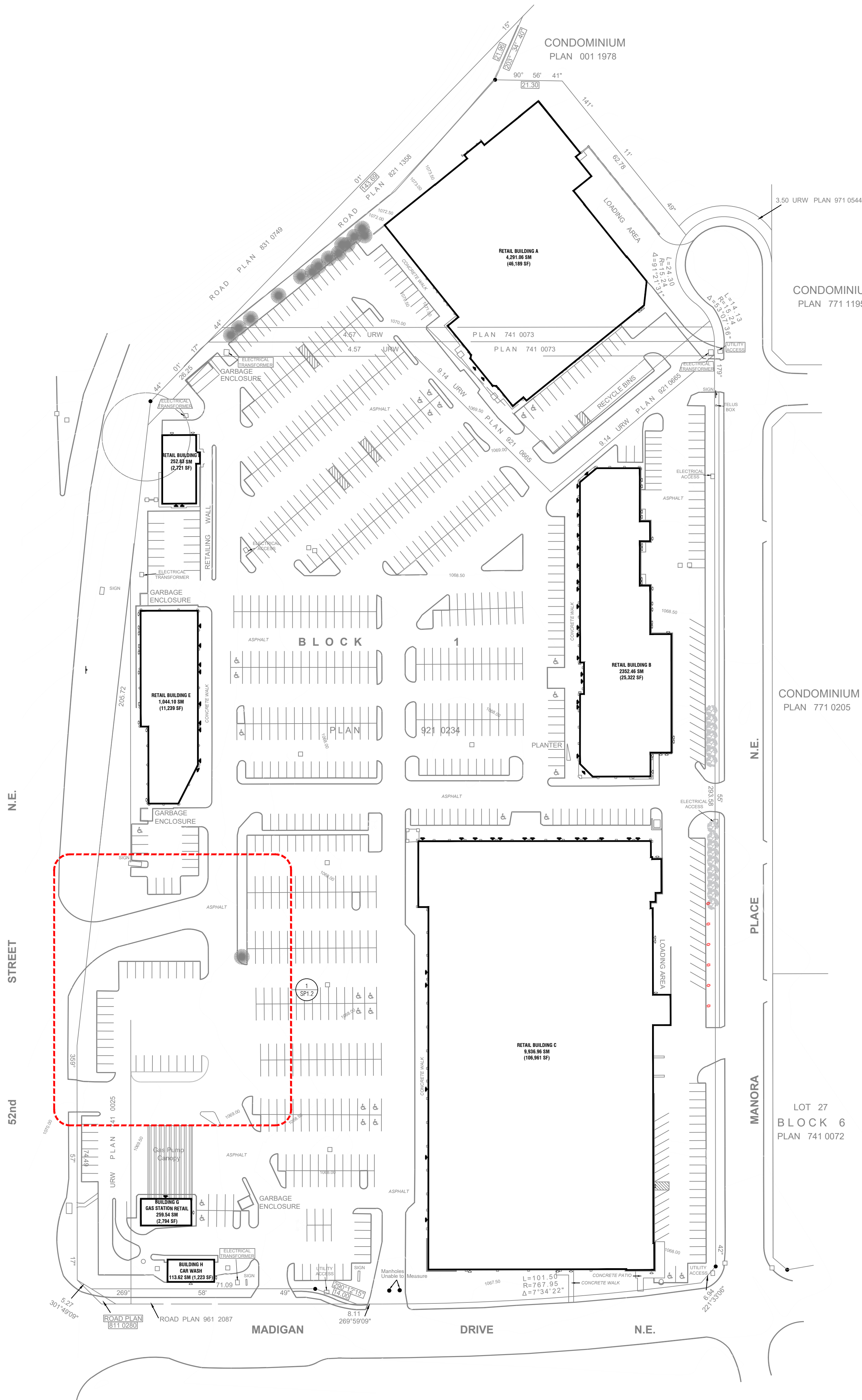


P:\E\1\Dev\City\2025\25506 - TransCanada Centre, Calgary, AB\Site\25506-Site Plan-Tim Horton - R6 (2025.04.27)-DEV PERMIT.dwg
LAST SAVED BY: ALBEN - 1/27/2026 4:41 PM

1 OVERALL EXISTING SITE PLAN
SP1.0 1:500



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

EXISTING SITE DATA			
ZONE:	COMMERCIAL - COMMUNITY 2(C-C2)		
SITE A (PROPOSED) AREA:	717,061 SF	66,617.17 SM	6.66 HA
FRONTAGE:	MADIGAN DRIVE	48.0 m	
DEPTH:		85.6 m	
REAR:		43.4 m	
SETBACKS	REQUIRED	PROVIDED	
FRONT YARD	4.0 m	4.0 m	
REAR YARD	4.5 m	4.5 m	
INTERIOR SIDE YARD	0 m	0 m	
EXTERIOR SIDE YARD	3.0 m - 17.5 m	N/A	
BUILDING	AREA S.F.	AREA S.M.	COVERAGE
(EX.) BLDG. A MAINFLOOR AREA:	46,189	4,291.06	6.44%
(EX.) BLDG. B MAINFLOOR AREA:	25,322	2,382.46	3.53%
(EX.) BLDG. C MAINFLOOR AREA:	106,861	9,836.96	14.92%
(EX.) BLDG. D MAINFLOOR AREA:	2,721	252.83	0.38%
(EX.) BLDG. E MAINFLOOR AREA:	11,239	1,044.10	1.57%
(EX.) BLDG. F MAINFLOOR AREA:	2,794	259.54	0.39%
(EX.) BLDG. G MAINFLOOR AREA:	1,223	113.62	0.17%
TOTAL MAINFLOOR AREA:	196,448	18,250.57	27.40%
PARKING	REQUIRED	PROVIDED	
EXISTING SPACES	N/A	916	
BARRIER FREE	REQUIRED	PROVIDED	
PARKING SPACE: 260m x 5.4m, 7.20m ASLE	N/A	24	
BARRIER FREE SPACE: 3.40m x 5.8m	N/A	24	
FIRE ROUTE: 6.0m WIDE, MIN. 12.0m RADIUS	N/A	24	
BICYCLE	REQUIRED	PROVIDED	
STANDARD SPACES	2	14	
LOADING	REQUIRED	PROVIDED	
2,300 - 7,000 S.M.	N/A	4	

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

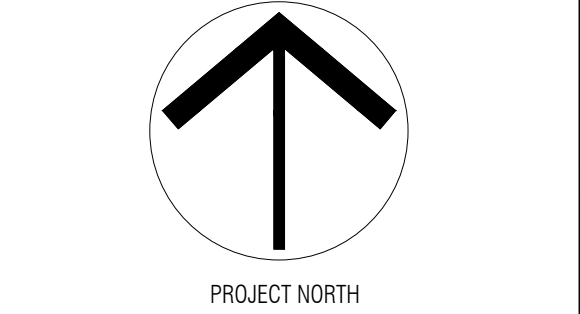
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Cambridge, Ontario N3H 3H4
T: (519) 896-1010 ext.100



GREYSTONE ARCHITECTURAL PARTNERS INC.
PERMIT No. AC 15493
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

6	ISSUED FOR DP RESUBMISSION	2026.04.28
5	ISSUED FOR DEVELOPMENT PERMIT	2026.01.27
4	ISSUED FOR DEVELOPMENT PERMIT	2025.12.15
3	ISSUED FOR COORDINATION	2025.12.05
2	ISSUED FOR COORDINATION	2025.11.26
1	ISSUED FOR REVIEW & COORDINATION	2025.11.20

REV.	DESCRIPTION	DATE
△ REVISION	□ ISSUED	○ APPROVAL



PROJECT: SITE PLAN

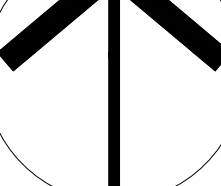
TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

DRAWING: OVERALL EXISTING SITE PLAN

DRAWN: N.B.	REVISION NUMBER: R6
SCALE: 1:500	DRAWING NUMBER: SP1.0
JOB NUMBER: 25506	



LEGEND		PROPERTY LINE
		SETBACKS
		FIRE ROUTE
 PRINCIPLE ENTRANCE  PEDESTRIAN CROSSWALK  DEPRESSED CURB  STOP SIGN  BARRIER FREE SIGN  FIRE ROUTE SIGN  LANDSCAPING GREEN SPACE  NEW SIDEWALK GM  GAS METER  TRAFFIC FLOW ARROWS  TRANSFORMER CB  CATCH BASIN MH  MANHOLE  WALL PARK LIGHTING	 SECONDARY ENTRANCE/EXIT  NO PARK ZONE  PARKING COUNT  PYLON SIGN  BARRIER FREE PARKING  3m x 6m CAR SPACE FH  FIRE HYDRANT  EXISTING EASEMENT  BIKE RACK - 2 SPOTS  MÖLOK GARBAGE SYSTEM  BOLLARD GM  GAS METER  LIGHT STANDARD	

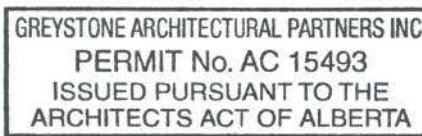


PROJECT NORTH



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Toronto Street East
 Cambridge, Ontario N3H 3H4
 T: (519) 896-1010 ext.100



REV.	DESCRIPTION	DATE
☐ REVISION	☐ ISSUED	☐ APPROVAL

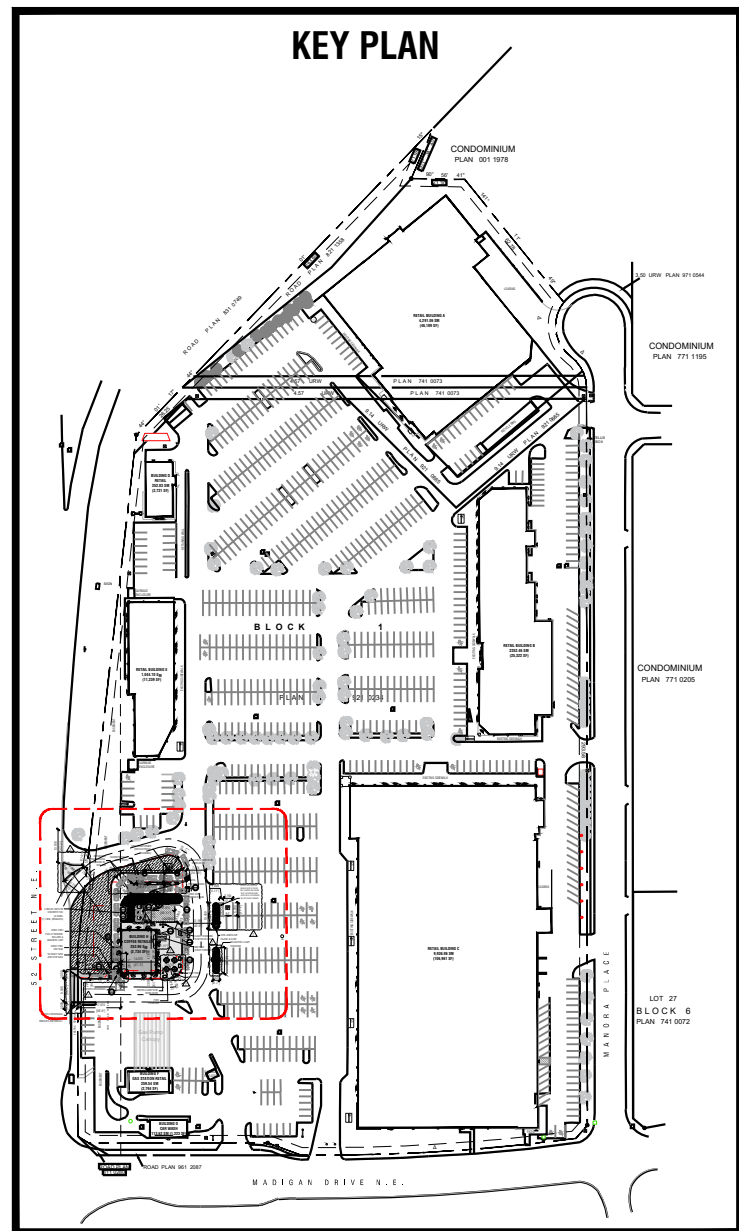


SITE PLAN

OVERALL PROPOSED SITE PLAN

DRAWN: N.B.	REVISION NUMBER: R6
SCALE: 1:500	
JOB NUMBER: 25506	DRAWING NUMBER: SP1.1

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



PROPOSED SITE DATA			
ZONE:		COMMERCIAL - COMMUNITY 2(C-C2)	
SITE A (PROPOSED) AREA:		717.061 SF	66.6 HA
FRONTAGE:		MADISON DRIVE	48.0 m
DEPTH:			85.6 m
REAR:			43.4 m
SETBACKS		REQUIRED	PROVIDED
FRONT YARD		4.0 m	4.0 m
REAR YARD		4.0 m	4.5 m
INTERIOR SIDE YARD		0 m	0 m
EXTERIOR SIDE YARD		3.0 m - 17.5 m	n/a
BUILDING		AREA S.F.	AREA S.M.
(EX.) BLDG. A MAINFLOOR AREA:		46.189	4,291.06
(EX.) BLDG. B MAINFLOOR AREA:		25.322	2,332.46
(EX.) BLDG. C MAINFLOOR AREA:		106.361	9,936.96
(EX.) BLDG. D MAINFLOOR AREA:		2.721	252.83
(EX.) BLDG. E MAINFLOOR AREA:		11.239	1,044.10
(EX.) BLDG. F MAINFLOOR AREA:		2.794	259.54
(EX.) BLDG. G MAINFLOOR AREA:		1.223	113.62
(PROP.) BLDG. H MAINFLOOR AREA:		2.734	253.96
TOTAL MAINFLOOR AREA:		199.181	18,504.53
			27.78%
PARKING		REQUIRED	PROVIDED
EXISTING SPACES		N/A	916
PROPOSED SPACES		N/A	888
BARRIER FREE		REQUIRED	PROVIDED
			0 24
PARKING SPACE: 26.0m x 5.4m, 7.20m AISLE			
BARRIER FREE SPACE: 3.40m x 5.8m			
FIRE ROUTE: 6.0m WIDE, MIN. 12.0m x RADIUS			
BICYCLE		REQUIRED	PROVIDED
STANDARD SPACES		2	16
LOADING		REQUIRED	PROVIDED
2,300 - 7,000 S.M.		N/A	5

LEGEND	
	PROPERTY LINE
	SETBACKS
	FIRE ROUTE
	PRINCIPLE ENTRANCE
	SECONDARY ENTRANCE/EXIT
	PEDESTRIAN CROSSWALK
	NO PARK ZONE
	DEPRESSED CURB
	PARKING COUNT
	STOP SIGN
	PYLON SIGN
	BARRIER FREE SIGN
	BARRIER FREE PARKING
	FIRE ROUTE SIGN
	3m x 6m CAR SPACE
	LANDSCAPING GREEN SPACE
	FIRE HYDRANT
	NEW SIDEWALK
	EXISTING EASEMENT
	GAS METER
	BIKE RACK - 2 SPOTS
	MOLOK GARBAGE SYSTEM
	TRANSFORMER
	BOLLARD
	CATCH BASIN
	GAS METER
	MANHOLE
	LIGHT STANDARD
	WALL PAK LIGHTING

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

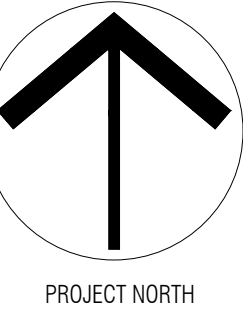
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Greystone
CAMBRIDGE • TORONTO • EDMONTON

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GREYSTONE ARCHITECTURAL PARTNERS INC.
PERMIT No. AC 15493
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

7	ISSUED FOR DP RESUBMISSION	2026.04.28
6	ISSUED FOR REVIEW	2026.04.09
5	ISSUED FOR DEVELOPMENT PERMIT	2026.01.27
4	ISSUED FOR DEVELOPMENT PERMIT	2025.12.15
3	ISSUED FOR COORDINATION	2025.12.05
2	ISSUED FOR COORDINATION	2025.11.26
1	ISSUED FOR REVIEW & COORDINATION	2025.11.20

REV.	DESCRIPTION	DATE
△ REVISION	□ ISSUED	○ APPROVAL

CLIENT:



PROJECT

SITE PLAN

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

RAWIN

ENLARGED SITE PLAN

RAWN:

NR

SCALE:

1:100

JOB NUMBER:

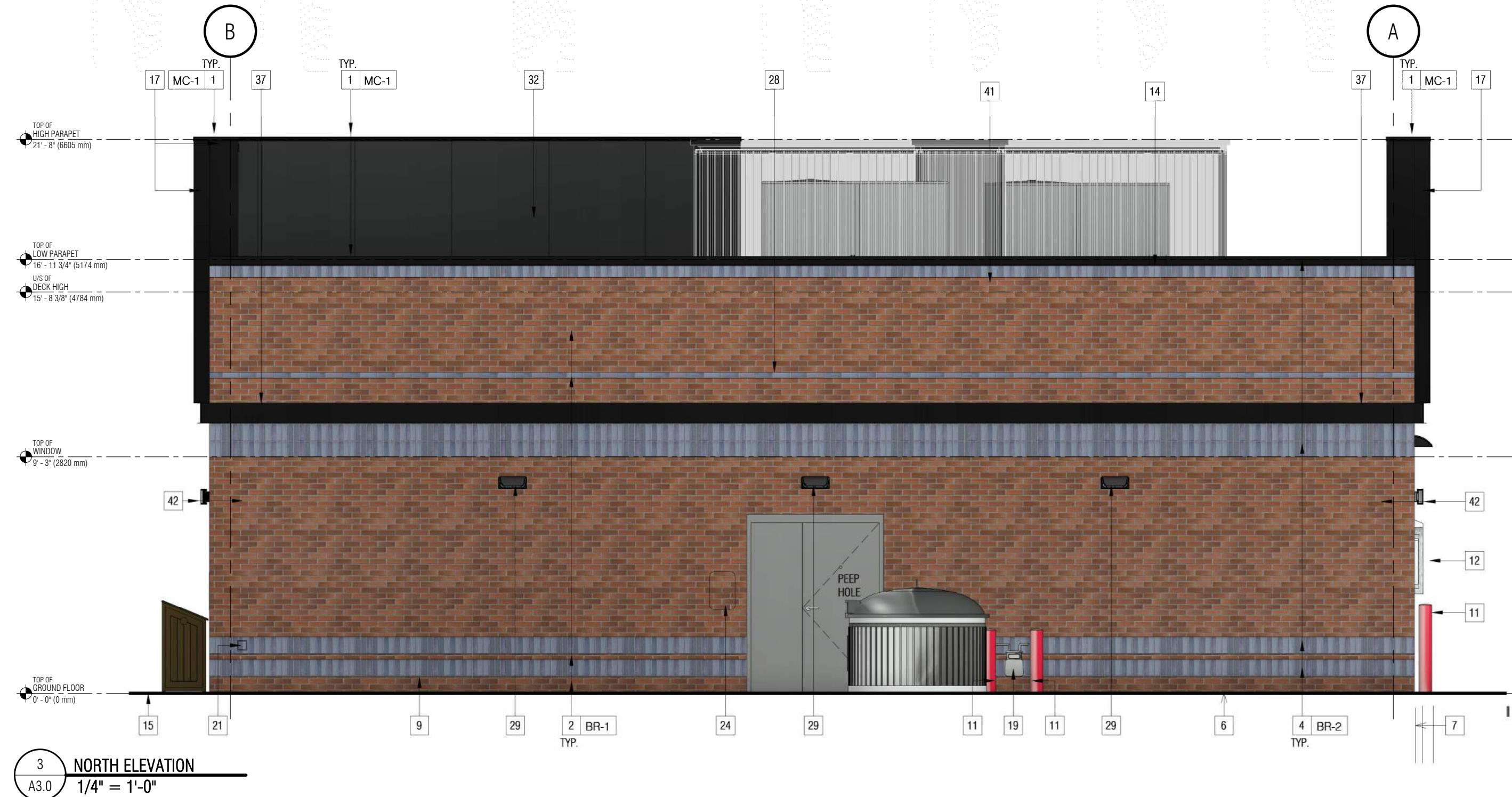
NUMBER:

VISION NUMBER

R7

DRAWING NUMBER

SP1.2



ELEVATION KEYED NOTES

1. PREFINISHED METAL FLASHING. REFER TO EXTERIOR FINISH SCHEDULE.
2. BRICK - MODULAR SIZE. REFER TO EXTERIOR FINISH SCHEDULE.
3. PANELS/ BUMP-OUT FEATURE (REFER TO EXTERIOR FINISH SCHEDULE) INCLUDING ALL MOUNTING HARDWARE/ HAT CHANNELS/ LIGHTING/ DRIVERS.
4. SOLDIER COURSE ACCENT BRICK - MODULAR SIZE. REFER TO EXTERIOR FINISH SCHEDULE.
5. ANODIZED ALUMINUM FRAMES. REFER TO WINDOW SCHEDULE.
6. EXPOSED FOUNDATION TO BE PARGED & FREE OF IMPERFECTIONS. REFER TO STRUCTURAL DRAWINGS FOR SIZE & DEPTH.
7. POURED CONCRETE FOUNDATION. REFER TO STRUCTURAL DRAWINGS FOR SIZE & DEPTH.
8. 42" (1067mm) HIGH ILLUMINATED SIGN MOUNTED ON EXTERIOR WALL CLADDING. REFER TO ELECTRICAL DRAWINGS.
9. ROOF ACCESS LADDER. REFER TO DETAIL.
10. METAL PIPE RAILING. REFER TO DETAIL.
11. 6" (150mm) DIA. METAL BOLLARD FILL W/ CONCRETE C/W BOLLARD COVER.
12. DRIVE-THRU WINDOW WITH INSULATED PANEL.
13. RESERVED.
14. OVERFLOW SCUPPER.
15. CONCRETE SIDEWALK (BY OTHERS). REFER TO SITE PLAN.
16. EXTERIOR RECYCLING UNIT.
17. BUMP-OUT FEATURE (COLOUR/MATTE BLACK).
18. RESERVED.
19. LOCATION OF GAS METER. REFER TO MECHANICAL DRAWINGS.
20. ANODIZED ALUMINUM (EXTERIOR STOREFRONT SWING DOORS).
21. RESERVED.
22. BARRIER FREE PUSH BUTTON COLUMN DOOR OPERATOR FOR BARRIER FREE ENTRANCE DOORS PER ABC (INSTALLED AT NOT LESS THAN 150MM A.F.F. AND NOT MORE THAN 1100MM A.F.F.)
23. RESERVED.
24. RESERVED.
25. RESERVED.
26. RESERVED.
27. RESERVED.
28. RUNNING BOND ACCENT BRICK - MODULAR SIZE. REFER TO EXTERIOR FINISH SCHEDULE.
29. WALL PACK. REFER TO ELECTRICAL DRAWINGS.
30. CONCRETE CURB ALONG DRIVE-THRU LANE.
31. EXTERIOR POP FRAMES.
32. TOP ROOF MEMBRANE ON BACK OF PARAPET WALLS. REFER TO SPECIFICATIONS.
33. RESERVED.
34. RESERVED.
35. INSULATED METAL PANEL (COLOR BLACK ANODIZED). REFER TO WINDOW SCHEDULE.
36. RESERVED.
37. C-CHANNEL C/W INTEGRATED PERIMETER LIGHTING ABOVE SOLDIER COURSE.
38. ILLUMINATED SIGNAGE OVER DRIVE THRU WINDOW.
39. RESERVED.
40. EXTERIOR LED SIGN LIGHT. REFER TO ELECTRICAL DRAWINGS.
41. DASHED LINE INDICATES ROOF LINE.
42. WALL SOURCE. REFER TO ELECTRICAL DRAWINGS.

EXTERIOR ELEVATION GENERAL NOTES

1. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL SCAFFOLDING. SCAFFOLDING SHALL NOT BLOCK CUSTOMER FROM ENTERING THE BUILDING. SCAFFOLDING DESIGN TO BE STAMPED BY A QUALIFIED ENGINEER TO MEET MINISTRY GUIDELINES. GENERAL CONTRACTOR TO PROVIDE SCAFFOLD LIGHTING IN CONFORMANCE WITH THE BUILDING CODE WHERE ACCESSIBLE TO THE PUBLIC.
2. PROVIDE AND MAINTAIN, ON A DAILY BASIS ALL EXTERIOR COVERING, FENCING, TAPPING, HOARDING, SIGNAGE, AND OTHER SEPARATIONS REQUIRED TO MAINTAIN THE SAFETY OF PUBLIC AND STAFF. EXTERIOR HOARDING TO BE 8'-0" HIGH PLYWOOD PAINTED WHITE.
3. EXTERIOR SIGNAGE TO BE SUPPLIED AND INSTALLED BY CLIENT'S SIGNAGE CONTRACTOR. ALL SIGNAGE IS SHOWN AS APPROXIMATE DIMENSIONS. FINAL SIGN TO BE COORDINATED WITH APPROVED SIGNAGE PACKAGE.
4. GENERAL CONTRACTOR TO DISCONNECT ELECTRICAL FROM THE EXISTING SIGNAGE TO BE REMOVED AND PROVIDE FINAL CONNECTION FOR ALL NEW EXTERIOR SIGNAGE.
5. GENERAL CONTRACTOR TO PROVIDE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING BEHIND THE EXTERIOR CLADDING WHERE AN EXTERIOR SIGN IS TO BE INSTALLED. PLYWOOD IS TO BE INSTALLED OVER THE EXTERIOR GRADE GYPSUM SHEATHING.
6. ALL EXISTING GRADES ARE TO BE REVIEWED PRIOR TO CONSTRUCTION BY THE GENERAL CONTRACTOR. ALL DISCREPANCIES IN EXISTING MATERIALS AND DIMENSIONS ARE TO BE REPORTED TO GREYSTONE.
7. ALL SURFACES TO RECEIVE FINISHES ARE TO BE REVIEWED PRIOR TO CONSTRUCTION BY THE GENERAL CONTRACTOR. ALL DISCREPANCIES IN EXISTING MATERIALS AND DIMENSIONS ARE TO BE REPORTED TO GREYSTONE.
8. GENERAL CONTRACTOR TO PATCH AND REPAIR ALL FINISHES AS A RESULT OF THE INSTALLATION OF EXTERIOR LIGHTING.
9. GENERAL CONTRACTOR TO PATCH AND REPAIR ALL DAMAGED MATERIALS THAT ARE TO RECEIVE A NEW FINISH.
10. EXISTING ALUMINUM DOORS, WINDOWS AND FRAMES THAT ARE TO RECEIVE A PAINTED FINISH SHALL HAVE ALL SURFACES CLEANED WITH TSP AND STEEL WOOL. APPLY ONE LAYER OF BENJAMIN MOORE ALKO BONDING PRIMER PRIOR TO PAINTING. CONTRACTOR TO PROVIDE A TEST PATCH AND COLOUR SAMPLE FOR APPROVAL.
11. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EXTERIOR PAINT WORK.
12. ALL EXISTING BOLLARDS ON SITE ARE TO BE CLEANED, PRIMED AND REPAINTED WITH A CORROSION RESISTANT PAINT. COLOUR: TRAFFIC YELLOW.
13. VERTICAL AND HORIZONTAL "J" JOINTS REVEALS IN E.F.S SHALL HAVE SIDES ANGLED AT 45-DEGREES AND BE 1" IN WIDTH. REVEALS ARE DIMENSIONED TO THE CENTER LINE. (SEE WALL SECTIONS FOR DETAILING)

FINISH SCHEDULE

TAG	PRODUCT	MANUF.	TYPE AND COLOUR
MC-1	PREFINISHED METAL FLASHING	FIRESTONE	FLASHING AT BRICK PARAPET - COLOUR: TO MATTE BLACK FLASHING AT FOUNDATION: COLOUR: MATTE BLACK ALL FLASHING AT WINDOWS IS TO BE MATTE BLACK
FC-1	PERFORATED METAL LIGHTBOX FIXTURE	MONTREAL NEON	PERFORATED WHITE METAL OVER BLACK METAL PANELS FRAMED WITH BLACK ALUMINUM FRAME THAT EXTENDS TO GRADE. LED STRAIGHT TO CAST LIGHT ALONG PERIMETER OF PERFORATED METAL. PANEL SIZES: A. 1156mm (45.5"W) X 3048mm (120" HIGH) B. 1156mm (45.5"W) X 2235mm (88" HIGH) NOTE: REFER TO EXTERIOR ELEVATIONS FOR PANEL SIZE (PANEL A OR PANEL B)
FC-2	CUSTOM FINISHED EXTRUDED ALUMINUM SIDING	KNOTWOOD (SUPPLIED BY HUC)	6" FLAT SIDING PROFILE (WITH APPROVED CUSTOM FINISH) C.C. TO TOUCH UP IN FIELD. EXTRUDED ALUMINUM OUTSIDE/INSIDE CORNER PIECES, COVERS AND JOINTS WITH APPROVED CUSTOM FINISH. COLOUR: CANADIAN SHIELD NOTE: TO BE INSTALLED IN STAGGERED PATTERN TO AVOID ALIGNED VERTICAL JOINTS.
BR-1	BRICK	ENDICOTT CLAY PRODUCTS	MODULAR FACE BRICK 94mm D x 57mm H x 194mm L. COLOUR: MEDIUM IRONSPOT 77. SMOOTH FINISH. RUNNING BOND. MORTAR: SM/30. BRARWOOD
BR-2	BRICK (ACCENT)	ENDICOTT CLAY PRODUCTS	MODULAR FACE BRICK 94mm D x 57mm H x 194mm L. COLOUR: ENDICOTT DARK IRONSPOT. ARTISAN FINISH. SOLDIER COURSE. MORTAR: SM/30. BRARWOOD.
P-08	PAINT - REAR DOOR & HANDRAIL	SHERWIN WILLIAMS	PAINT FOR EXTERIOR METALS. COLOUR: #SW 7069 IRON ORE - MIN. 2 FINISH COATS
P-17	PAINT - BOLLARD (ONLY PAINT IN CASE CAN'T USE THE COVER)	SHERWIN WILLIAMS	PAINT FOR BOLLARD. COLOUR: #SW 6868 REAL RED - MIN. 2 FINISH COATS

DEVELOPMENT
PERMIT
DECISION
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ON THIS PLAN

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PERMIT No. AC 15493
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

REV	DESCRIPTION	DATE
4	ISSUED FOR DP RESUBMISSION	2026.04.28
3	ISSUED FOR DEVELOPMENT PERMIT	2026.01.27
2	ISSUED FOR COORDINATION	2025.11.26
1	ISSUED FOR REVIEW AND COORDINATION	2025.11.20

CLIENT:



PROJECT:

RETAIL UNIT

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

DRAWING:

EXTERIOR
ELEVATIONS

DRAWN BY:
MA

REVISION NUMBER:

4

SCALE:

As indicated

DRAWING NUMBER:

A3.0

JOB NUMBER:
25506



1
A3.1 SOUTHEAST PERSPECTIVE VIEW



2
A3.1 NORTHWEST PERSPECTIVE VIEW

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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2	ISSUED FOR DEVELOPMENT PERMIT	2026.01.27
1	ISSUED FOR COORDINATION	2025.11.26
REV	DESCRIPTION	DATE

CLIENT:

FIRST CAPITAL

PROJECT:

RETAIL UNIT

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

DRAWING:

EXTERIOR
PERSPECTIVES

DRAWN BY: Author	REVISION NUMBER: 3
SCALE:	DRAWING NUMBER: A3.1
JOB NUMBER: 25506	