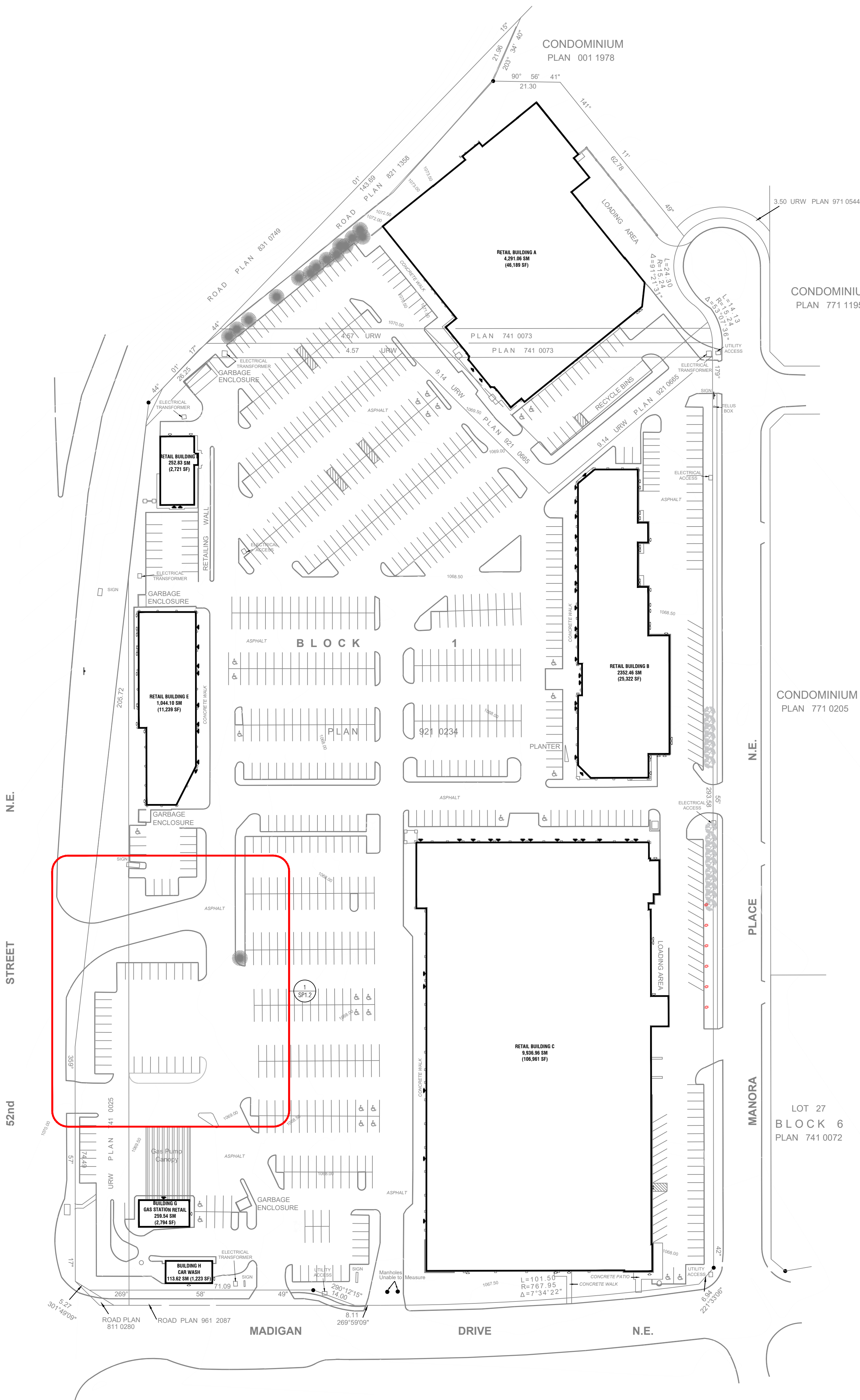


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1 OVERALL EXISTING SITE PLAN
SP1.0 1:500



EXISTING SITE DATA			
ZONE:	COMMERCIAL - COMMUNITY 2(C-C2)		
SITE A (PROPOSED) AREA:	717,061 SF	66,617.17 SM	6.66 HA
FRONTAGE:	MADIGAN DRIVE		
DEPTH:	85.6 m		
REAR:	43.4 m		
SETBACKS:	REQUIRED	PROVIDED	
FRONT YARD	4.0 m	4.0 m	
REAR YARD	4.5 m	4.5 m	
INTERIOR SIDE YARD	0 m	0 m	
EXTERIOR SIDE YARD	3.0 m - 17.5 m	N/A	
BUILDING		AREA S.F.	AREA S.M.
			COVERAGE
(EX) BLDG. A MAINFLOOR AREA:		46,189	4,291.06
(EX) BLDG. B MAINFLOOR AREA:		25,322	2,362.46
(EX) BLDG. C MAINFLOOR AREA:		106,961	9,896.96
(EX) BLDG. D MAINFLOOR AREA:		2,721	252.83
(EX) BLDG. E MAINFLOOR AREA:		11,239	1,044.10
(EX) BLDG. F MAINFLOOR AREA:		2,794	259.54
(EX) BLDG. G MAINFLOOR AREA:		1,223	113.62
TOTAL MAINFLOOR AREA:		196,448	18,250.57
		REQUIRED	PROVIDED
PARKING		REQUIRED	916
EXISTING SPACES		N/A	
BARRIER FREE		REQUIRED	PROVIDED
		N/A	24
PARKING SPACE: 260m x 5.4m, 7.20m ASILE			
BARRIER FREE SPACE: 3.40m x 5.8m			
FIRE ROUTE: 6.0m WIDE, MIN. 12.0m x 5.8m			
BICYCLE		REQUIRED	PROVIDED
STANDARD SPACES		2	14
LOADING		REQUIRED	PROVIDED
2,300 - 7,000 S.M.		N/A	4

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

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PROJECT NORTH

Greystone
CAMBRIDGE • TORONTO • EDMONTON

154 King Street East
Cambridge, Ontario N3J 3H4
T: (519) 896-1010 ext.100

GREYSTONE ARCHITECTURAL PARTNERS INC. PERMIT No. AC 154603 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA		
5	ISSUED FOR DEVELOPMENT PERMIT	2026.01.27
4	ISSUED FOR DEVELOPMENT PERMIT	2025.12.15
3	ISSUED FOR COORDINATION	2025.12.05
2	ISSUED FOR COORDINATION	2025.11.26
1	ISSUED FOR REVIEW & COORDINATION	2025.11.20
REV.	DESCRIPTION	DATE
△ REVISION	□ ISSUED	○ APPROVAL

CLIENT:

FIRST CAPITAL

PROJECT:

SITE PLAN

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

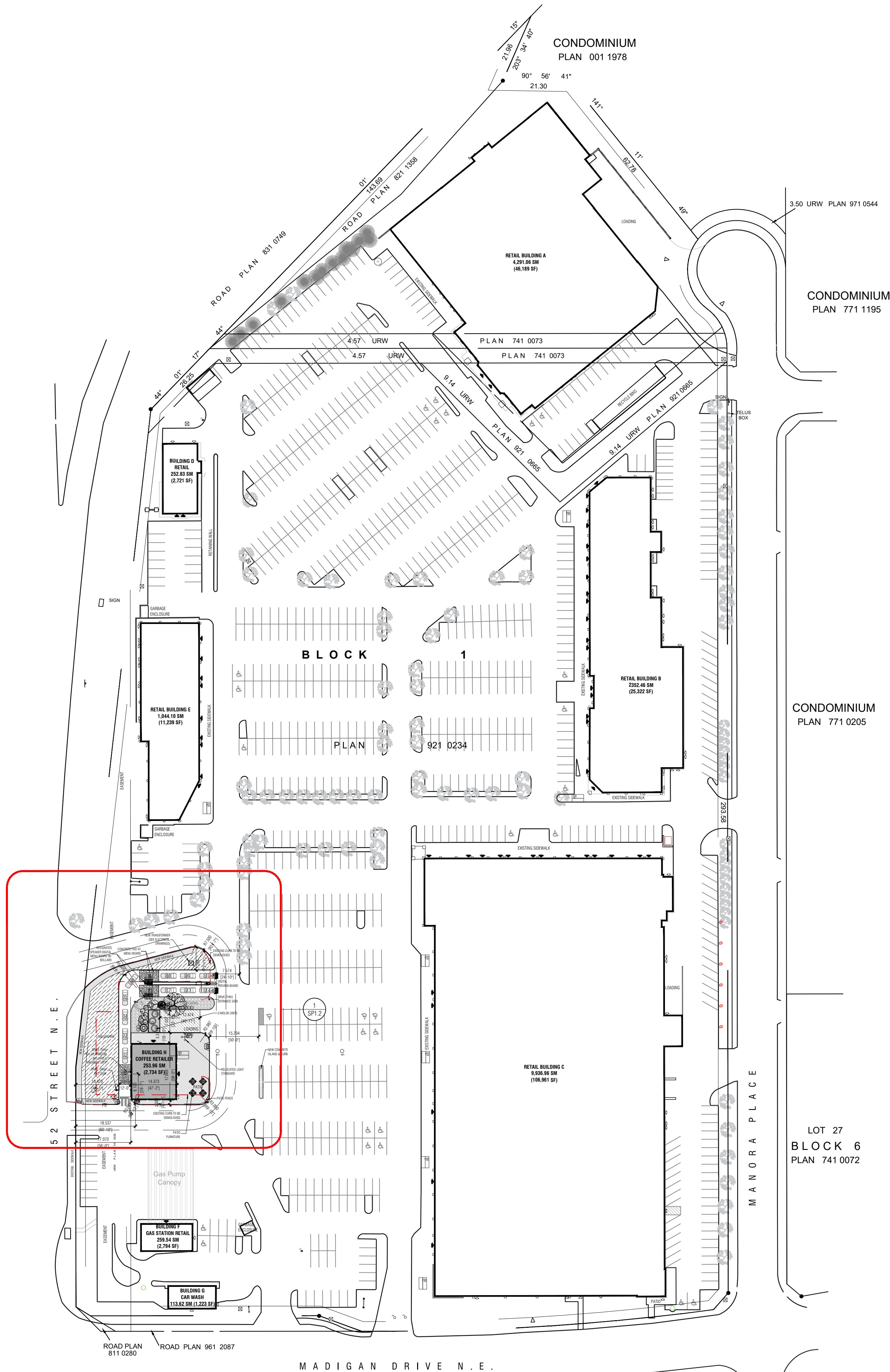
DRAWING:

OVERALL EXISTING SITE PLAN

DRAWN:	N.B.	REVISION NUMBER:
SCALE:	1:500	R5
JOB NUMBER:	25506	DRAWING NUMBER:
		SP1.0

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1 OVERALL PROPOSED SITE PLAN
SP1.1 1:500



PROPOSED SITE DATA			
ZONE:	COMMERCIAL - COMMUNITY 2(C-C2)		
SITE A (PROPOSED) AREA:	717,061 SF	66,617.17 SM	6.66 HA
FRONTAGE:	MADIGAN DRIVE	48.0 m	
DEPTH:		85.6 m	
REAR:		43.4 m	
SETBACKS	REQUIRED	PROVIDED	
FRONT YARD	4.0 m	4.0 m	
REAR YARD	4.5 m	4.5 m	
INTERIOR SIDE YARD	0 m	0 m	
EXTERIOR SIDE YARD	3.0 m - 17.5 m	N/A	
BUILDING			
	AREA S.F.	AREA S.M.	COVERAGE
(EX) BLDG. A MAINFLOOR AREA:	46,189	4,291.06	6.44%
(EX) BLDG. B MAINFLOOR AREA:	25,322	2,352.46	3.53%
(EX) BLDG. C MAINFLOOR AREA:	106,961	9,936.96	14.92%
(EX) BLDG. D MAINFLOOR AREA:	2,721	252.83	0.38%
(EX) BLDG. E MAINFLOOR AREA:	11,239	1,044.10	1.57%
(EX) BLDG. F MAINFLOOR AREA:	2,794	259.54	0.39%
(EX) BLDG. G MAINFLOOR AREA:	1,223	113.62	0.17%
(PROP.) BLDG. H MAINFLOOR AREA:	2,734	253.96	0.38%
TOTAL MAINFLOOR AREA:	199,181	18,504.53	27.78%
PARKING			
	REQUIRED	PROVIDED	
EXISTING SPACES	N/A	916	
PROPOSED SPACES	N/A	888	
BARRIER FREE	REQUIRED	PROVIDED	
	0	24	
PARKING SPACE: 260m x 5.4m, 7.20m AISLE			
BARRIER FREE SPACE: 3.40m x 5.6m			
FIRE ROUTE: 6.0m WIDE, MIN. 12.0m x RADIUS			
BICYCLE			
	REQUIRED	PROVIDED	
STANDARD SPACES	2	16	
LOADING			
	REQUIRED	PROVIDED	
2,300 - 7,000 S.M.	N/A	5	

LEGEND	
PROPERTY LINE	
SETBACKS	
FIRE ROUTE	
PRINCIPLE ENTRANCE	SECONDARY ENTRANCE/EXT
PEDESTRIAN CROSSWALK	'NO PARK' ZONE
DEPRESSED CURB	PARKING COUNT
STOP SIGN	PYLON SIGN
BARRIER FREE SIGN	BARRIER FREE PARKING
FIRE ROUTE SIGN	3m x 6m CAR SPACE
LANDSCAPING GREEN SPACE	FIRE HYDRANT
NEW SIDEWALK	EXISTING EASEMENT
GM GAS METER	BR BIKE RACK - 2 SPOTS
TRAFFIC FLOW ARROWS	MOLOK GARBAGE SYSTEM
TRANSFORMER	BOLLARD
CB CATCH BASIN	GM GAS METER
MH MANHOLE	LIGHT STANDARD
WALL PAK LIGHTING	

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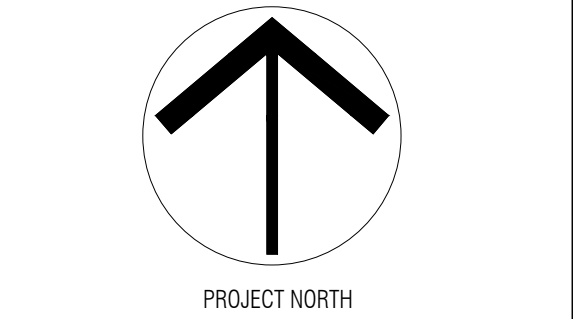
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GREYSTONE ARCHITECTURAL PARTNERS INC.
PERMIT No. AC 154603
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

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REV.	DESCRIPTION	DATE
△ REVISION	□ ISSUED	○ APPROVAL



PROJECT: SITE PLAN

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

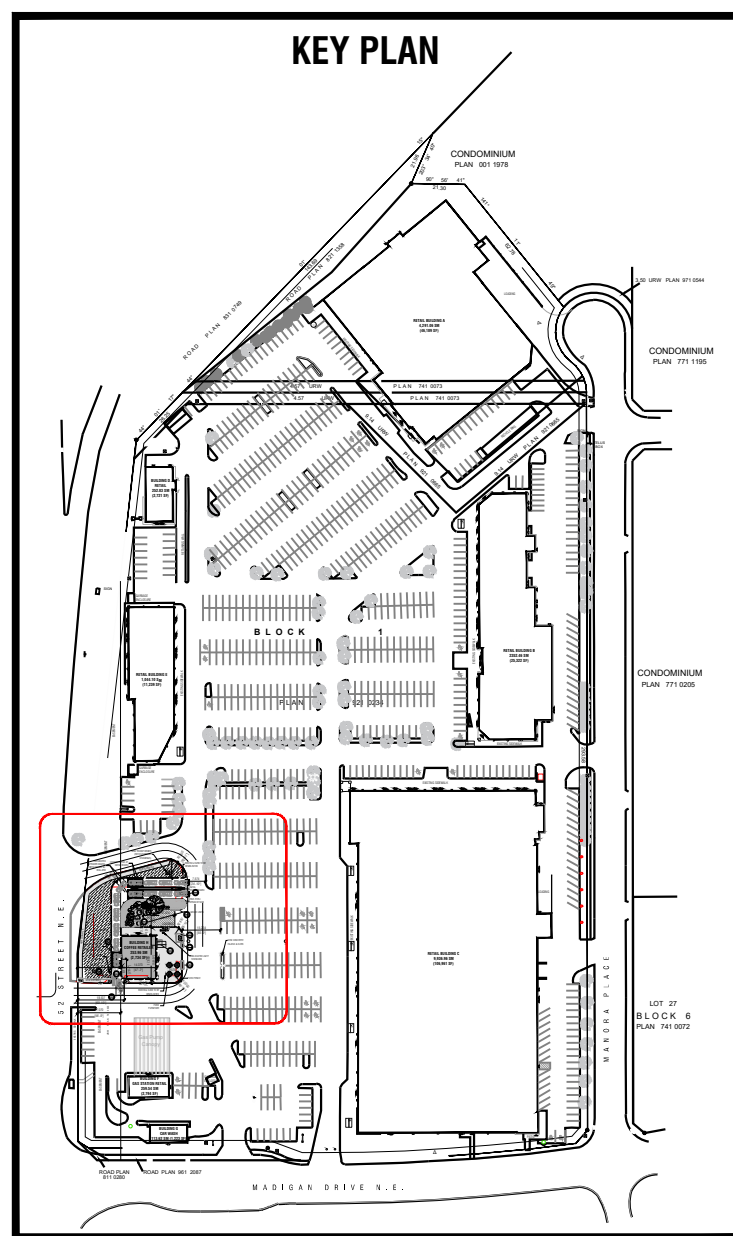
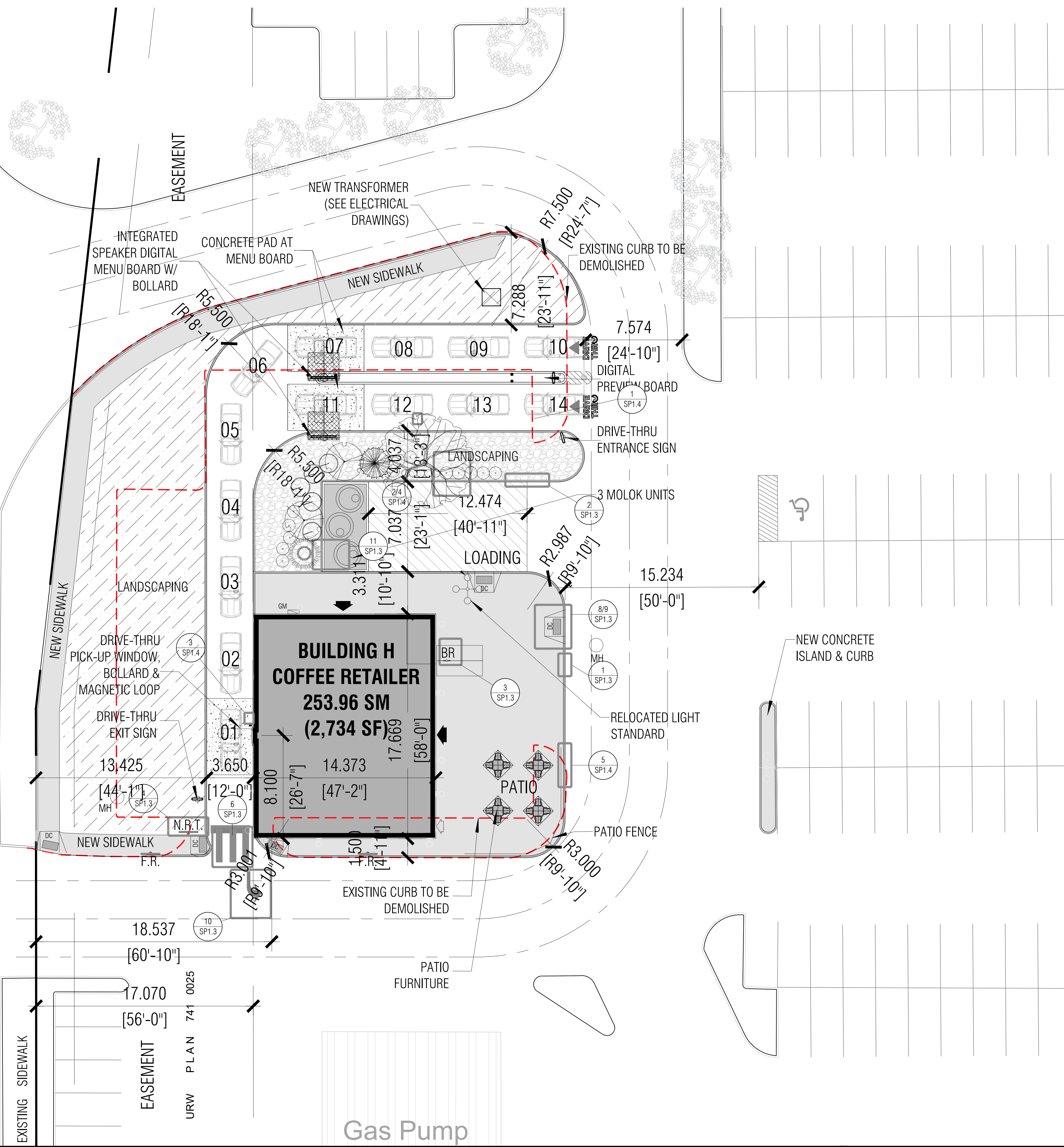
DRAWING: OVERALL PROPOSED SITE PLAN

DRAWN: N.B.	REVISION NUMBER: R5
SCALE: 1:500	DRAWING NUMBER: SP1.1
JOB NUMBER: 25506	

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LAST SAVED BY: [Redacted] 7/25/2025 1:47 PM

1
SP1.2
ENLARGED PROPOSED SITE PLAN
1:100

52 STREET N.E.



PROPOSED SITE DATA			
ZONE:	COMMERCIAL - COMMUNITY 2(C-C2)		
SITE A (PROPOSED) AREA:	717,061 SF	66,617.17 SM	6.66 HA
FRONTAGE:	MADIGAN DRIVE	48.0 m	
DEPTH:		85.6 m	
REAR:		43.4 m	
SETBACKS:	REQUIRED	PROVIDED	
FRONT YARD	4.0 m	4.0 m	
REAR YARD	0 m	4.5 m	
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BICYCLE	REQUIRED	PROVIDED	
STANDARD SPACES	2	16	
LOADING	REQUIRED	PROVIDED	
2,300 - 7,000 S.M.	N/A	5	

LEGEND	
PROPERTY LINE	
SETBACKS	
FIRE ROUTE	
PRINCIPLE ENTRANCE	SECONDARY ENTRANCE/EXIT
PEDESTRIAN CROSSWALK	'NO PARK' ZONE
DEPRESSED CURB	PARKING COUNT
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TRAFFIC FLOW ARROWS	MOLOK GARBAGE SYSTEM
TRANSFORMER	BOLLARD
CB CATCH BASIN	GM GAS METER
MH MANHOLE	LIGHT STANDARD
WALL PAK LIGHTING	

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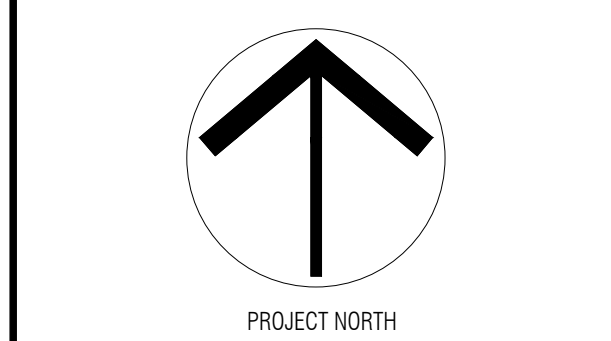
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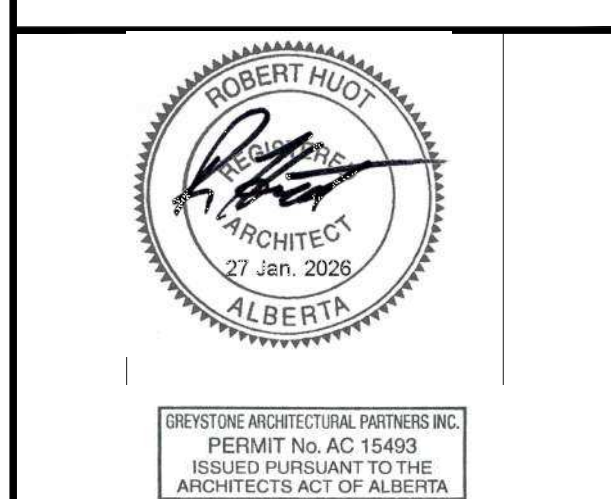
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REV.	DESCRIPTION	DATE
△ REVISION	□ ISSUED	○ APPROVAL

CLIENT:

FIRST CAPITAL

PROJECT:

SITE PLAN

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

DRAWING:

ENLARGED SITE PLAN

DRAWN:	REVISION NUMBER:
N.B.	R5
SCALE:	DRAWING NUMBER:
1:100	SP1.2
JOB NUMBER:	
25506	



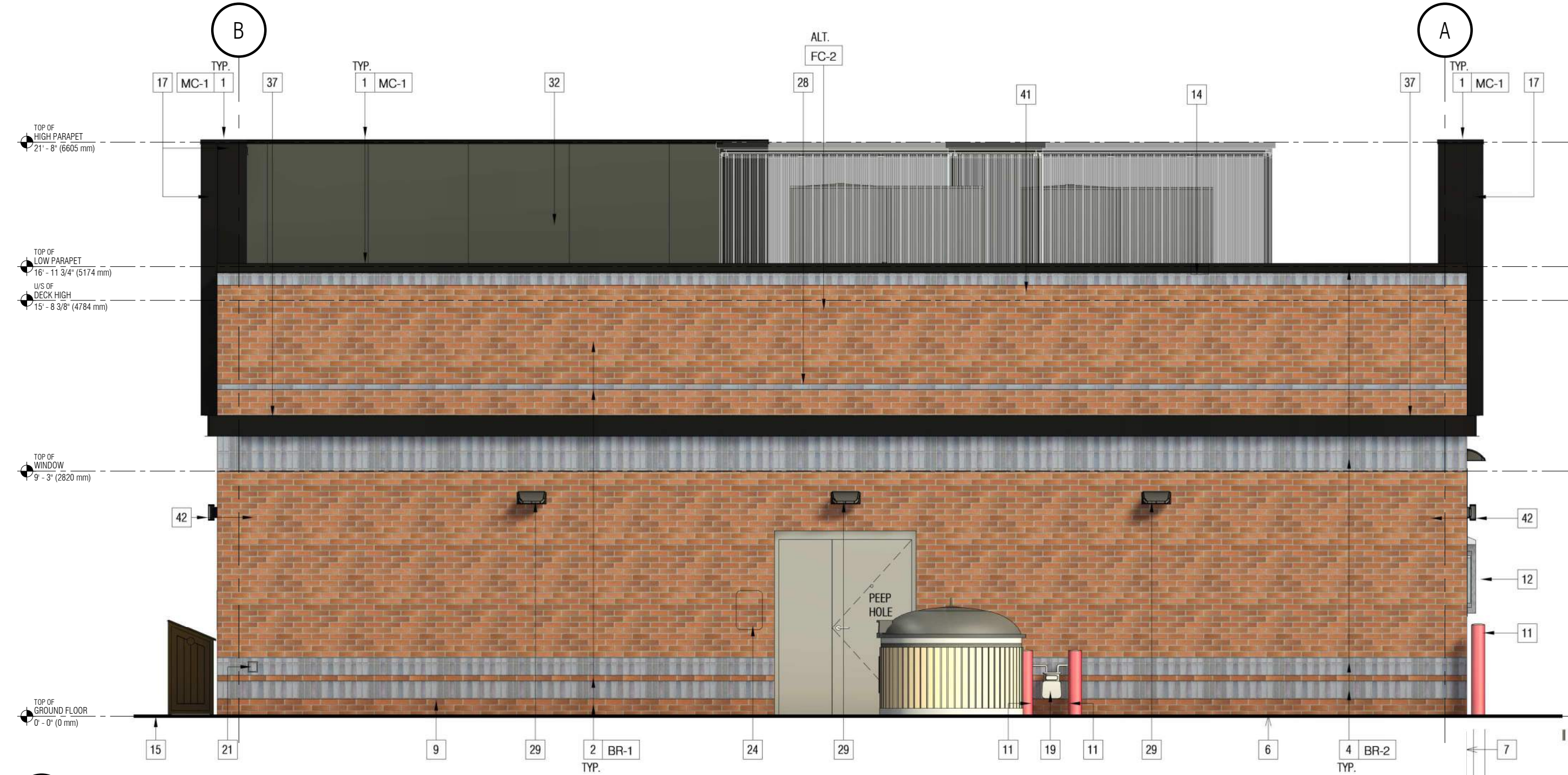
1 SOUTH ELEVATION
A3.0 1/4" = 1'-0"



2 EAST ELEVATION
A3.0 1/4" = 1'-0"



4 WEST ELEVATION
A3.0 1/4" = 1'-0"



3 NORTH ELEVATION
A3.0 1/4" = 1'-0"

ELEVATION KEYED NOTES

1. PREFINISHED METAL FLASHING. REFER TO EXTERIOR FINISH SCHEDULE.
2. BRICK - MODULAR SIZE. REFER TO EXTERIOR FINISH SCHEDULE.
3. PANELS/ BUMP-OUT FEATURE (REFER TO EXTERIOR FINISH SCHEDULE) INCLUDING ALL MOUNTING HARDWARE/ HAT CHANNELS/ LIGHTING/ DRIVERS.
4. SOLDIER COURSE ACCENT BRICK - MODULAR SIZE. REFER TO EXTERIOR FINISH SCHEDULE.
5. ANODIZED ALUMINUM FRAMES. REFER TO WINDOW SCHEDULE.
6. EXPOSED FOUNDATION TO BE PARGED & FREE OF IMPERFECTIONS. REFER TO STRUCTURAL DRAWINGS FOR SIZE & DEPTH.
7. POURED CONCRETE FOUNDATION. REFER TO STRUCTURAL DRAWINGS FOR SIZE & DEPTH.
8. 42" (1067mm) HIGH ILLUMINATED SIGN MOUNTED ON EXTERIOR WALL CLADDING. REFER TO ELECTRICAL DRAWINGS.
9. ROOF ACCESS LADDER. REFER TO DETAIL.
10. METAL PIPE RAILING. REFER TO DETAIL.
11. 6" (150mm) DIA. METAL BOLLARD FILL W/ CONCRETE C/W BOLLARD COVER.
12. DRIVE-THRU WINDOW WITH INSULATED PANEL.
13. RESERVED.
14. OVERFLOW SCUPPER.
15. CONCRETE SIDEWALK (BY OTHERS). REFER TO SITE PLAN.
16. EXTERIOR RECYCLING UNIT.
17. BUMP-OUT FEATURE (COLOUR/MATTE BLACK).
18. RESERVED.
19. LOCATION OF GAS METER. REFER TO MECHANICAL DRAWINGS.
20. ANODIZED ALUMINUM (EXTERIOR STOREFRONT SWING DOORS).
21. RESERVED.
22. BARRIER FREE PUSH BUTTON COLUMN DOOR OPERATOR FOR BARRIER FREE ENTRANCE DOORS PER ABC (INSTALLED AT NOT LESS THAN 150MM A.F.F. AND NOT MORE THAN 1100MM A.F.F.)
23. RESERVED.
24. RESERVED.
25. RESERVED.
26. RESERVED.
27. RESERVED.
28. RUNNING BOND ACCENT BRICK - MODULAR SIZE. REFER TO EXTERIOR FINISH SCHEDULE.
29. WALL PACK. REFER TO ELECTRICAL DRAWINGS.
30. CONCRETE CURB ALONG DRIVE-THRU LANE.
31. EXTERIOR POP FRAMES.
32. TOP ROOF MEMBRANE ON BACK OF PARAPET WALLS. REFER TO SPECIFICATIONS.
33. RESERVED.
34. RESERVED.
35. INSULATED METAL PANEL (COLOR BLACK ANODIZED). REFER TO WINDOW SCHEDULE.
36. RESERVED.
37. C-CHANNEL C/W INTEGRATED PERIMETER LIGHTING ABOVE SOLDIER COURSE.
38. ILLUMINATED SIGNAGE OVER DRIVE THRU WINDOW.
39. RESERVED.
40. EXTERIOR LED SIGN LIGHT. REFER TO ELECTRICAL DRAWINGS.
41. DASHED LINE INDICATES ROOF LINE.
42. WALL SCONCE. REFER TO ELECTRICAL DRAWINGS.

EXTERIOR ELEVATION GENERAL NOTES

1. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL SCAFFOLDING. SCAFFOLDING SHALL NOT BLOCK CUSTOMER FROM ENTERING THE BUILDING. SCAFFOLDING DESIGN TO BE STAMPED BY A QUALIFIED ENGINEER TO MEET MINISTRY GUIDELINES. GENERAL CONTRACTOR TO PROVIDE SCAFFOLD LIGHTING IN CONFORMANCE WITH THE BUILDING CODE WHERE ACCESSIBLE TO THE PUBLIC.
2. PROVIDE AND MAINTAIN, ON A DAILY BASIS ALL EXTERIOR COVERING, FENCING, TAPPING, HOARDING, SIGNAGE, AND OTHER SEPARATIONS REQUIRED TO MAINTAIN THE SAFETY OF PUBLIC AND STAFF. EXTERIOR HOARDING TO BE 8'-0" HIGH PLYWOOD PAINTED WHITE.
3. EXTERIOR SIGNAGE TO BE SUPPLIED AND INSTALLED BY CLIENT'S SIGNAGE CONTRACTOR. ALL SIGNAGE IS SHOWN AS APPROXIMATE DIMENSIONS. FINAL SIGN TO BE COORDINATED WITH APPROVED SIGNAGE PACKAGE.
4. GENERAL CONTRACTOR TO DISCONNECT ELECTRICAL FROM THE EXISTING SIGNAGE TO BE REMOVED AND PROVIDE FINAL CONNECTION FOR ALL NEW EXTERIOR SIGNAGE.
5. GENERAL CONTRACTOR TO PROVIDE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING BEHIND THE EXTERIOR CLADDING WHERE AN EXTERIOR SIGN IS TO BE INSTALLED. PLYWOOD IS TO BE INSTALLED OVER THE EXTERIOR GRADE GYPSUM SHEATHING.
6. ALL EXISTING GRADES ARE TO BE REVIEWED PRIOR TO CONSTRUCTION BY THE GENERAL CONTRACTOR. ALL DISCREPANCIES IN EXISTING MATERIALS AND DIMENSIONS ARE TO BE REPORTED TO GREYSTONE.
7. ALL SURFACES TO RECEIVE FINISHES ARE TO BE REVIEWED PRIOR TO CONSTRUCTION BY THE GENERAL CONTRACTOR. ALL DISCREPANCIES IN EXISTING MATERIALS AND DIMENSIONS ARE TO BE REPORTED TO GREYSTONE.
8. GENERAL CONTRACTOR TO PATCH AND REPAIR ALL FINISHES AS A RESULT OF THE INSTALLATION OF EXTERIOR LIGHTING.
9. GENERAL CONTRACTOR TO PATCH AND REPAIR ALL DAMAGED MATERIALS THAT ARE TO RECEIVE A NEW FINISH.
10. EXISTING ALUMINUM DOORS, WINDOWS AND FRAMES THAT ARE TO RECEIVE A PAINTED FINISH SHALL HAVE ALL SURFACES CLEANED WITH TSP AND STEEL WOOL. APPLY ONE LAYER OF BEHLENUM MORE ALONG BONDING PRIMER PRIOR TO PAINTING. CONTRACTOR TO PROVIDE A TEST PATCH AND COLOUR SAMPLE FOR APPROVAL.
11. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EXTERIOR PAINT WORK.
12. ALL EXISTING BOLLARDS ON SITE ARE TO BE CLEANED, PRIMED AND REPAINTED WITH A CORROSION RESISTANT PAINT. COLOUR: TRAFFIC YELLOW.
13. VERTICAL AND HORIZONTAL 'Y' JOINTS REVEALS IN E.F.S SHALL HAVE SIDES ANGLED AT 45-DEGREES AND BE 1" IN WIDTH. REVEALS ARE DIMENSIONED TO THE CENTER LINE. (SEE WALL SECTIONS FOR DETAILING)

FINISH SCHEDULE

TAG	PRODUCT	MANUF.	TYPE AND COLOUR
MC-1	PREFINISHED METAL FLASHING	FIRESTONE	FLASHING AT BRICK PARAPET - COLOUR: TO MATTE BLACK FLASHING AT FOUNDATION: COLOUR: MATTE BLACK ALL FLASHING AT WINDOWS IS TO BE MATTE BLACK
FC-1	PERFORATED METAL LIGHTBOX FIXTURE	MONTREAL NEON	PERFORATED WHITE METAL OVER BLACK METAL PANELS FRAMED WITH BLACK ALUMINUM FRAME THAT EXTENDS TO GRADE. LED STRAIGHT TO CAST LIGHT ALONG PERIMETER OF PERFORATED METAL. PANEL SIZES: A: 1156mm (45.5"W) X 3048mm (120" HIGH) B: 1156mm (45.5"W) X 2235mm (88" HIGH) NOTE: REFER TO EXTERIOR ELEVATIONS FOR PANEL SIZE (PANEL A OR PANEL B)
FC-2	CUSTOM FINISHED EXTRUDED ALUMINUM SIDING	KNOTWOOD (SUPPLIED BY HUC)	6" FLAT SIDING PROFILE (WITH APPROVED CUSTOM FINISH) C.G. TO TOUCH UP IN FIELD. EXTRUDED ALUMINUM OUTSIDE/INSIDE CORNER PIECES, COVERS AND JOINTS WITH APPROVED CUSTOM FINISH. COLOUR: CANADIAN SHIELD NOTE: TO BE INSTALLED IN STAGGERED PATTERN TO AVOID ALIGNED VERTICAL JOINTS.
BR-1	BRICK	ENDICOTT CLAY PRODUCTS	MODULAR FACE BRICK 94mm D x 57mm H x 194mm L. COLOUR: MEDIUM IRONSPOT 77, SMOOTH FINISH, RUNNING BOND. MORTAR: SM/30, BRANWOOD
BR-2	BRICK (ACCENT)	ENDICOTT CLAY PRODUCTS	MODULAR FACE BRICK 94mm D x 57mm H x 194mm L. COLOUR: ENDICOTT DARK IRONSPOT, ARTISAN FINISH, SOLDIER COURSE. MORTAR: SM/30, BRANWOOD.
P-08	PAINT - REAR DOOR & HANDRAIL	SHERWIN WILLIAMS	PAINT FOR EXTERIOR METALS. COLOUR: #SW 7069 IRON ORE - MIN. 2 FINISH COATS
P-17	PAINT - BOLLARD (ONLY PAINT IN CASE CAN'T USE THE COVER)	SHERWIN WILLIAMS	PAINT FOR BOLLARD. COLOUR: #SW 6868 REAL RED - MIN. 2 FINISH COATS

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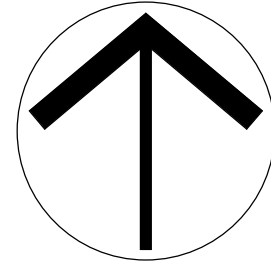
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PROJECT NORTH



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T: (519) 896-1010 ext. 100



GREYSTONE ARCHITECTURAL PARTNERS INC.
PERMIT No. AC 15463
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

3	ISSUED FOR DEVELOPMENT PERMIT	2026.01.27
2	ISSUED FOR COORDINATION	2025.11.26
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REV	DESCRIPTION	DATE
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CLIENT:



PROJECT:

RETAIL UNIT

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

DRAWING:

EXTERIOR
ELEVATIONS

DRAWN BY:

MA

SCALE:

As indicated

JOB NUMBER:

25506

REVISION NUMBER:

3

DRAWING NUMBER:

A3.0



1
A3.1 SOUTHEAST PERSPECTIVE VIEW



2
A3.1 NORTHWEST PERSPECTIVE VIEW

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

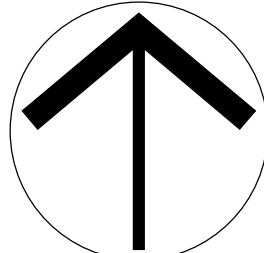
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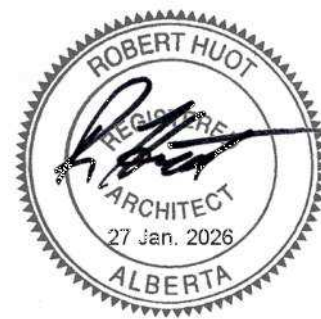
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PROJECT NORTH



154 King Street East
Cambridge, Ontario N3H 3H4
T: (519) 896-1010 ext.100



GREYSTONE ARCHITECTURAL PARTNERS INC.
PERMIT No. AC 154603
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

2	ISSUED FOR DEVELOPMENT PERMIT	2026.01.27
1	ISSUED FOR COORDINATION	2025.11.26
REV	DESCRIPTION	DATE

CLIENT:



PROJECT:

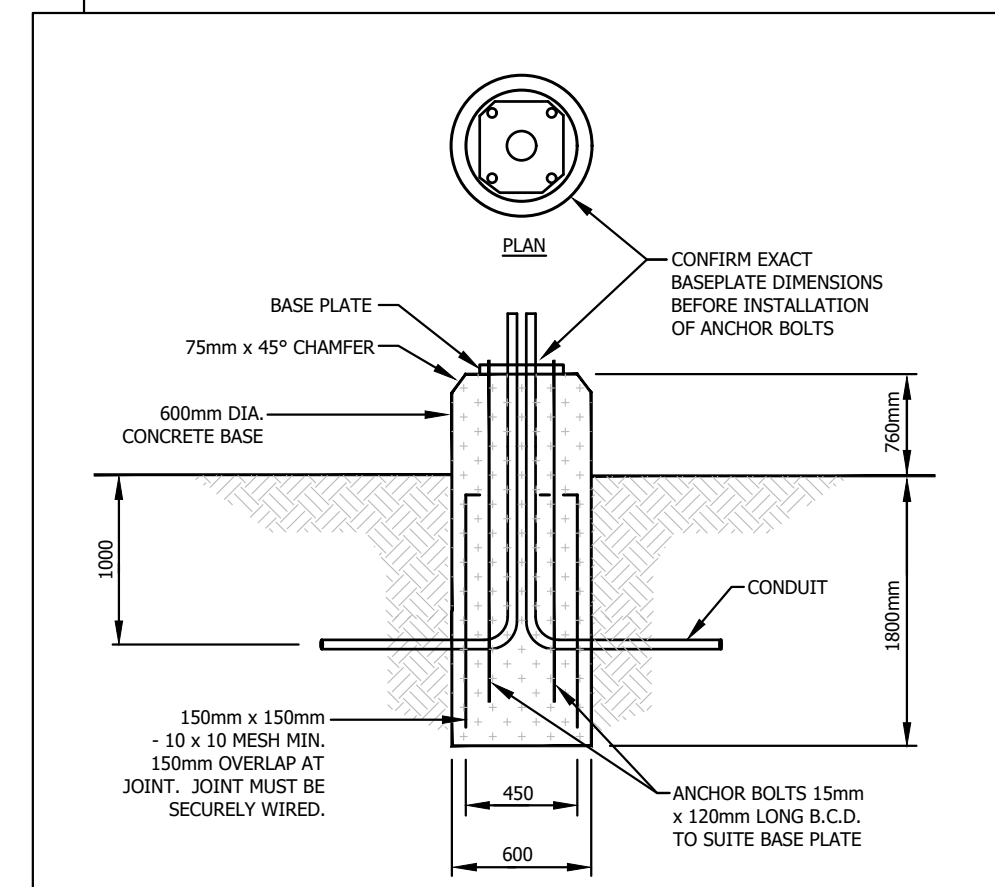
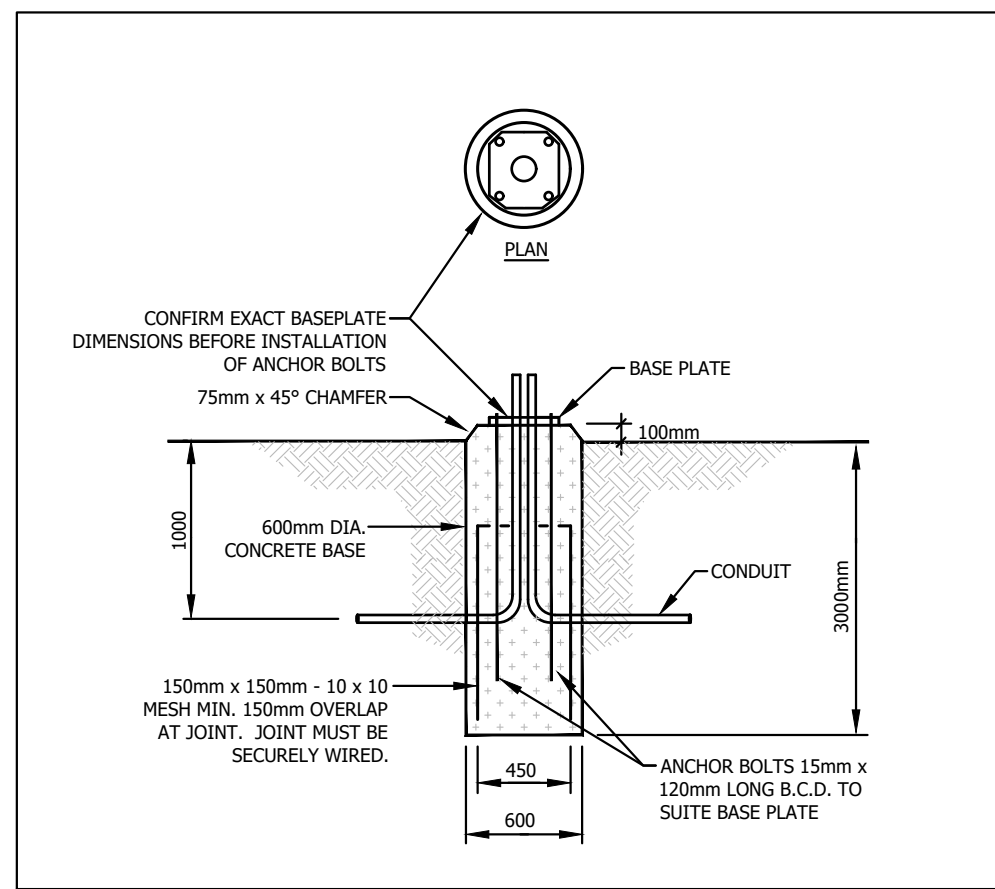
RETAIL UNIT

TRANSCANADA CENTRE
1440 - 52 STREET NE
CALGARY, ALBERTA

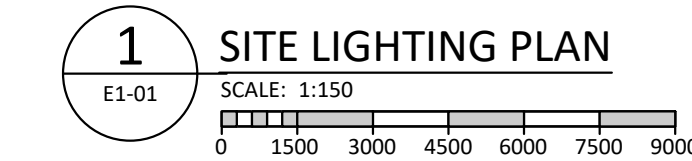
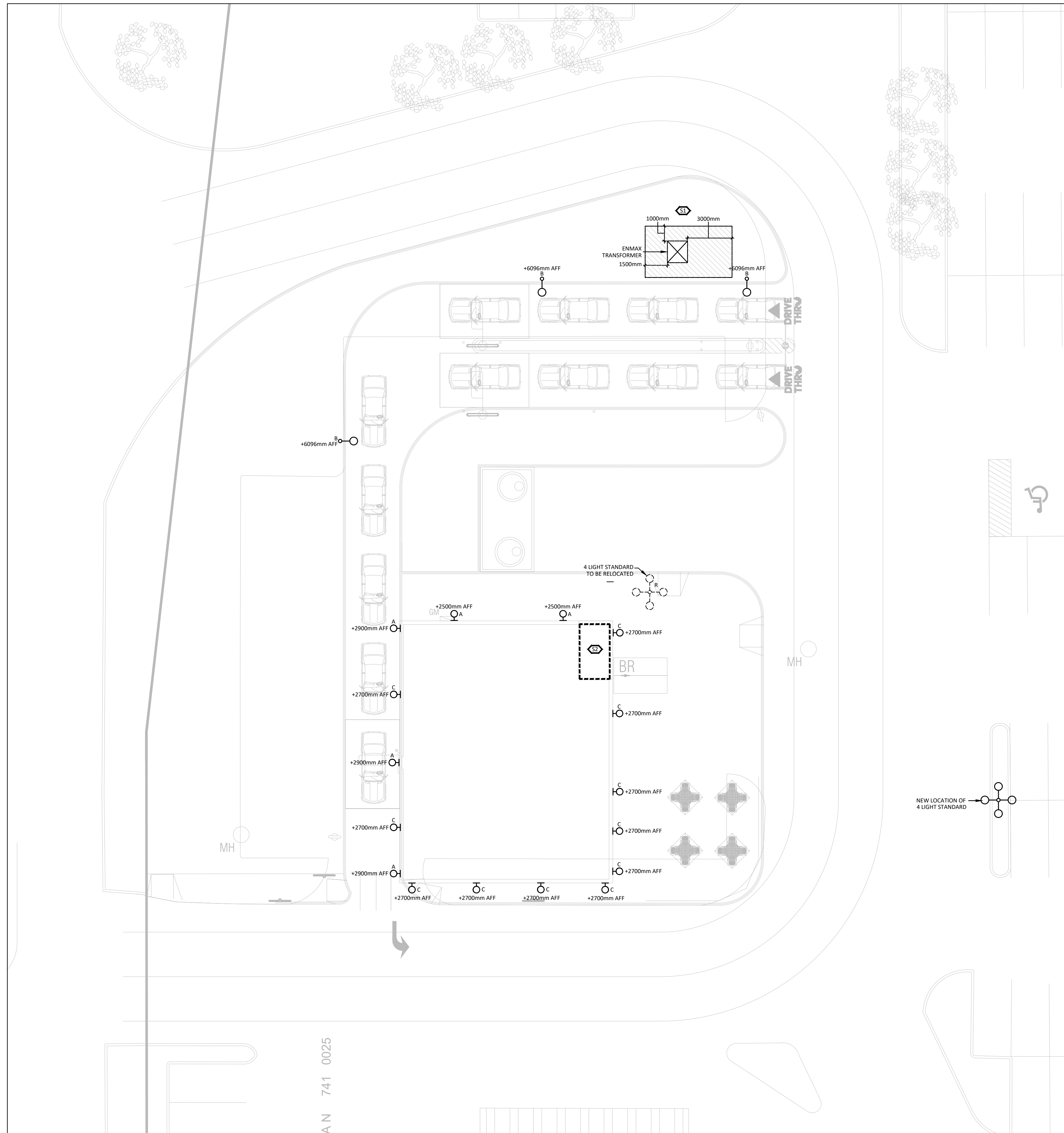
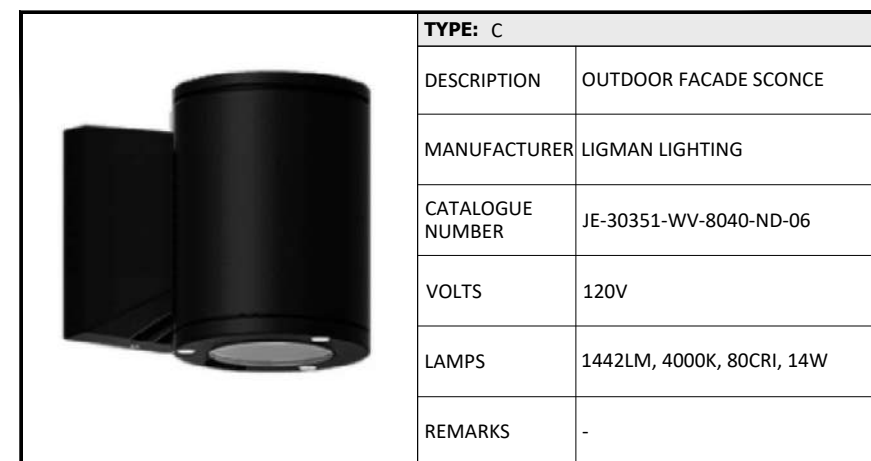
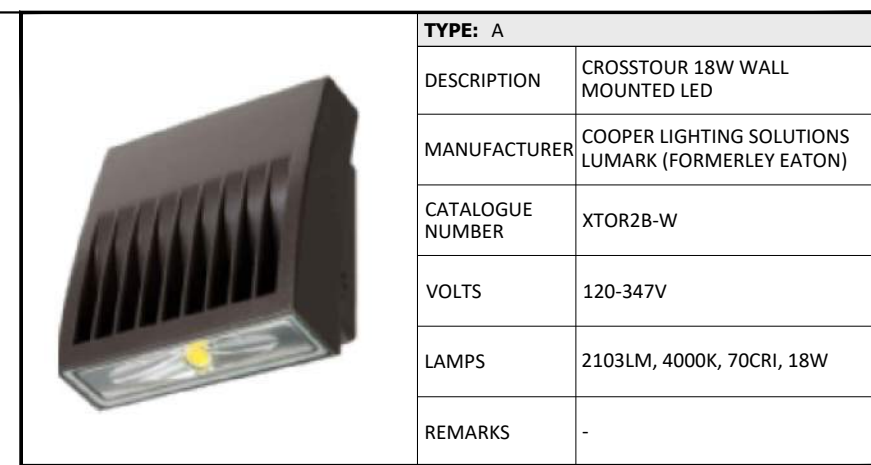
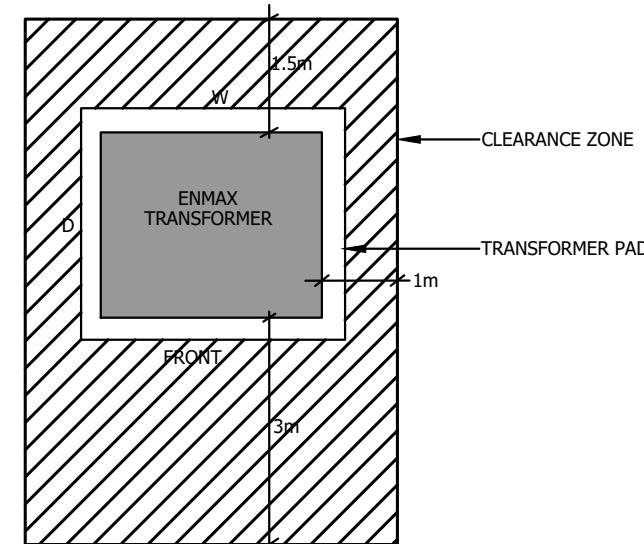
DRAWING:

EXTERIOR
PERSPECTIVES

DRAWN BY: Author	REVISION NUMBER: 2
SCALE:	DRAWING NUMBER: A3.1
JOB NUMBER: 25506	



3-Phase Padmount Transformers (Wye-Wye Configuration)								
Primary Voltage (kV)	Secondary Voltage (V)	Service Size (A)	Transformer Size (kVA)	Transformer Dimensions (m)	Bopad Dimensions (m)	Minimum Recommended Clearance Size (m)	Maximum Secondary Conductors per Phase	3-Phase Symmetrical RMS Short Circuit (A) (Secondary Side)
13.2	120/208, 3ø, 4W	≤ 600	150	1.49 W x 1.18 D x 1.19 H	1.6 W x 1.3 D		8	20,819
		601 - 1200	300	1.49 W x 1.36 D x 1.19 H	1.6 W x 1.3 D	3.8 W x 6.0 D	8	41,636
		1201 - 2000	450	1.49 W x 1.54 D x 1.19 H	1.6 W x 1.3 D	4.1 W x 6.3 D	8	47,770
		2001 - 3000	750	1.74 W x 1.41 D x 1.80 H	1.9 W x 1.6 D	4.1 W x 6.3 D	10	67,155
		≤ 200	150	1.49 W x 1.18 D x 1.22 H	1.6 W x 1.3 D		8	9,001
		201 - 600	300	1.49 W x 1.36 D x 1.19 H	1.6 W x 1.3 D	3.8 W x 6.0 D	8	18,943
	277/480, 3ø, 4W	601 - 800	300	1.49 W x 1.40 D x 1.43 H	1.6 W x 1.3 D		8	19,400
		801 - 1200	450	1.74 W x 1.45 D x 1.80 H	1.9 W x 1.6 D	4.1 W x 6.3 D	10	29,100
		1201 - 2000	750	1.74 W x 1.56 D x 1.80 H	1.9 W x 1.6 D		9	27,337
		≤ 200	150	1.49 W x 1.13 D x 1.19 H	1.6 W x 1.3 D		8	7,217
		201 - 400	300	1.49 W x 1.36 D x 1.19 H	1.6 W x 1.3 D	3.8 W x 6.0 D	8	14,434
		401 - 800	500	1.49 W x 1.54 D x 1.29 H	1.6 W x 1.3 D		8	15,520
347/600, 3ø, 4W	801 - 1200	750	1.74 W x 1.46 D x 1.80 H	1.9 W x 1.6 D		8	21,280	
	1201 - 1600	1000	1.74 W x 1.56 D x 1.80 H	1.9 W x 1.6 D	4.1 W x 6.3 D	8	21,869	
	1601 - 2000	1500	1.74 W x 1.73 D x 1.80 H	1.9 W x 1.6 D		8	26,868	
	601 - 800	300	1.49 W x 1.18 D x 1.19 H	1.6 W x 1.3 D		8	20,818	
	801 - 1200	300	1.49 W x 1.36 D x 1.19 H	1.6 W x 1.3 D	3.8 W x 6.0 D	8	41,636	
	1201 - 2000	500	1.49 W x 1.54 D x 1.39 H	1.6 W x 1.3 D		8	47,770	
24.9	277/480, 3ø, 4W	2001 - 3000	750	1.74 W x 1.41 D x 1.80 H	1.9 W x 1.6 D	4.1 W x 6.3 D	10	67,155
		≤ 600	300	1.49 W x 1.36 D x 1.22 H	1.6 W x 1.3 D		8	16,062
		601 - 800	300	1.49 W x 1.40 D x 1.39 H	1.6 W x 1.3 D	3.8 W x 6.0 D	8	19,400
		801 - 2000	1000	1.74 W x 1.60 D x 1.80 H	1.9 W x 1.6 D	4.1 W x 6.3 D	8	27,337
		≤ 400	300	1.49 W x 1.36 D x 1.19 H	1.6 W x 1.3 D		8	14,434
		401 - 800	500	1.49 W x 1.54 D x 1.39 H	1.6 W x 1.3 D	3.8 W x 6.0 D	8	15,520
	347/600, 3ø, 4W	801 - 1200	750	1.74 W x 1.46 D x 1.80 H	1.9 W x 1.6 D		8	21,280
		1201 - 1600	1000	1.74 W x 1.56 D x 1.80 H	1.9 W x 1.6 D	4.1 W x 6.3 D	8	21,869
		1601 - 2000	1500	1.74 W x 1.66 D x 1.83 H	1.9 W x 1.6 D		8	26,868



SITE PLAN KEYNOTES:

S1 PROPOSED LOCATION OF ENMAX UTILITY TRANSFORMER.

S2 PROPOSED LOCATION OF ELECTRICAL ROOM.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

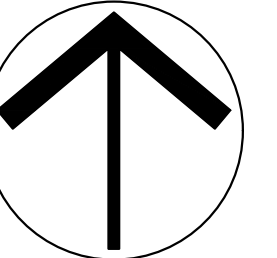
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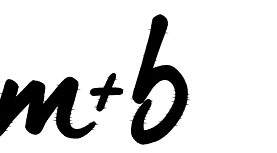
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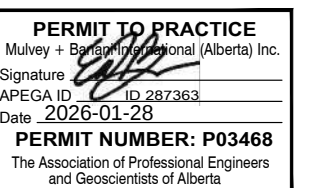


electrical consulting engineers

2300, 715 - 5th Avenue S.W. Calgary AB T2P 2X6
P: +403.262.7400 www.mbg.ca

3	RE-ISSUED FOR DEVELOPMENT PERMIT	2026.01.28
2	ISSUED FOR DEVELOPMENT PERMIT	2025.12.08
1	ISSUED FOR COORDINATION	2025.12.04
REV	DESCRIPTION	DATE

CLIENT:



PROJECT:

TRANSCANADA DP

TransCanada Centre
440 52nd St. N.E.
Calgary, AB

DRAWING:

SITE LIGHTING PLAN

DRAWN BY:
C.C.

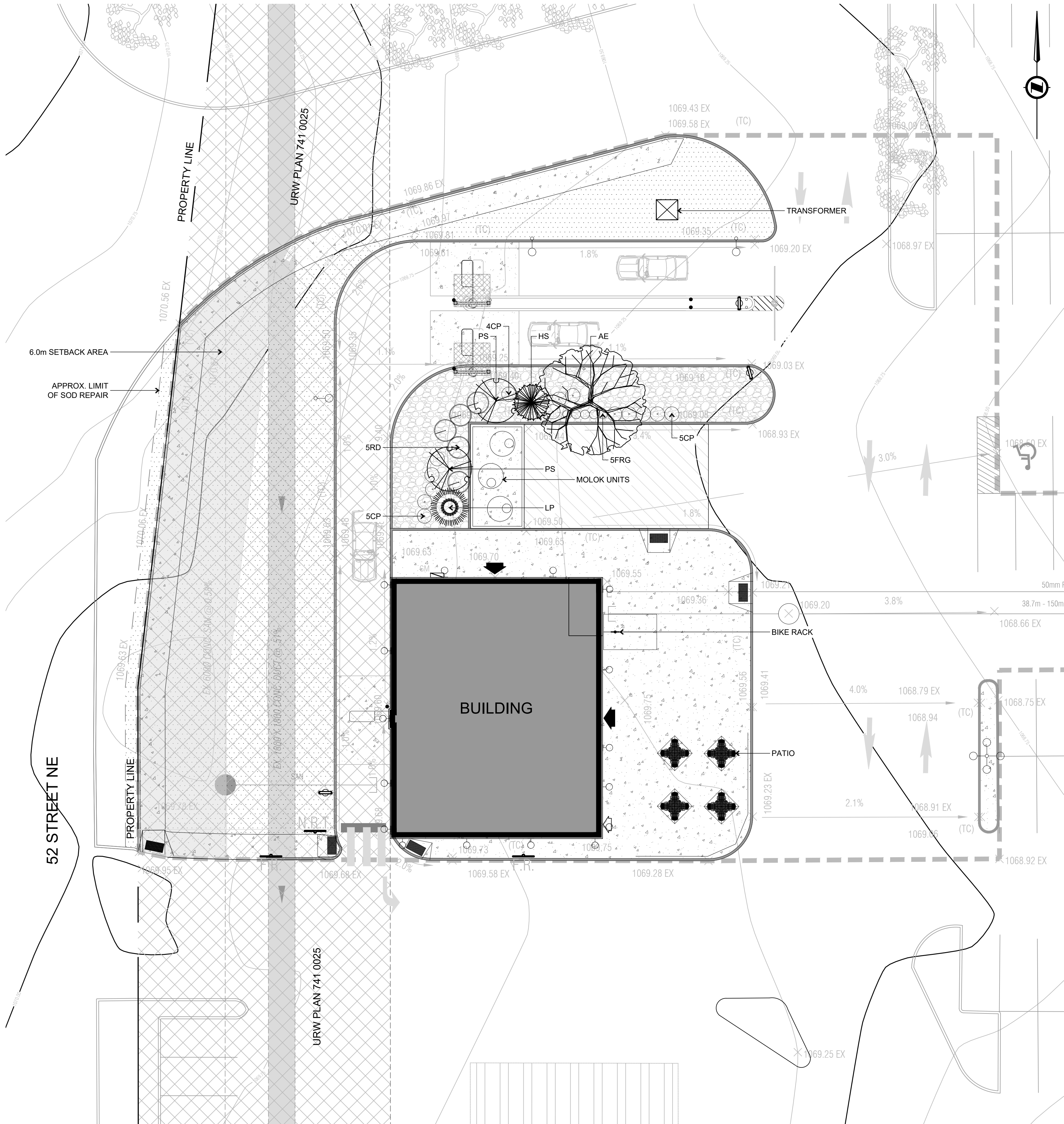
REVISION NUMBER:

SCALE:
AS NOTED

DRAWING NUMBER:

JOB NUMBER:
2025-0409

E1-01



PLAN VIEW

STATISTICS

SETBACK AREA: ± 234.74m2

TREES REQUIRED:

1 TREE PER 50m2 LANDSCAPED AREA: $\frac{234.74m^2}{50m^2} = 5$ TREES

(25% OF ALL TREES MUST BE CONIFEROUS)

DECIDUOUS TREE: 3

CONIFEROUS TREE: 2

SHRUBS REQUIRED:

2 SHRUB PER 50m2 LANDSCAPED AREA: $\frac{234.74m^2}{50m^2} = 10$ SHRUBS

ACTUAL TREES PROVIDED: 5

DECIDUOUS TREES: 3

CONIFEROUS TREES: 2

75mm CAL. = 1

50mm CAL. = 2

3.0m HT. = 1

2.0m HT. = 1

ACTUAL SHRUBS PROVIDED: 19

NOTE: SETBACK AREA IS WITHIN A UTILITY RIGHT-OF-WAY. THEREFORE THE REQUIRED PLANT MATERIAL HAS BEEN RELOCATED WITHIN THE LIMITS OF CONSTRUCTION.

PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QTY	REMARKS
TREES						
PS	PINK SPIRE	MALUS x 'PINK SPIRE'	50mm CAL.	AS SHOWN	2	B & B
AE	FLOWERING CRAB	ULMUS AMERICANA	75mm CAL.	AS SHOWN	1	B & B
HS	AMERICAN ELM	PICEA PUNGENS 'HOOPSII'	2.0m HT.	AS SHOWN	1	B & B
LP	HOOPSII SPURCE	PINUS CONTORTA 'LATIFOLIA'	3.0m HT.	AS SHOWN	1	B & B
SHRUBS						
RD	RED OSIER DOGWOOD	CORNUS SERICEA	600mm HT.	1500mm O.C.	5	CONTAINER
CP	CORONATION TRIUMPH POTENTILLA	POTENTILLA FRUTICOSA 'CORONATION TRIUMPH'	600mm HT.	900mm O.C.	14	CONTAINER
ORNAMENTAL GRASSES						
FRG	AVALANCHE VARIEGATED FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'AVALANCHE'	2 GAL POT	600mm O.C.	5	CONTAINER

LEGEND

	LIMIT OF CONSTRUCTION		SOD
	HARD SURFACE - TYPE 1		RUNDLE ROCK SURFACE TREATMENT; TO MATCH EX. SITE

GENERAL NOTES:

- CONTRACTOR TO ENSURE THE LOCATION OF ALL UNDERGROUND UTILITIES ARE MARKED PRIOR TO CONSTRUCTION START - CALL 'ALBERTA 1-CALL' AT 1-800-242-3447.
- ALL UTILITIES MUST BE INSTALLED PRIOR TO PLANTING.
- ALL CONIFEROUS TREES & SHRUB MATERIALS TO BE GROUPED IN MULCHED BEDS.
- ALL SHRUBS SHALL BE A MINIMUM HEIGHT OR SPREAD OF 600mm AT TIME OF PLANTING (TYP).
- ANY TREES OR SHRUBS WHICH DIE SHALL BE REPLACED ON A CONTINUING BASIS w/ TREES OR SHRUBS OF COMPARABLE SPECIES & SIZE TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- WARRANTY WILL BE EXTENDED FOR 1 YEAR FOR ALL TREES REPLACED IN FALL.
- ALL PLANTING BEDS TO BE SMOOTH FLOWING w/ NO UNSIGHTLY BUMPS OR PITCHES.
- ALL TURF AREAS TO BE SOD INSTALLED ON 150mm DEPTH TOPSOIL.
- ALL PROJECT EDGES TO BLEND SMOOTHLY w/ EXISTING ADJACENT PROPERTIES.
- ALL AREAS OF SOFT LANDSCAPING, EXCEPT EXISTING ESTABLISHED TREES & AREAS WITH NATURALIZED GRASS SEED, WILL BE PROVIDED WITH A LOW-WATER IRRIGATION SYSTEM. (LOW-WATER IRRIGATION SYSTEM TO WATER ONLY TREES, SHRUBS & PERENNIALS/ORNAMENTAL GRASSES).
- ANY SOD DAMAGE THAT IS REPAIRED IN AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM WILL BE HAND WATERED DURING ESTABLISHMENT TO ENSURE PROPER GROWTH.
- CONTRACTOR IS TO REPAIR ANY DAMAGE THAT OCCURS ON ADJACENT LANDS DURING CONSTRUCTION OF THIS SITE.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SITE UNTIL SUCH TIME AS FINAL ACCEPTANCE IS GRANTED BY LANDSCAPE CONSULTANT (min. 1 growing seasons).

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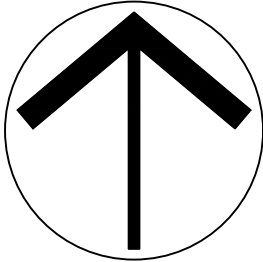
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Cambridge, Ontario N3H 3M4
T: (519) 896-1010 ext.100



ISSUED FOR DP SUBMISSION 2026.01.28

REV.	DESCRIPTION	DATE
	REVISION	
	ISSUED	
	APPROVAL	

CLIENT:



PROJECT:

TRANSCANADA DP

TransCanada Centre
1440 52nd N.E.
Calgary, AB

DRAWING:

LANDSCAPE
PLAN

DRAWN: SN	REVISION NUMBER: -
SCALE: 1:150	DRAWING NUMBER: L1.01
JOB NUMBER: 5	