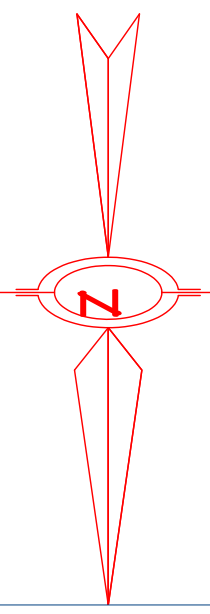


SITE PLAN

1:100 scale



Site Information

Legal Description: Lot 1&2 Block 39, Plan 5661 O

Municipal Address: #2601 27th Street SW, Calgary, AB

Land Use: R-CG Residential - Grade-Oriented Infill

Site Area: 15.24m x 38.13m = 581.101 m²

Main Building: 268.52 m²

4 car garage: 77.11 m²

Total: 345.63 m²

COVERAGE: 345.63 m² / 579.42 m² X 100% = 59.65%

Building Gross Floor Area (GFA):
Main Floor 260.72 m² + Upper Floor 298.85 m² = 559.57 m²

Floor Area Ratio (FAR): 559.57 m² / 579.42 m² = 0.97

Area of residential amenity space (private):
12.5+12.32+12.32+12.5 = 49.64 m²

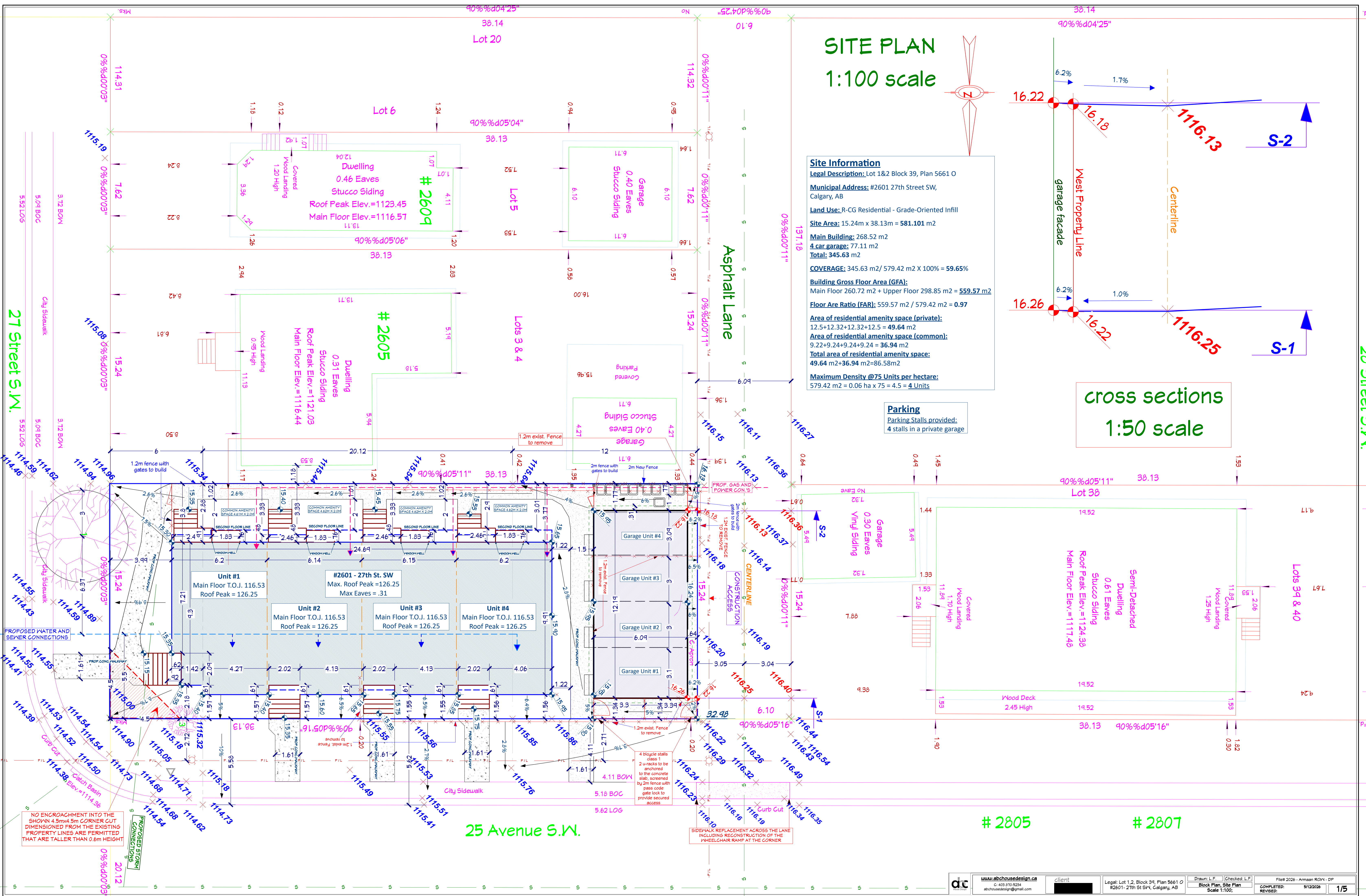
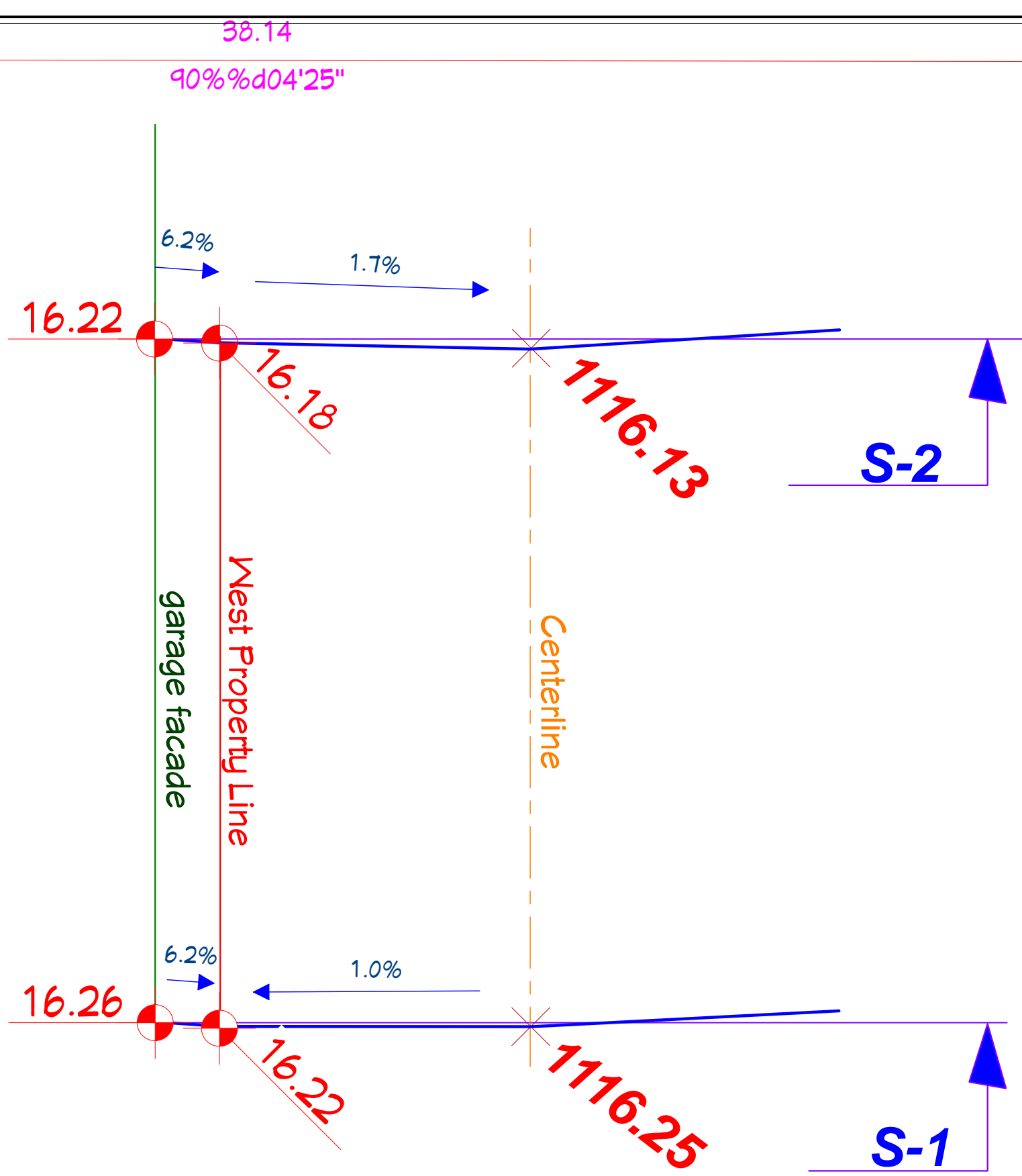
Area of residential amenity space (common):
9.22+9.24+9.24+9.24 = 36.94 m²

Total area of residential amenity space:
49.64 m²+36.94 m²=86.58m²

Maximum Density @75 Units per hectare:
579.42 m² = 0.06 ha x 75 = 4.5 = 4 Units

Parking
Parking Stalls provided:
4 stalls in a private garage

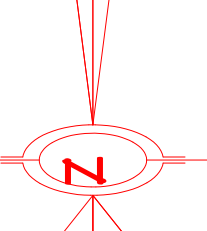
cross sections
1:50 scale



NO ENCROACHMENT INTO THE SHOWN 4.5m x 4.5m CORNER CUT DIMENSIONED FROM THE EXISTING PROPERTY LINES ARE PERMITTED THAT ARE TALLER THAN 0.6m HEIGHT

LANDSCAPING & TREE PROTECTION PLAN

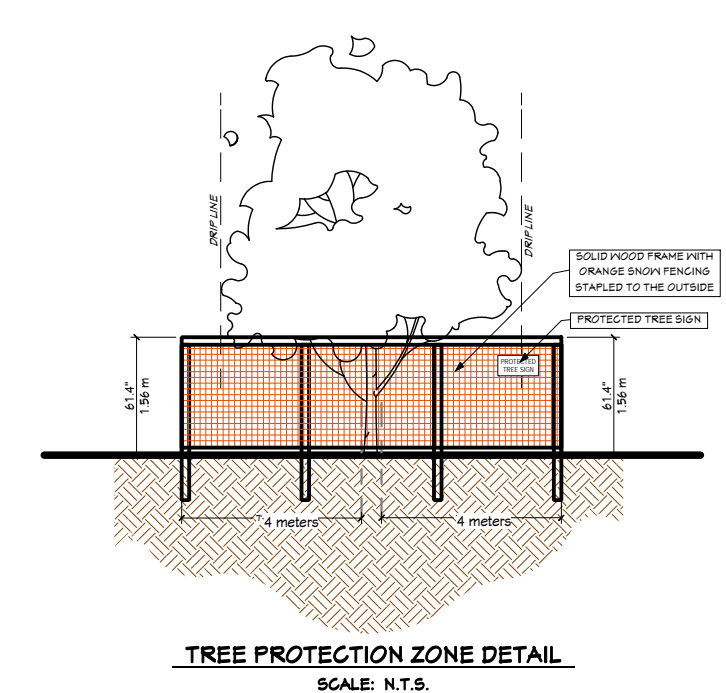
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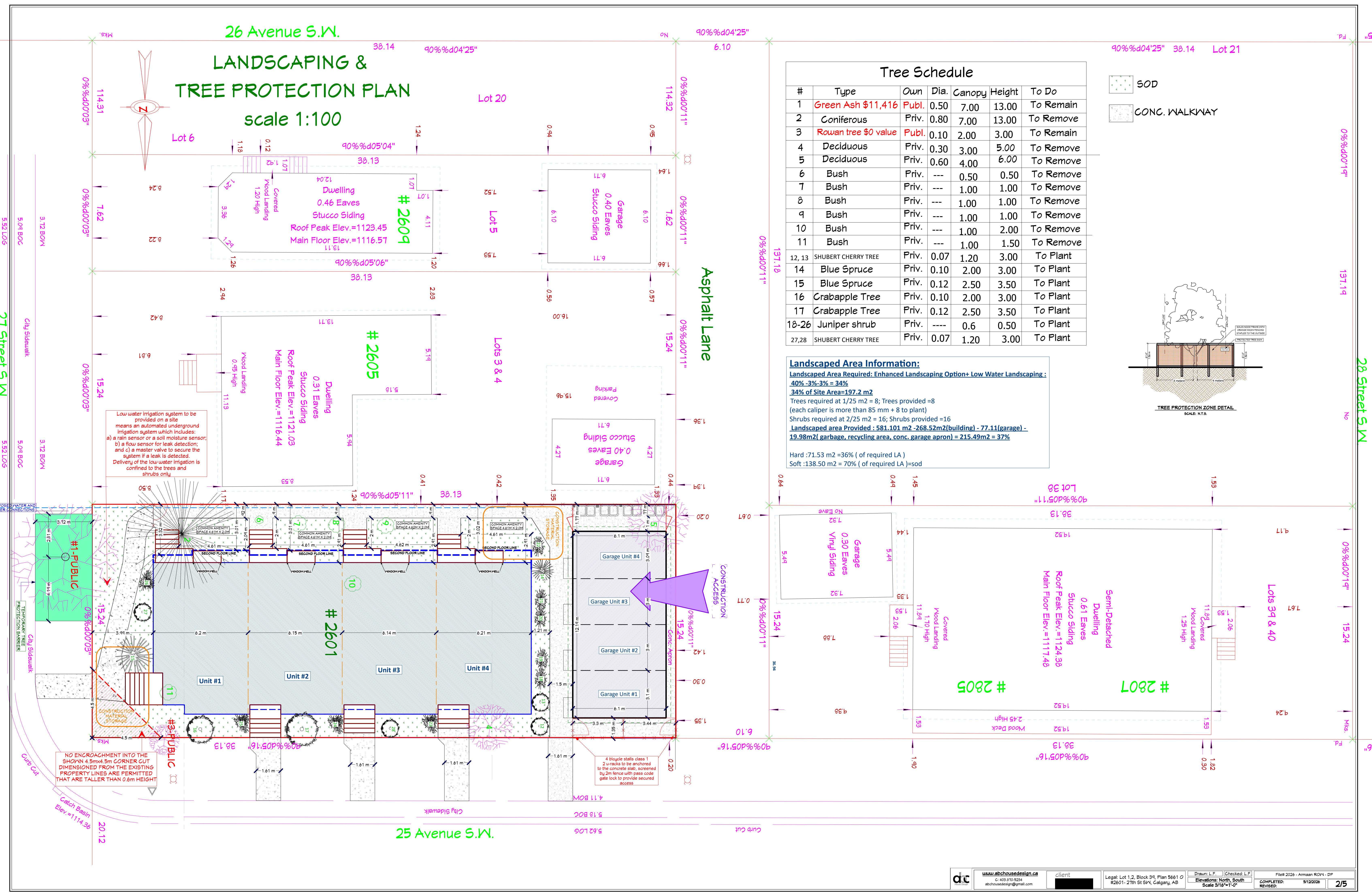
Tree Schedule

#	Type	Own	Dia.	Canopy	Height	To Do
1	Green Ash \$11,416	Publ.	0.50	7.00	13.00	To Remain
2	Coniferous	Priv.	0.80	7.00	13.00	To Remove
3	Rowan tree \$0 value	Publ.	0.10	2.00	3.00	To Remain
4	Deciduous	Priv.	0.30	3.00	5.00	To Remove
5	Deciduous	Priv.	0.60	4.00	6.00	To Remove
6	Bush	Priv.	---	0.50	0.50	To Remove
7	Bush	Priv.	---	1.00	1.00	To Remove
8	Bush	Priv.	---	1.00	1.00	To Remove
9	Bush	Priv.	---	1.00	1.00	To Remove
10	Bush	Priv.	---	1.00	2.00	To Remove
11	Bush	Priv.	---	1.00	1.50	To Remove
12,13	SHUBERT CHERRY TREE	Priv.	0.07	1.20	3.00	To Plant
14	Blue Spruce	Priv.	0.10	2.00	3.00	To Plant
15	Blue Spruce	Priv.	0.12	2.50	3.50	To Plant
16	Crabapple Tree	Priv.	0.10	2.00	3.00	To Plant
17	Crabapple Tree	Priv.	0.12	2.50	3.50	To Plant
18-26	Juniper shrub	Priv.	----	0.6	0.50	To Plant
27,28	SHUBERT CHERRY TREE	Priv.	0.07	1.20	3.00	To Plant

- SOD
- CONC. WALKWAY



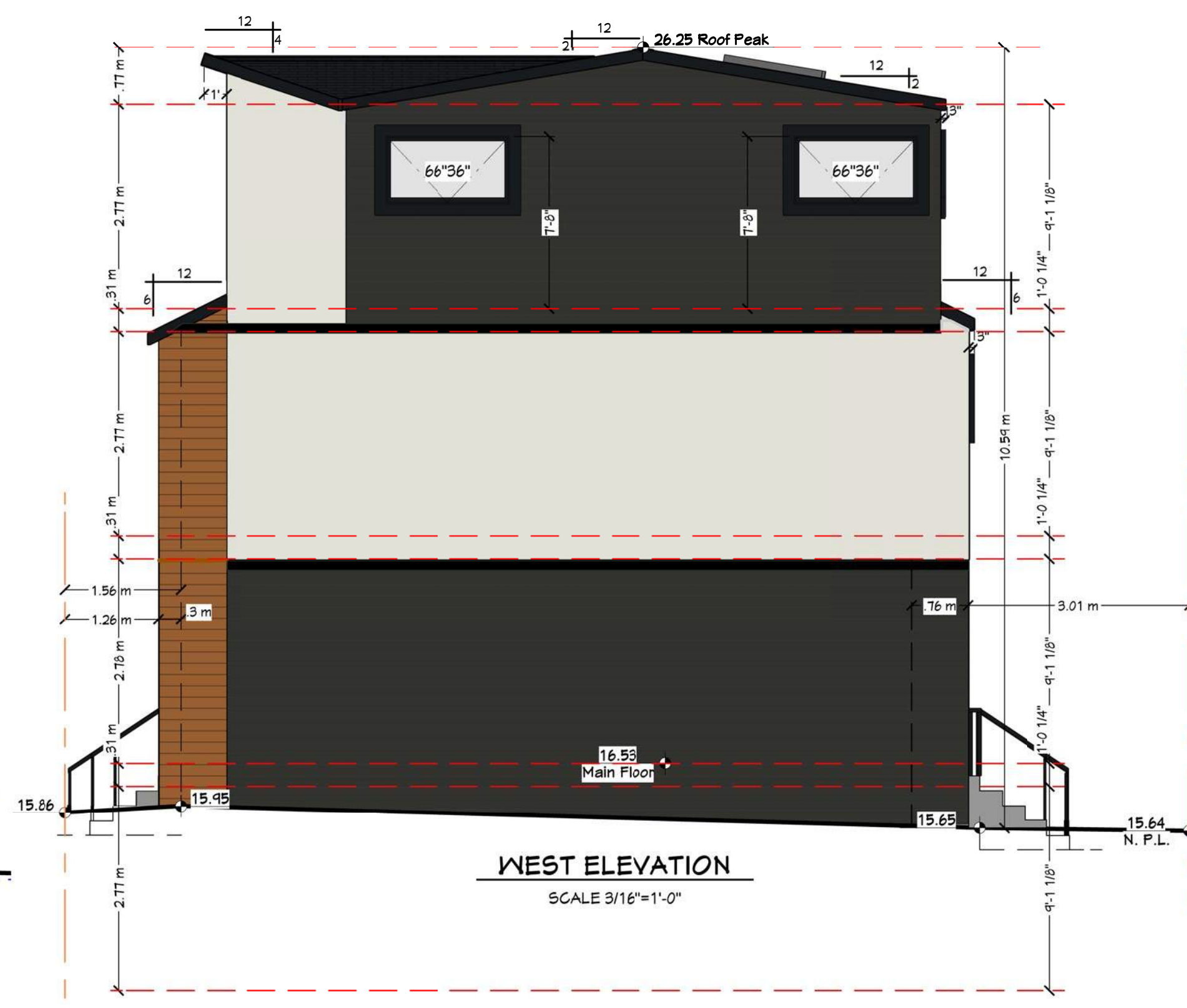
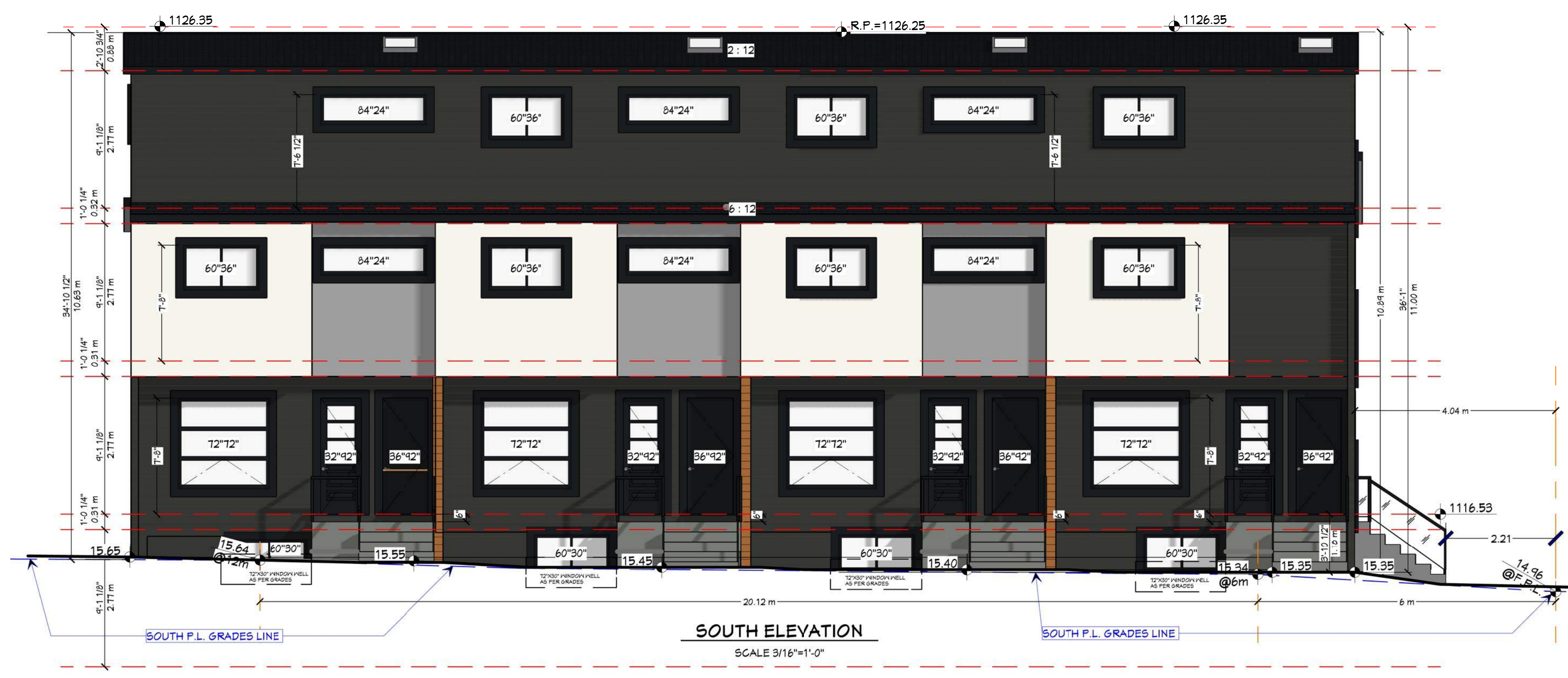
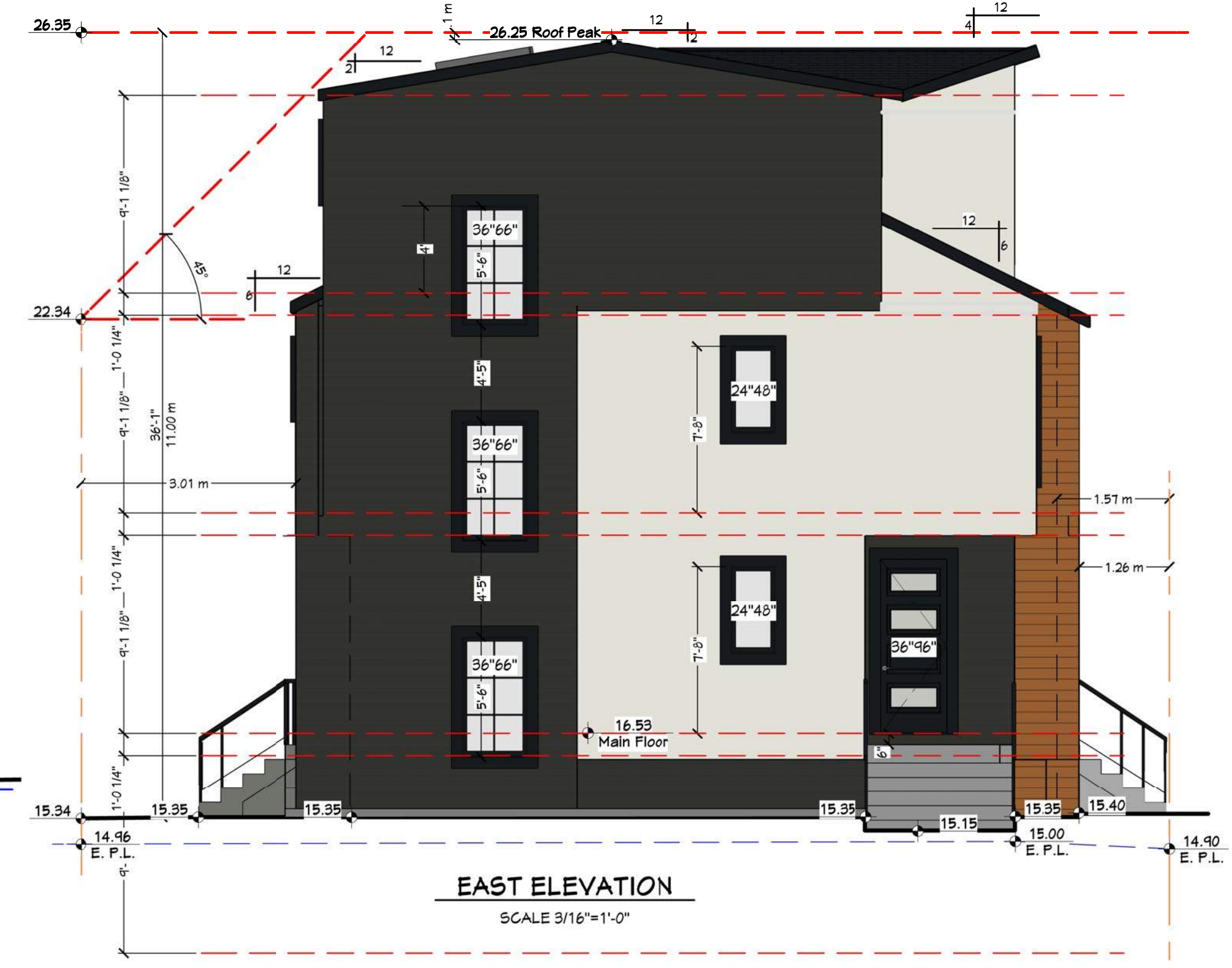
Landscaped Area Information:
 Landscaped Area Required: Enhanced Landscaping Option+ Low Water Landscaping :
 40% -3%-3% = 34%
 34% of Site Area=197.2 m²
 Trees required at 1/25 m² = 8; Trees provided =8
 (each caliper is more than 85 mm + 8 to plant)
 Shrubs required at 2/25 m² = 16; Shrubs provided =16
 Landscaped area Provided : 581.101 m² -268.52m²(building) - 77.11(garage) -
 19.98m²(garbage, recycling area, conc. garage apron) = 215.49m² = 37%
 Hard :71.53 m² =36% (of required LA)
 Soft :138.50 m² = 70% (of required LA)=sod

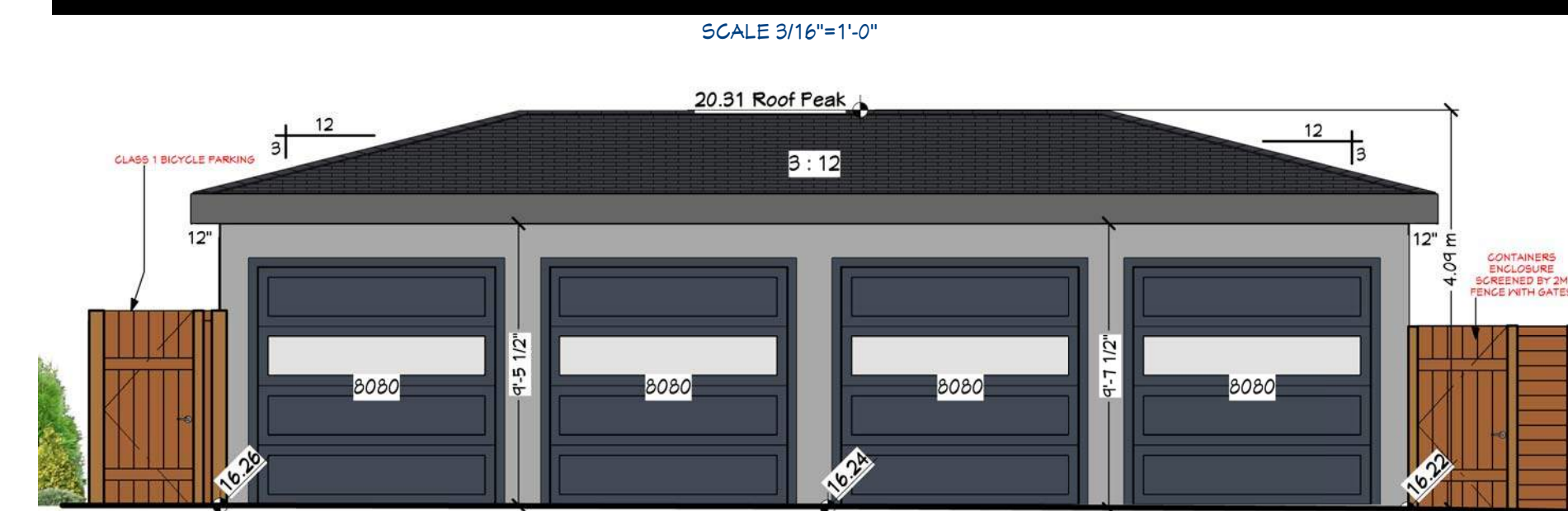
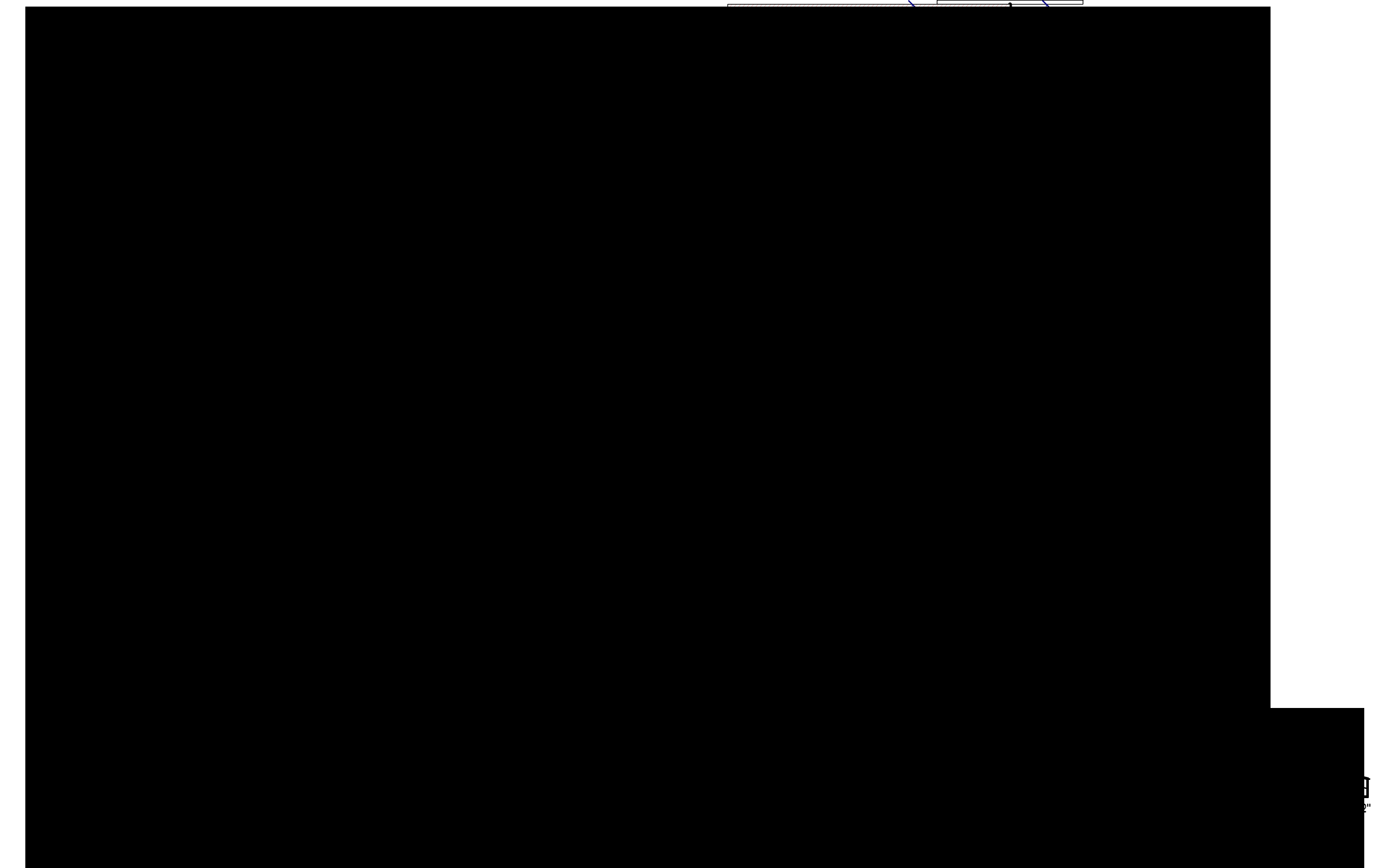


Low water irrigation system to be provided on a site means an automated underground irrigation system which includes:
 a) a rain sensor or a soil moisture sensor;
 b) a flow sensor for leak detection;
 and c) a master valve to secure the system if a leak is detected.
 Delivery of the low water irrigation is confined to the trees and shrubs only.

4 bicycle stalls class 1
 2 u-racks to be anchored to the concrete slab, screened by 2m fence with pass code gate lock to provide secured access

NO ENCROACHMENT INTO THE SHOWN 4.5m x 5m CORNER CUT DIMENSIONED FROM THE EXISTING PROPERTY LINES ARE PERMITTED THAT ARE TALLER THAN 0.6m HEIGHT

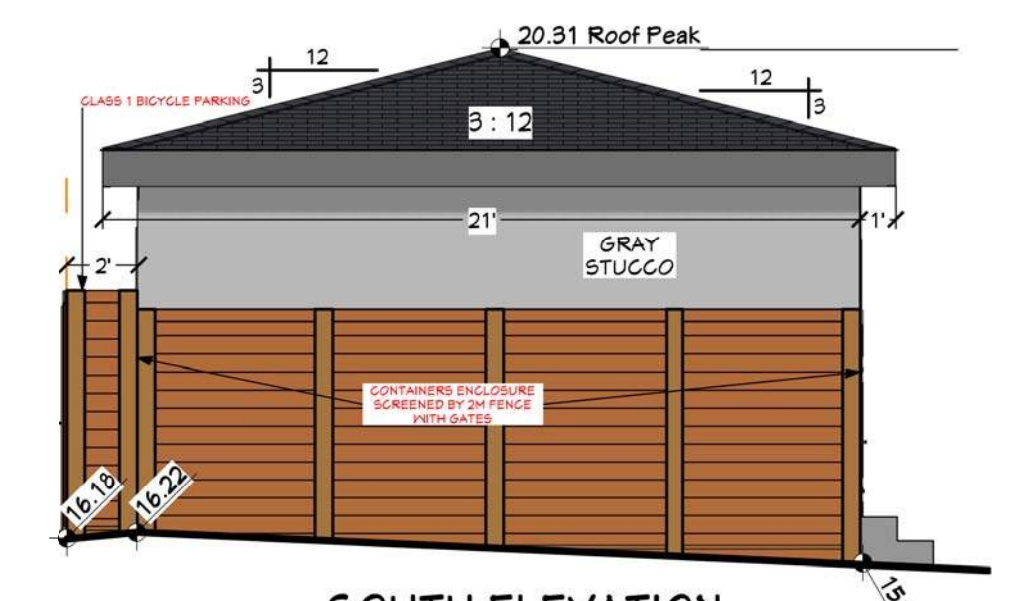




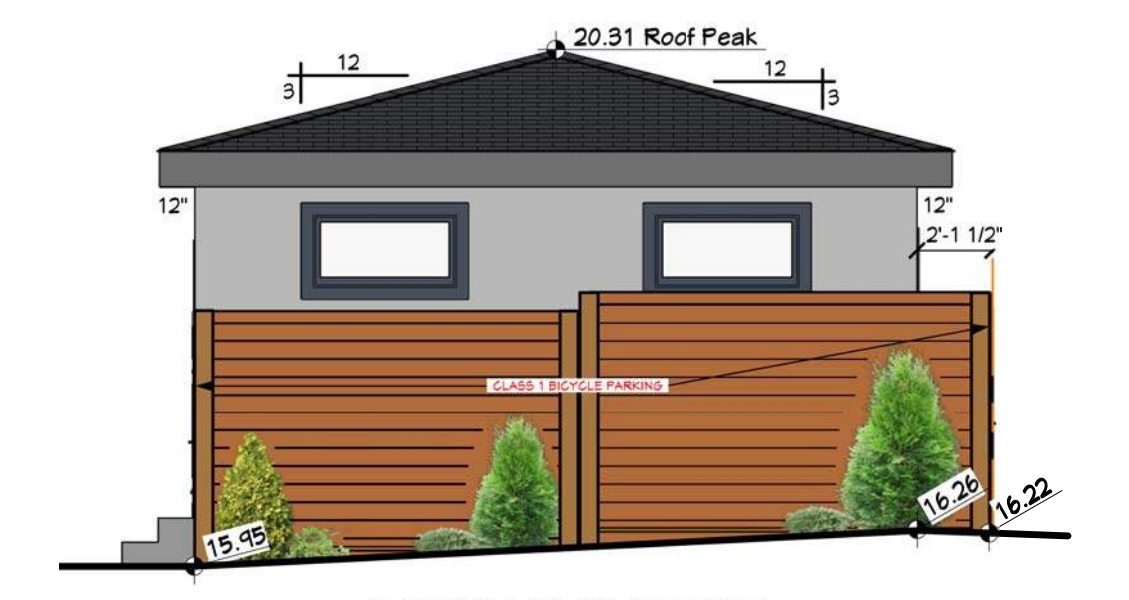
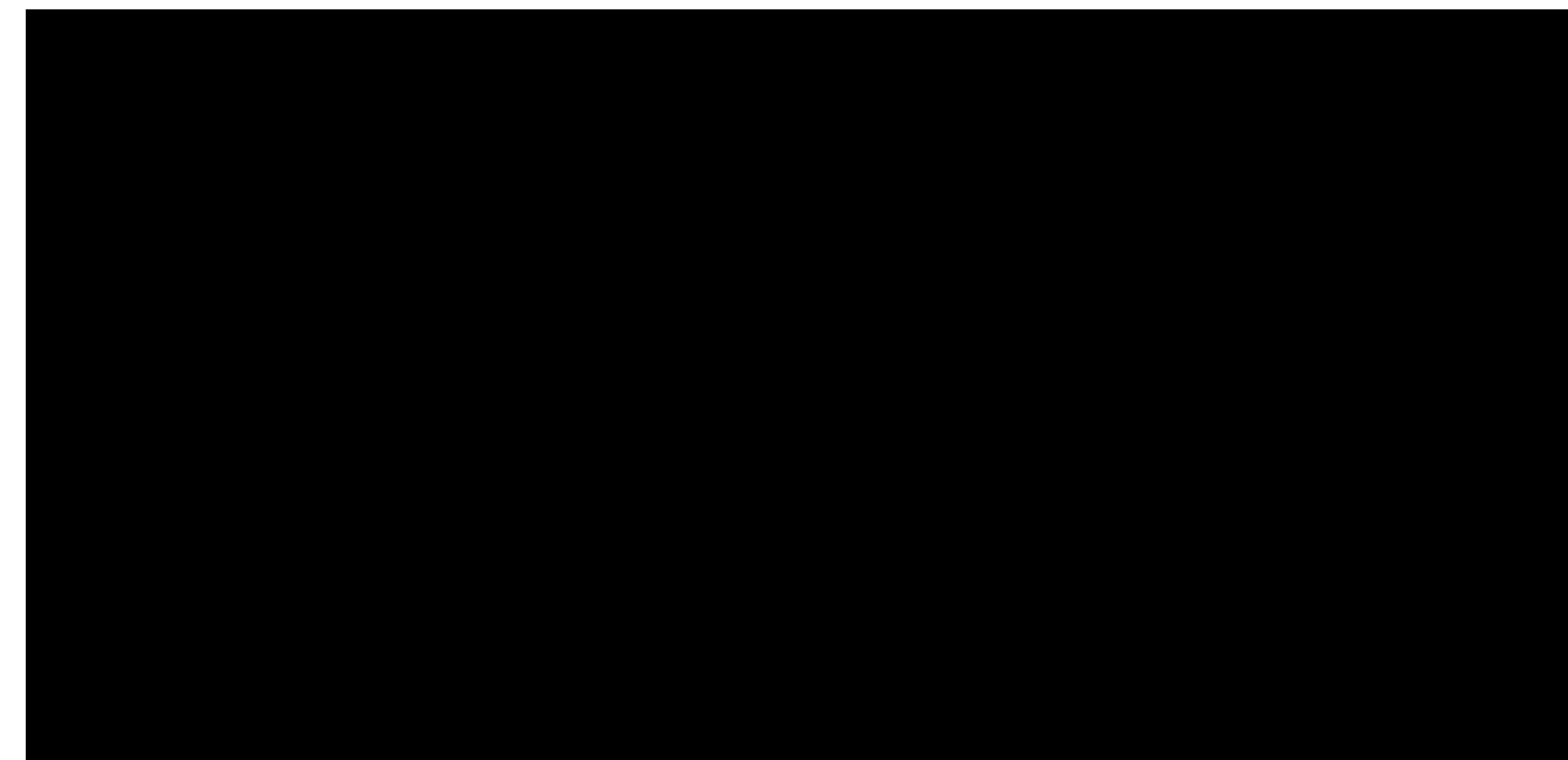
WEST ELEVATION
SCALE 3/16"=1'-0"



EAST ELEVATION
SCALE 3/16"=1'-0"



SOUTH ELEVATION
SCALE 3/16"=1'-0"



NORTH ELEVATION
SCALE 3/16"=1'-0"