORTED BY 5-10" DIAMETER CONCRETE
OPTIONAL FILLED SONO TUBES C/W MINIMUM
1-10M REBAR TO MINIMUM 4'-0" BELOW SLAB
(CONCRETE PILES ARE NOT REQUIRED IF THE
GARAGE BACKFILL IS COMPACTED)
- 4

STAIRS

TREADS - 1" PLYWOOD X 9-1/2" MINIMUM
(EXCLUSIVE OF NOSING)
RISERS - 1/2" PLYWOOD X 7-7/8" MAXIMUM
STRINGERS 2X10 TYPICAL
TREADS & RISERS SHALL HAVE UNIFORM RISE AND RUN
ALL STAR HADRAILS AND GUARDS TO
CONFORM TO CURRENT A.B.C.
- 8

CAULKING REQUIREMENTS

ALL CAULKINGS IS TO BE INSTALLED AS PER A.B.C.
(9.27.4.1) CAULKING SHALL BE PROVIDED
WHERE REQUIRED TO PREVENT THE ENTRY OF
WATER INTO THE STRUCTURE. CAULKING SHALL
BE PROVIDED BETWEEN MASONRY, SIDING, OR
STUCCO AND THE ADJACENT DOOR AND WINDOW
FRAMES OR TRIMS, INCLUDING SILLS, UNLESS
SUCH LOACTIONS ARE COMPLETELY HIDDEN FROM
THE ENTRY OF WATER. CAULKING SHALL BE
PROVIDED AT VERTICAL JOINTS BETWEEN
DIFFERENT CLADDING MATERIALS UNLESS THE
JOINT IS SUITABLY LAPPED OR FLASHED TO
PREVENT THE ENTRY OF ANY WATER.
- 9

NOTES

INSULATED WALLS WITHIN 4'-0" FURNACE AND HOT
WATER HEATER AND INSULATED WALL ADJACENT TO
STAIRS AND LANDINGS TO BE DRYWALLED INSULATED
WALLS IN BASEMENT LAUNDRY TO BE DRYWALLED
(WHERE APPLICABLE)

THIS PLAN AND RELATED MATERIALS IS PROTECTED BY
COPYRIGHT AND IS THE PROPERTY OF SE7EN DEZIGN LTD.
REPRODUCTION OF THIS PLAN, EITHER IN
WHOLE OR IN PART, INCLUDING ANY FORM AND/OR
PREPARATION OF DERIVATIVE WORK, FOR ANY
REASON WITHOUT PRIOR WRITTEN CONSENT IS
STRICTLY PROHIBITED

ALL CONSTRUCTION PRACTICES TO CONFROM TO
CURRENT A.B.C. AND ALL OTHER AUTHORITIES HAVING
JURISDICTION

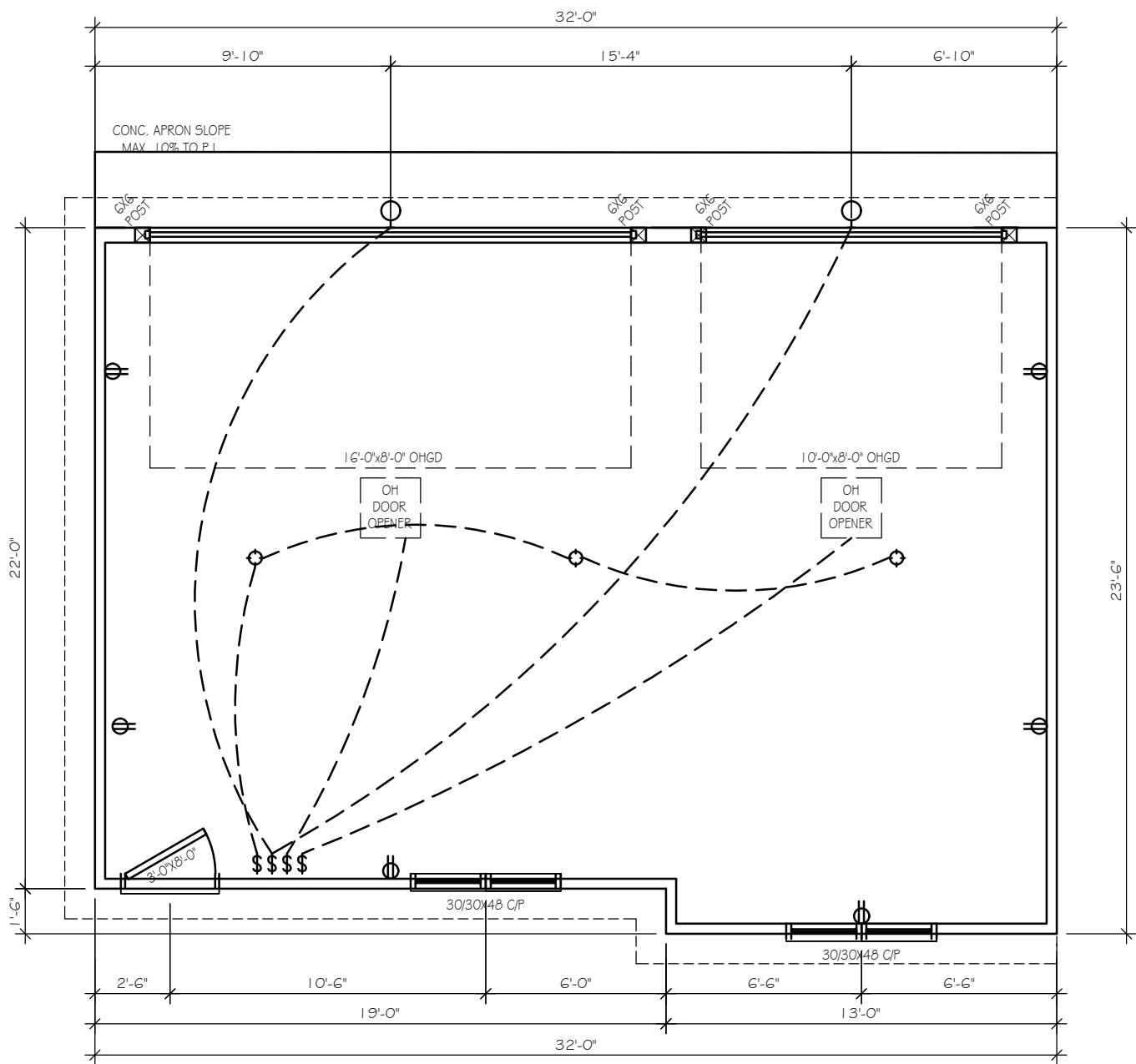
DRAWINGS ARE NOT TO BE SCALED, ANY ERRORS,
OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS
OR RELATED MATERIALS MUST BE REPORTED TO
SE7EN DEZIGN LTD. PRIOR TO
CONSTRUCTION IF THESE ERRORS, OMISSIONS OR
DISCREPANCIES ARE NOT REPORTED TO SE7EN DEZIGN
LTD. PRIOR TO CONSTRUCTION THE
BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.

SEVEN DEZIGN LTD

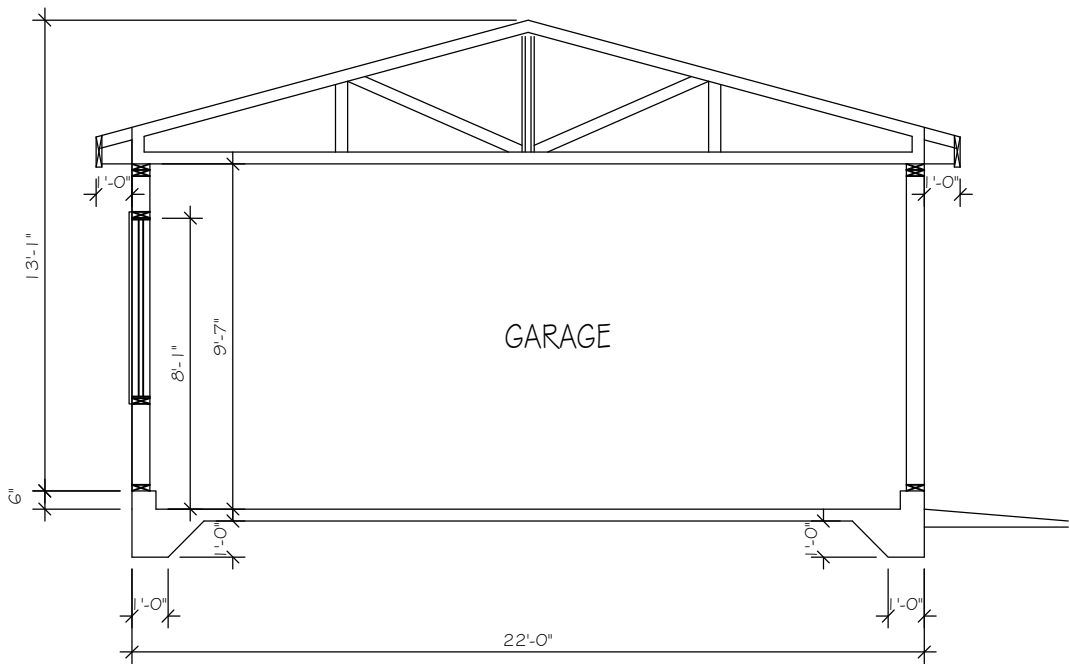
ENGINEER STAMP

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.

CUSTOM	SPECIFICATION:	MET	DATE: APR./26	SCALE: 3/16"=1'-0"	REVISED: N/A	JOB NO.: N/A
	MAIN AREA:	1661 SQ.FT.	SECOND AREA:	1661 SQ.FT.	DEV. BASEMENT:	1445 SQ.FT.
	TOTAL AREA:	3322 SQ.FT.				
	MODEL: CUSTOM SINGLE DETACHED DWELLING					
	CLIENT: PRIVATE RESIDENCE					
10 OF 16	LOT: 20 BLOCK: 4 PLAN: 6133 GA ADDRESS: 1140 REGENT CRESCENT N.E.					



GARAGE PLAN
SCALE: 3/16"=1'-0"
730 SQ.FT.
GARAGE WALL HEIGHT 9'-6"



GARAGE SECTION

CONSTRUCTION ASSEMBLY NOTES

- 1 ROOF
- 30 YEAR ASPHALT SHINGLES UNDERLAYMENTS
 - 3/8" OSB OR PLYWOOD SHEATHING C/W 'H' CLIPS
 - ENGINEER APPROVED ROOF TRUSSES @24" O.C.
 - R-40 LOOSE FILL / BATT INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" CD DRYWALL
 - VENTED ATTIC SPACE TO MINIMUM 1/300 OF ROOF AREA TO CONFORM TO A.B.C.
 - ATTIC ACCESS WEATHER STRIPPED AND INSULATED

- 2 EXTERIOR WALL CONSTRUCTION
- EXTERIOR FINISH AS PER ELEVATIONS
 - BUILDING PAPER TYVEK - (AS PER A.B.C.9.23.17) TO BE OVERLAPPED AT ALL JOINTS 4" (AS PER A.B.C.9.23.17.3)
 - 3/8" O.S.B. SHEATHING (AS PER A.B.C.23.16.2) C/W 1/8" MINIMUM SHEATHING GAP BETWEEN VERTICAL AND HORIZONTAL JOINTS (AS PER A.B.C.9.23.16.5)
 - PROVIDE MINIMUM 45 MINUTE FIRE RESISTANT GYPSUM BOARD AT ALL WALLS LOCATED EQUAL TO OR LESS THAN 1.2M FROM PROPERTY LINE FOR COMBUSTIBLE
 - EXTERIOR WALL FINISHES ONLY
 - 2X6 WOOD STUD @16" O.C.
 - R-20 BATT INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" DRYWALL

- 3 GARAGE SLAB CONSTRUCTION
- 4" CONCRETE SLAB C/W 10M REBAR @ 24" O.C. EACH WAY, SLOPED 4" TO OVERHEAD DOOR
 - 6" COMPACTED GRAVEL
 - SLAB SUPPORTED BY 5-10" DIAMETER CONCRETE
 - OPTIONAL FILLED SONO TUBES C/W MINIMUM 1-10M REBAR TO MINIMUM 4'-0" BELOW SLAB (CONCRETE PILES ARE NOT REQUIRED IF THE GARAGE BACKFILL IS COMPACTED)
- 4 CURB AND SLAB THICKENING CONSTRUCTION
- PARGING FINISH TO CONCRETE ABOVE GRADE
 - 20 MPA TYPE 50 CONCRETE 8" CURB WALL
 - C/W 2 ROWS OF 10M REBAR AT TOP
 - PROVIDE 18X12 SLAB THICKENING @ GARAGE PERIMETER & CENTER WALL C/W
 - 4-15M CONTINUOUS REBAR TIED INTO SLAB REBAR
 - C/W 1/2" COVERAGE

15
OF
16

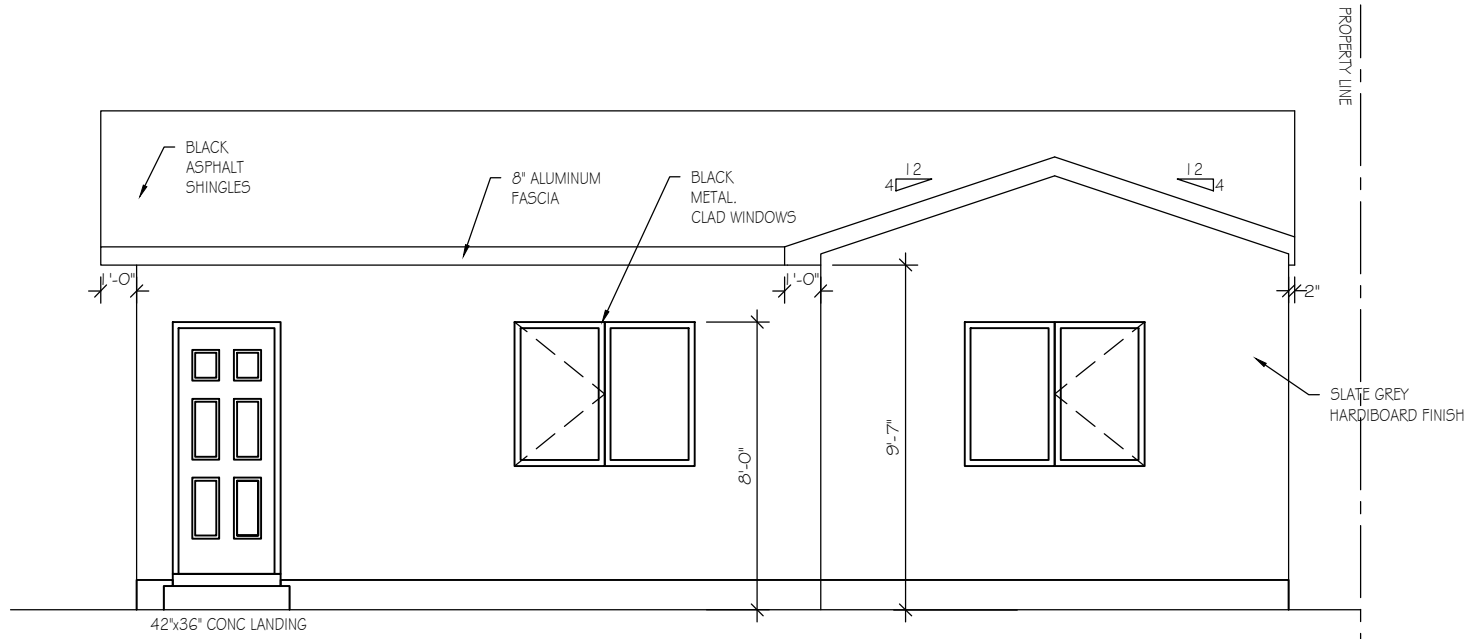
MODEL: CUSTOM SINGLE DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 GA
ADDRESS: 1140 REGENT CRESCENT N.E

DRAWN BY: MET	SPECIFICATION: CUSTOM
DATE: APR./26	MAIN AREA: 1661 SQ.FT.
SCALE: 3/16"=1'-0"	SECOND AREA: 1661 SQ.FT.
REVISED: N/A	DEV. BASEMENT: 1445 SQ.FT.
JOB NO.: N/A	TOTAL AREA: 3322 SQ.FT.

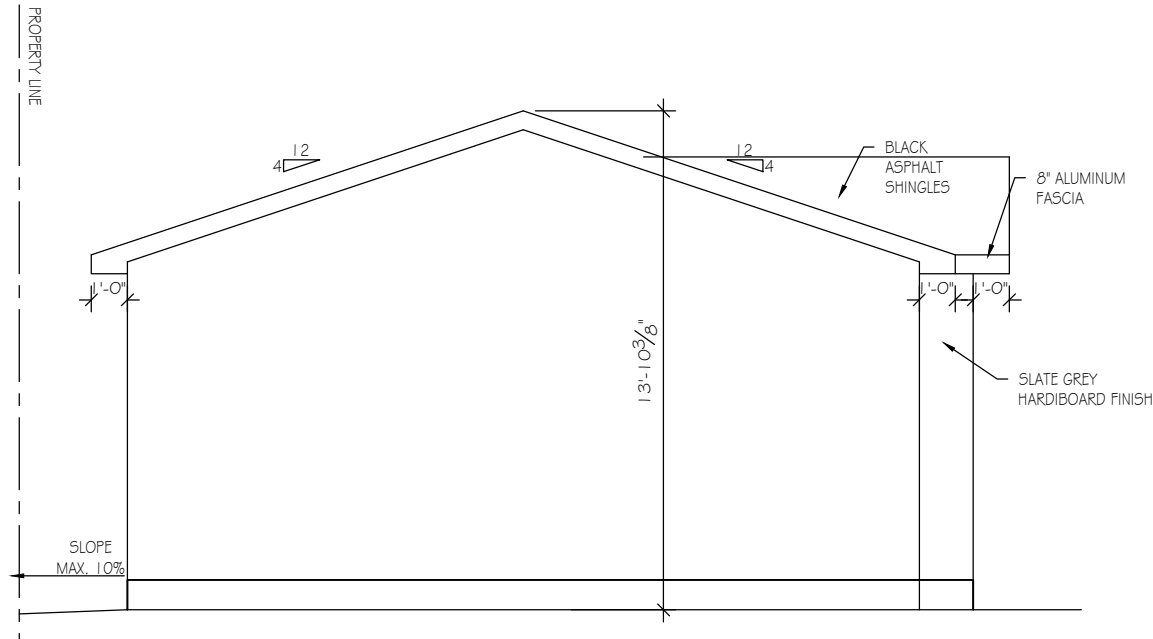
CONTRACTOR TO
VERIFY ALL
DIMENSIONS PRIOR
TO START AND
REPORT ERRORS TO
DESIGNER FOR
CORRECTION.

ENGINEER STAMP

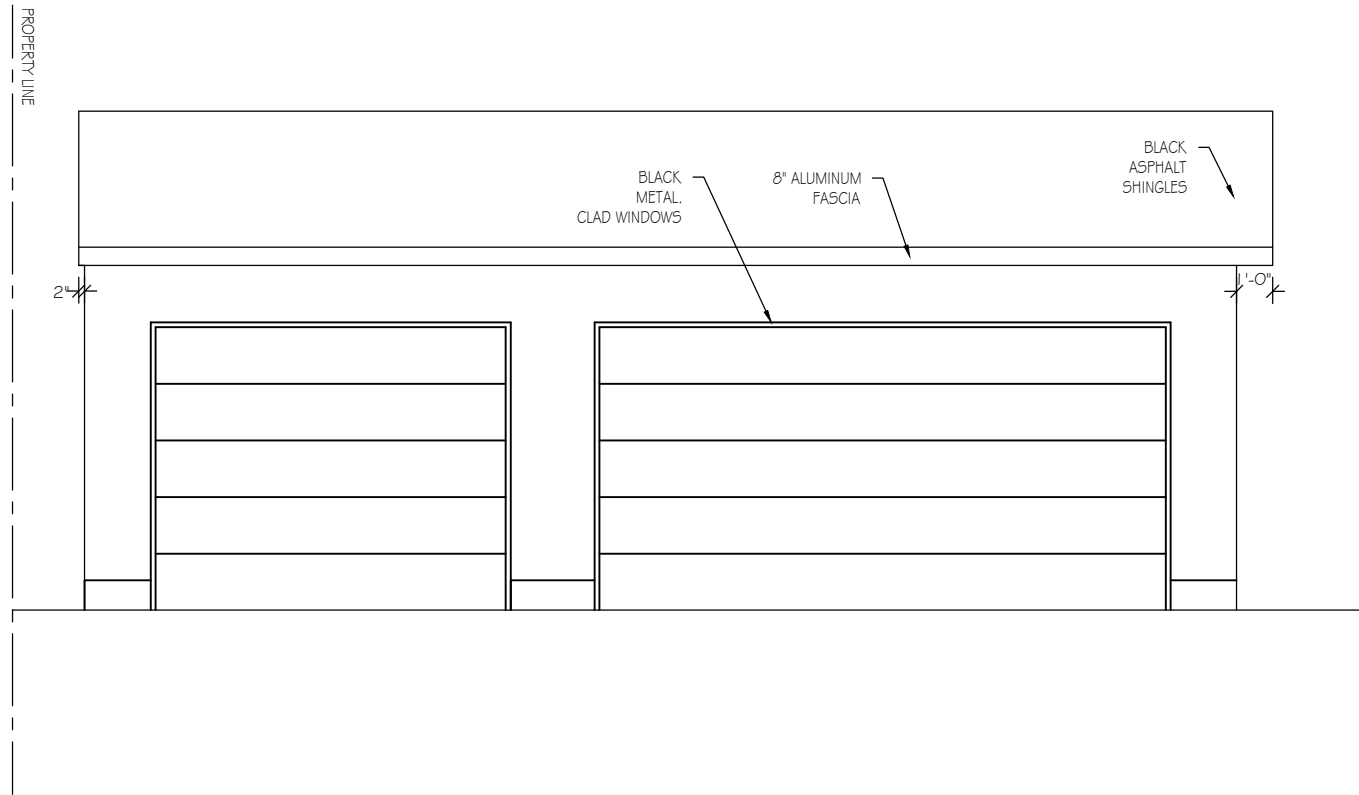
SEVEN DESIGN LTD



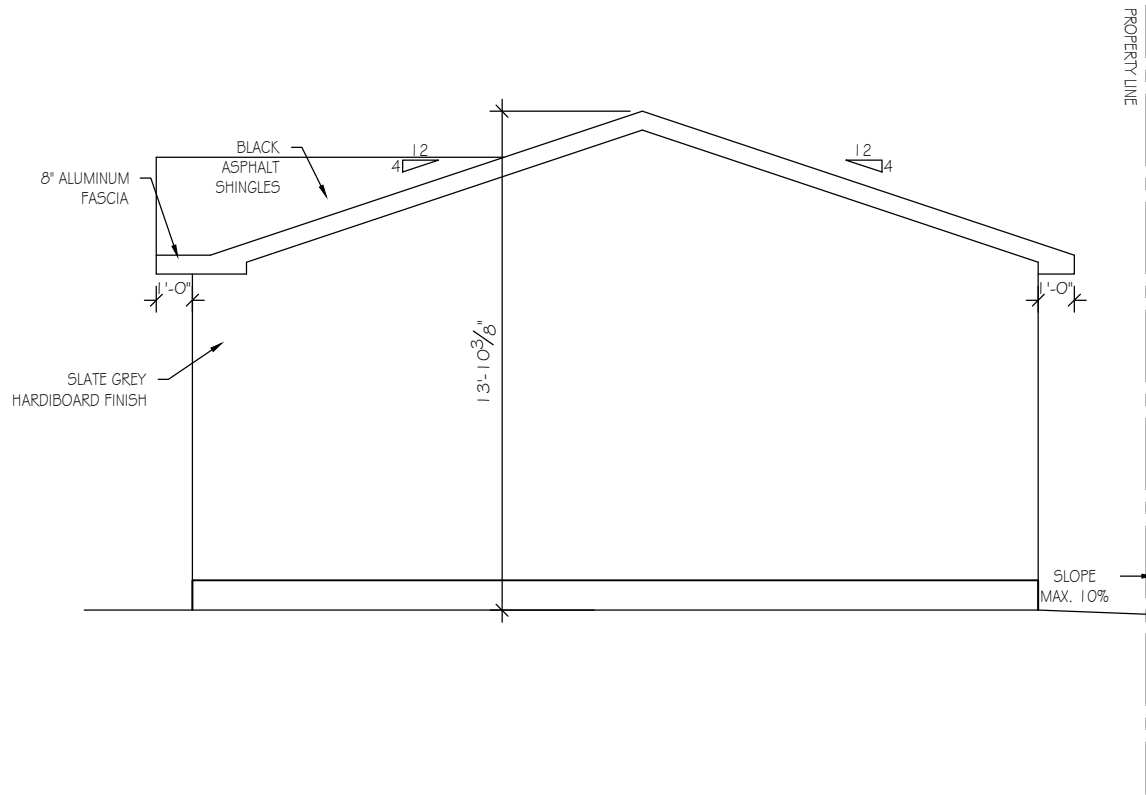
FRONT ELEVATION - EAST
SCALE: 3/16"=1'-0"



RIGHT ELEVATION - SOUTH
SCALE: 3/16"=1'-0"



REAR ELEVATION - WEST
SCALE: 3/16"=1'-0"



LEFT ELEVATION - NORTH
SCALE: 3/16"=1'-0"

SEVEN DESIGN LTD

ENGINEER STAMP

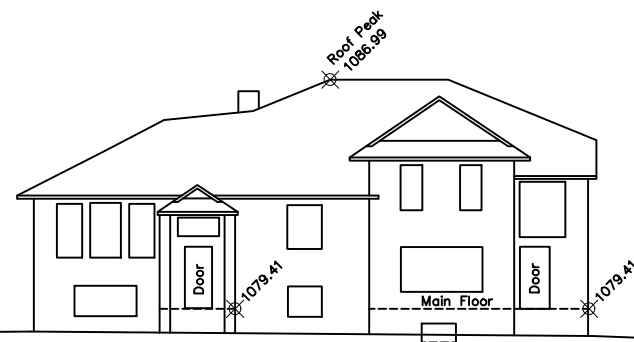
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.

DRAWN BY:	MET	SPECIFICATION:	CUSTOM
DATE:	APR./26	MAIN AREA:	1661 SQ.FT.
SCALE:	3/16"=1'-0"	SECOND AREA:	1661 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3322 SQ.FT.

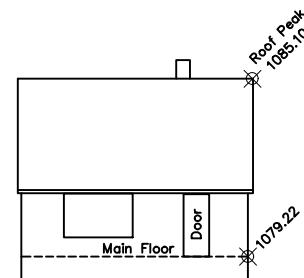
MODEL:	CUSTOM SINGLE DETACHED DWELLING
CLIENT:	PRIVATE RESIDENCE
LOT:	20 BLOCK: 4 PLAN: 6133 GA
ADDRESS:	1140 REGENT CRESCENT N.E.

16 OF 16

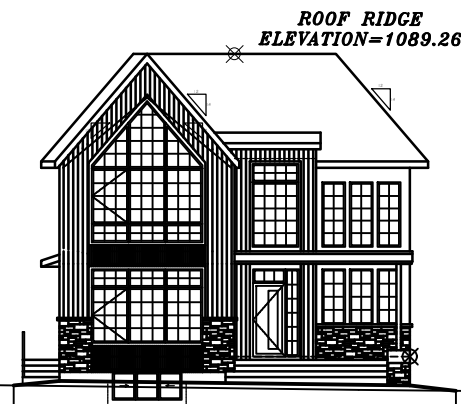
Radford Road N.E.



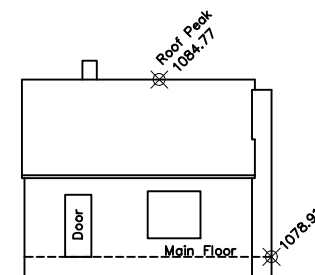
1148 & 1144 Regent Crescent N.E.
(Lot 22, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



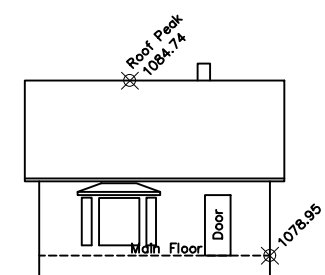
1142 Regent Crescent N.E.
(Lot 21, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



1140 Regent Crescent N.E.
(Lot 20, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



1138 Regent Crescent N.E.
(Lot 19, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.



1136 Regent Crescent N.E.
(Lot 18, Block 4, Plan 6133 GA)
Facing Regent Crescent N.E.

1 EAST STREETScape
SCALE: 1:250



SEVEN DESIGN LTD 

ENGINEER STAMP

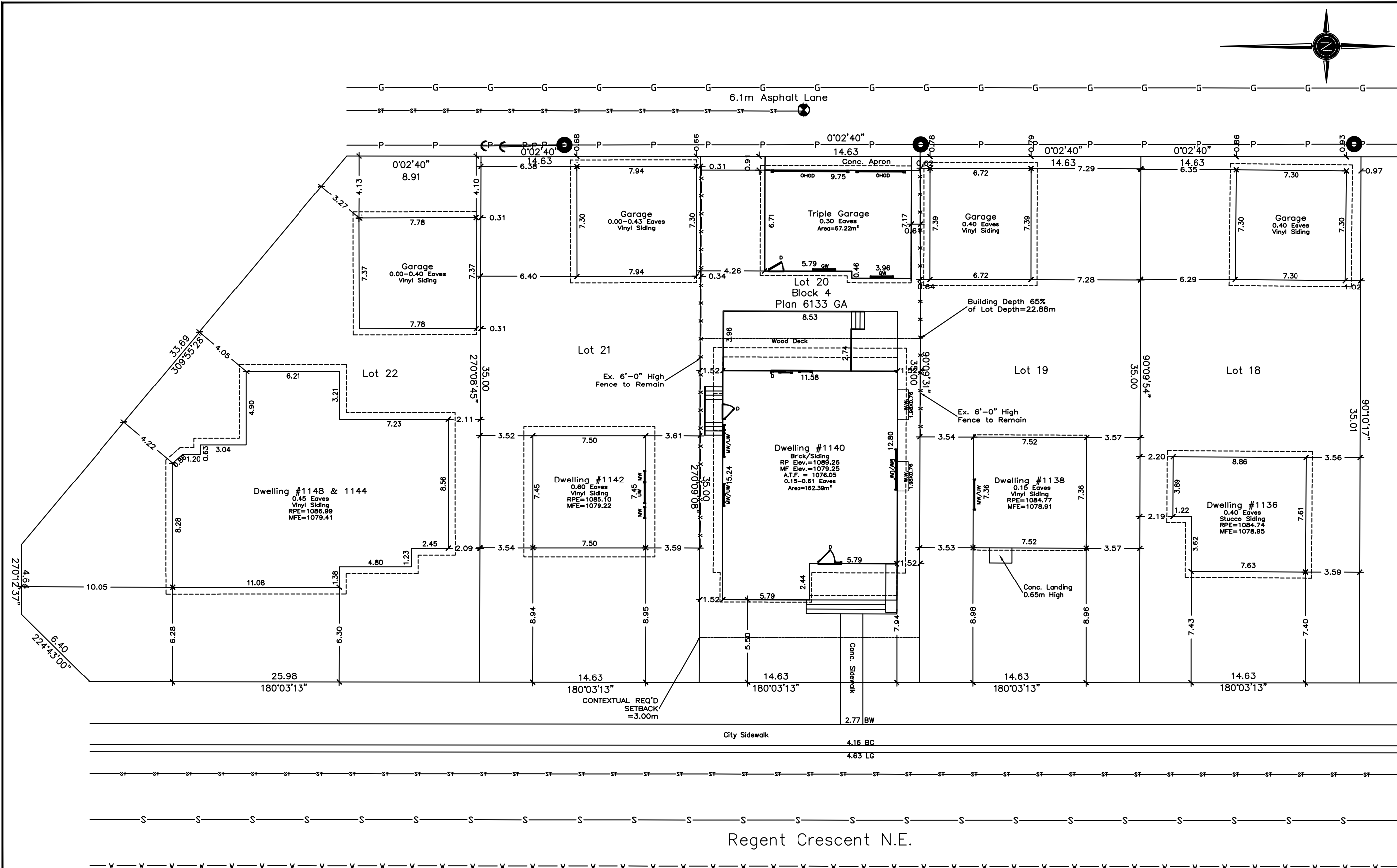
CONTRACTOR TO VERIFY
ALL DIMENSIONS PRIOR
TO START AND REPORT
ERRORS TO DESIGNER
FOR CORRECTION.

SPECIFICATION:	CUSTOM
MAIN AREA:	1661 SQ.FT.
UPPER AREA:	1661 SQ.FT.
DEV. BASEMENT:	1445 SQ.FT.
TOTAL AREA:	3322 SQ.FT.

DRAWN BY:	MEI
DATE:	APR./26
SCALE:	AS SHOWN
REVISED:	-----
JOB NO.:	N/A

MODEL: CUSTOM SINGLE DETACHED DWELING
CLIENT: PRIVATE RESIDENCE
LOT: 20 BLOCK: 4 PLAN: 6133 GA
ADDRESS: 1140 REGENT CRESCENT N.E.

1 of 3



1 BLOCK PLAN
SCALE: 1:250



SEVEN DESIGN LTD.

ENGINEER STAMP

CONTRACTOR TO VERIFY
ALL DIMENSIONS PRIOR
TO START AND REPORT
ERRORS TO DESIGNER
FOR CORRECTION.

DRAWN BY:	MET	SPECIFICATION:	CUSTOM
DATE:	APR./26	MAIN AREA:	1661 SQ.FT.
SCALE:	AS SHOWN	UPPER AREA:	1661 SQ.FT.
REVISED:	-----	DEV. BASEMENT:	1445 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3322 SQ.FT.

MODEL: CUSTOM SINGLE DETACHED DWELLING

CLIENT: PRIVATE RESIDENCE

LOT: 20 BLOCK: 4 PLAN: 6133 GA ADDRESS: 1140 REGENT CRESCENT N.E.

2 OF 3

