

PROJECT INFORMATION

Drawing List



Email: rob@sevendaypermits.ca
Web: www.sevendaypermits.ca

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• FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC.
• SCREW PILES: TORQUE REPORT
• SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS
CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

GENERAL CONTRACTOR



ENGINEER

1130 LANSDOWNE AV SW
CALGARY, AB

ATTACHED PERGOLA

2026-01-23 7:13:46 PM

Cover Sheet

Project : 2025-518

Scale:

Drawn By: RFC

A0.0

LEGAL ADDRESS:

PLAN: 4078U
BLOCK: E
LOT: 25&26

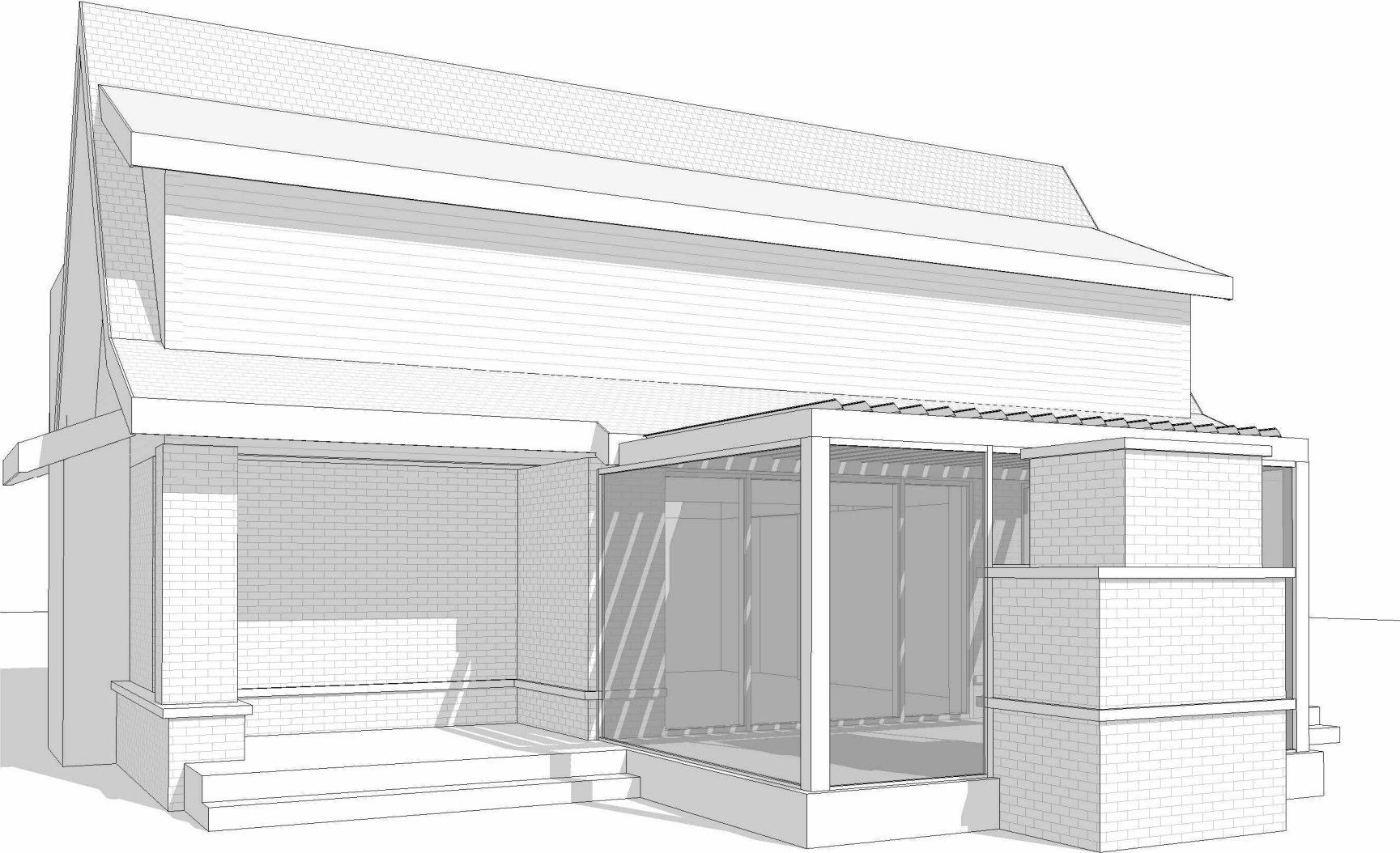
PROPERTY INFORMATION:

LAND-USE DISTRICT = R-CG
YEAR OF CONSTRUCTION = 2013
WALK-OUT = ☐ YES / ☒ NO
FLOOD FRINGE = ☐ YES / ☒ NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = ☐ YES / ☒ NO / ☐ (N/A)
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = ☐ YES / ☒ NO
LANLESS LOT = ☐ YES / ☒ NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = ☐ YES / ☒ NO / ☐ (N/A) / ☐ NEED TO VERIFY
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

DRAWINGS ARE NOT TO BE SCALED.
ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE AND ALL LOCAL BUILDING ORDINANCES.
BUILDER SHALL BE RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND INFORMATION ON DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING =
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES =
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT =
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) =
*IF YES: SHOW ON SITE W/ GEODETICS



- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 General Notes
- A1.0 Site Plan
- A2.0 Main Floor Plan
- A2.1 Basement Floor Plan
- A2.2 Second Floor Plan
- A2.3 Roof Plan
- A2.4 Front Elevation
- A2.5 Left Elevation
- A2.6 Right Elevation
- A2.7 Rear Elevation
- A2.8 Section
- A3.0 T/O Deck
- A3.1 Roof Plan
- A4.0 Elevations
- A5.0 Sections
- SOD1.0 Details
- SOD1.1 Details
- SOD1.2 Details
- SOD1.3 Details
- SOD1.4 Details
- SOD1.5 Details

PROJECT SCOPE

- ATTACHED PERGOLA
- -
- -

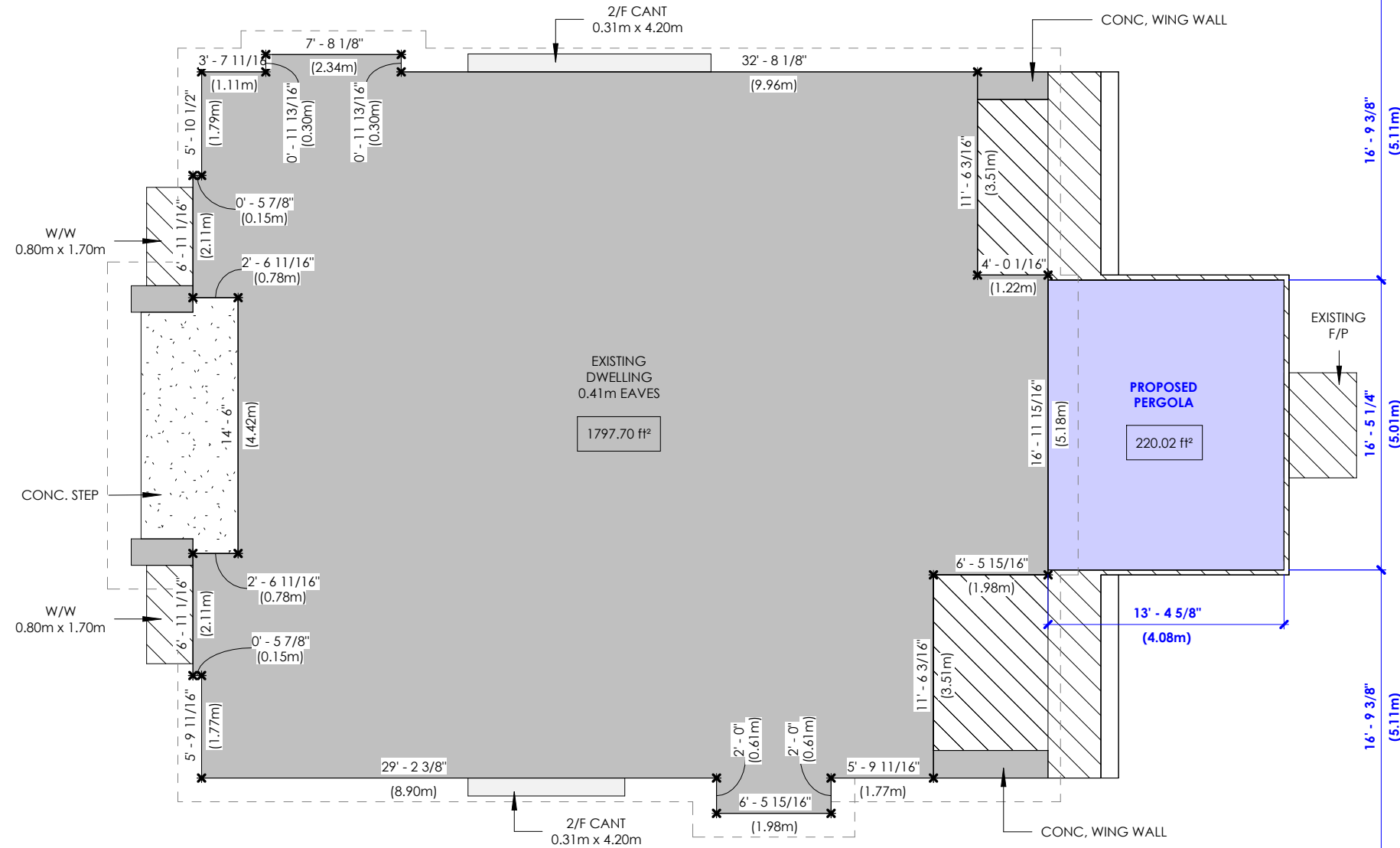
RELAXATIONS

- PARCEL COVERAGE
- -
- -

SITE PLAN HATCH			LINE STYLES		TEXT STYLES	
EXISTING STRUCTURES CANTILEVER (MAIN) CANTILEVER (2nd) EXISTING DECK EXISTING BALCONY EXISTING PORCH DRIVEWAY / SIDEWALK PROPOSED (PRIMARY) PROPOSED (SECONDARY) PROPOSED NEW OPENING			PROPERTY LINE SITE SETBACKS EAVES ELECTRICAL PLAN BEAM FURNITURE DEMO ROW'S REVISIONS PROJECT SCOPE		TYPICAL NOTES NEW CHANGES STRUCTURAL NOTES P.ENG COMMENTS DEMOLITION NOTES ELEVATION CALLOUT ROOM DESIGNATION EXISTING GEO PROPOSED GEO EXISTING / AS-BUILT NOTES	
CONSTRUCTION NOTES: 1. HANDRAILS AND RAILINGS SHALL BE PROVIDED ON ALL STAIRS AS PER ABC 9.7.8 2. HANDRAILS AND GUARDS SHALL CONFORM TO ABC 9.8.7 & ABC 9.8.8 3. FLASHING, INTERIOR DAMPPROOFING & VAPOR JUNCTIONS AS PER ABC 9.20.13 4. PROVIDE INTERIOR DAMPPROOFING & VAPOR BARRIER AS PER ABC 9.13.3.3 & ABC 9.13.1.3 5. ALL EXTERIOR FLASHING SHALL CONFORM TO ABC 9.3.3.2 & ABC 9.27.3 6. ALL EXTERIOR CAULKING SHALL CONFORM TO ABC 9.27.4.1 & ABC 9.27.4.2 7. EAVE PROTECTION SHALL CONFORM TO ABC 9.26.5.2 8. JOINTS IN SHEATHING SHALL CONFORM TO ABC9.23.16.5 9. EXTERIOR WALL SHEATHING MEMBRANE & APPLICATION SHALL CONFORM TO ABC 9.23.17.3 10. STUCCO LATH AND FASTENERS SHALL CONFORM TO ABC 9.28.3 & ABC 9.28.4 11. ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED 12. ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED. 13. ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER. 14. PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED 15. ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED 16. CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED 17. EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK 18. ALL BUTT CONNECTIONS SHALL BE WITH HANGERS 19. ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL OR GRAVEL BASE 20. ENGINEERED ROOF TRUSSES AND FLOOR SYSTEMS TO BE INSTALLED AS PER DRAWINGS PROVIDED BY MANUF. 21. WHERE STEP FOOTING OCCUR THE VERTICAL DIMENSION OF EACH STEP SHALL NOT EXCEED 24" AND THE MIN. HORIZONTAL DIMENSION OF EACH STEP SHALL NOT EXCEED 24".			CALLOUT LEGEND W1 CONCRETE WALL ASSEMBLY W2 EXTERIOR WALL ASSEMBLY W3 INTERIOR WALL ASSEMBLY W4 DETACHED GARAGE ASSEMBLY F1 CONCRETE FLOOR ASSEMBLY F2 ENGINEERED FLOOR ASSEMBLY F3 BALCONY FLOOR ASSEMBLY F4 DIMENSIONAL FLOOR ASSEMBLY F5 SUITE FLOOR ASSEMBLY R1 ENGINEERED ROOF ASSEMBLY R2 ENGINEERED FLAT-ROOF ASSEMBLY R3 DIMENSIONAL FLAT-ROOF ASSEMBLY R4 ROOF ASSEMBLY (NON 9.36)		DIMENSION STYLES 0' - 2" INTERIOR (EXISTING) 0' - 2" INTERIOR (PROPOSED) 0.17 ft (2) AS-BUILT MEASUREMENTS 0' - 2" STRUCTURE 0' - 2" DEMOLITION 0' - 2" (0.05m) SITE (EXISTING) 0' - 2" (0.05m) SITE (PROPOSED) 0' - 2" (0.05m) SITE (SPATIAL SEPARATION) 0' - 2" (0.05m) SITE (BYLAW)	
NOTE: ARCHITECTURAL PLANS INCLUDE COLOR SPECIFIC NOTES/LEGENDS/HATCHS PLANS MUST BE PLOTTED IN COLOR			ENGINEER SUITE OUTDOORS Outdoor Living Experts		1130 LANSDOWNE AV SW CALGARY, AB ATTACHED PERGOLA 2026-01-23 7:13:47 PM	
SEVEN DAY PERMITS 7 DRAFTING + DESIGN + PERMITS EMAIL: ROB@SEVENDAYPERMITS.CA WEB: WWW.SEVENDAYPERMITS.CA THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE DESIGNER. IT MAY NOT BE REPRODUCED WITHOUT THE DESIGNERS PERMISSION, NOR WITHOUT THE DESIGNERS NAME ON THE REPRODUCTION IN WHOLE OR IN PART. ALL WORK SHALL BE DONE IN ACCORDANCE WITH AND GOVERNED BY ALL CURRENT NATIONAL, PROVINCIAL AND LOCAL CODES AND REGULATIONS. BUILDER OR OWNER IS RESPONSIBLE FOR CONTACTING DESIGNER PRIOR TO CONSTRUCTION IF THERE ARE DISCREPANCIES ON PLANS. THIS DRAWING IS INVALID UNLESS CLEARLY INDICATED EITHER 'FOR BP SUBMISSION' OR 'FOR DP SUBMISSION' IF P.ENG IS REQUIRED: BUILDER/OWNER TO SEND PHOTOS OF ANY APPLICABLE ENGINEERED SCOPE: INCLUDING (BUT NOT LIMITED TO): • CONCRETE: REBAR + FORM WORK PRIOR TO POUR • FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC. • SCREW PILES: TORQUE REPORT • SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.			Drawing Legends Project : 2025-518 Scale: 3/16" = 1'-0" Drawn By: RFC A0.1			

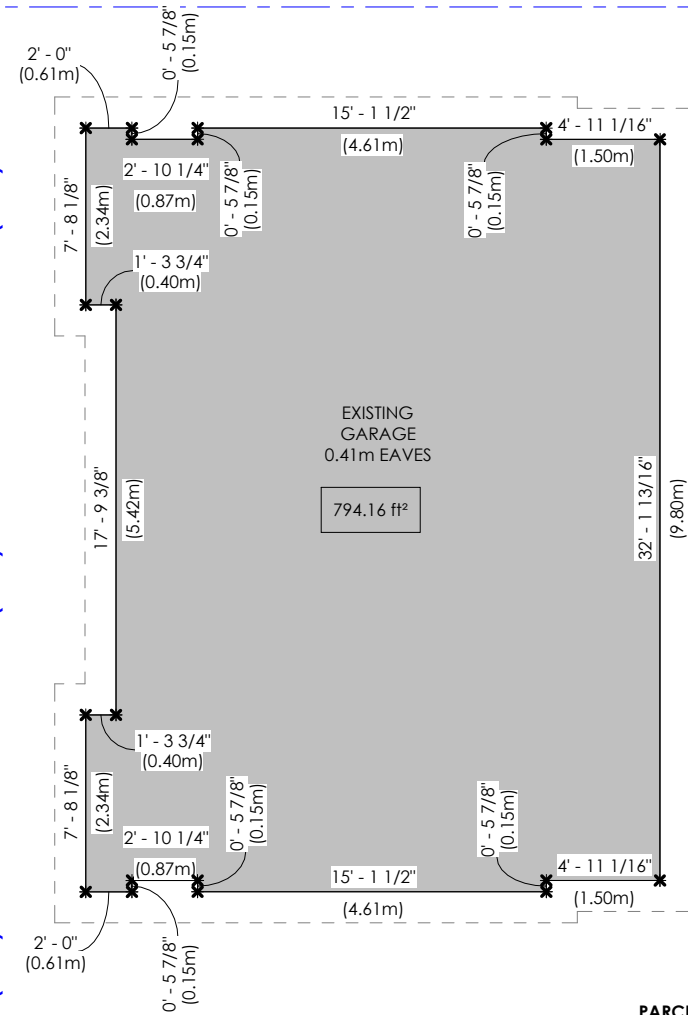
(Property Line) 38.10 m

(Property Line) 15.24 m



(Property Line) 38.09 m

(Property Line) 38.09 m



LANE

2.7

PARCEL COVERAGE:

PARCEL AREA	=	6248.78 ft²
<u>EXISTING:</u>		
DWELLING	=	1797.70 ft²
GARAGE	=	794.16 ft²
-ACCESSORY	=	0.00 ft²
COVERED DECK	=	104.50 ft²
PORCH	=	0.00 ft²
BALCONY	=	0.00 ft²
PARKING STALLS	=	#0

EX. TOTAL	=	2696.36 ft ²
EX. COVERAGE	=	43.15 %
BYLAW MAX (%)	=	45 %
REMAINING PERMITTED	=	115.59 ft ²

PROPOSED:

NEW AREA	=	220.02 ff²
NEW PARKING STALLS	=	#0
NEW PARKING AREA	=	0 ff²
NEW TOTAL AREA	=	2916.38 ff²
NEW REMAINING	=	-104.43 ff²
RELAXATION (%)	=	3.71 %

PARCEL COVERAGE **≡** **46.67 %**

**SITE PLAN NOTE: PROPERTY LINE VALUES AND
EXISTING SITE INFORMATION TO BE CONFIRMED
PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS
PLAN ACQUIRED FROM SUPPLIED RPR/SURVEY**



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ENGINEER

GENERAL CONTRACTOR



1130 LANSDOWNE AV SW
CALGARY, AB

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2026-01-23 7:13:48 PM

Site Plan	
Project :	2025-518
Scale:	1 : 100
Drawn By:	RFC

A1.0



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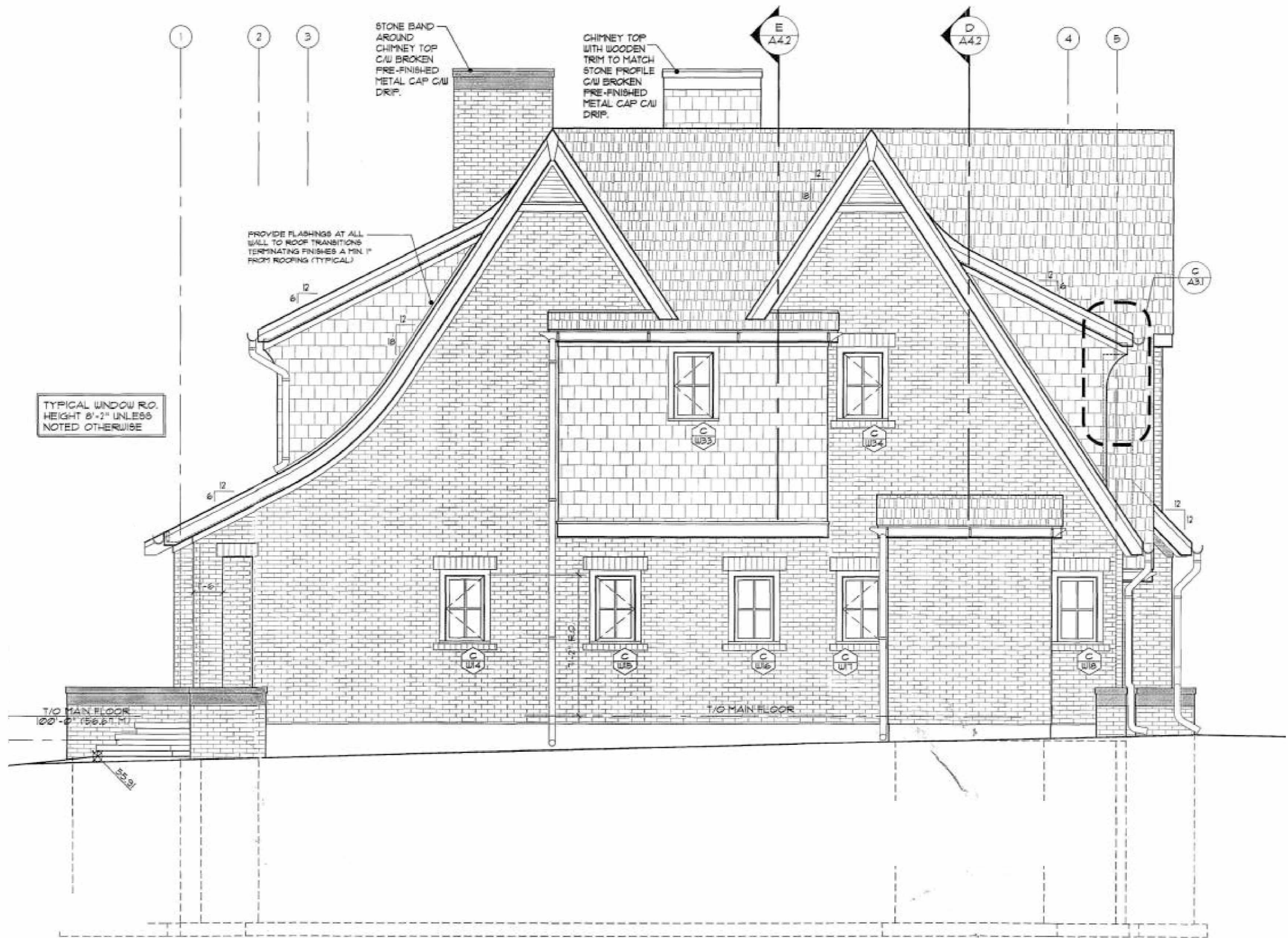
Left Elevation

Project : 2025-518

Scale: 3/16" = 1'-0"

Drawn By: RFC

A2.5





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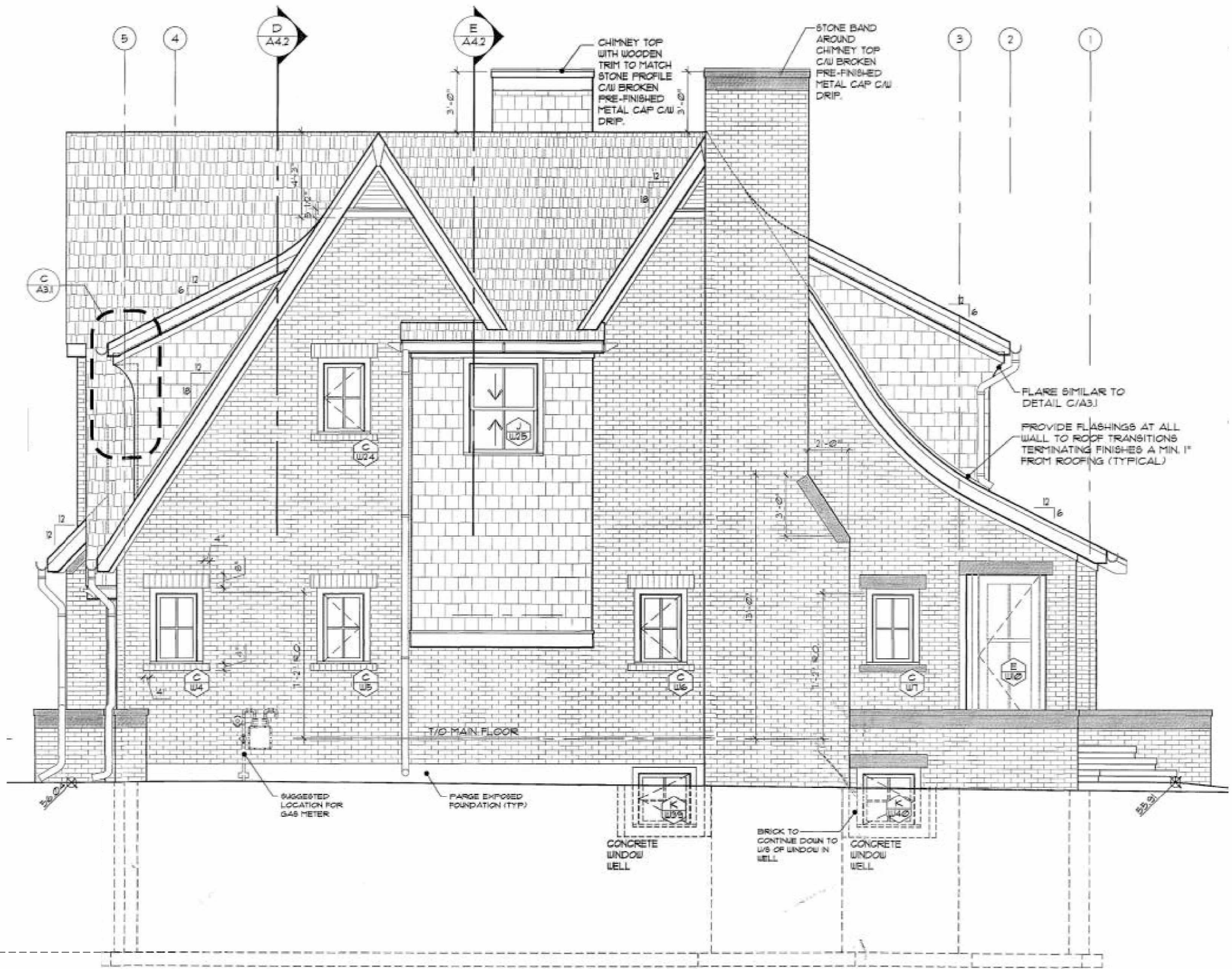
Right Elevation

Project : 2025-518

Scale: 3/16" = 1'-0"

Drawn By: RFC

A2.6



1 Right Elevation
3/16" = 1'-0"



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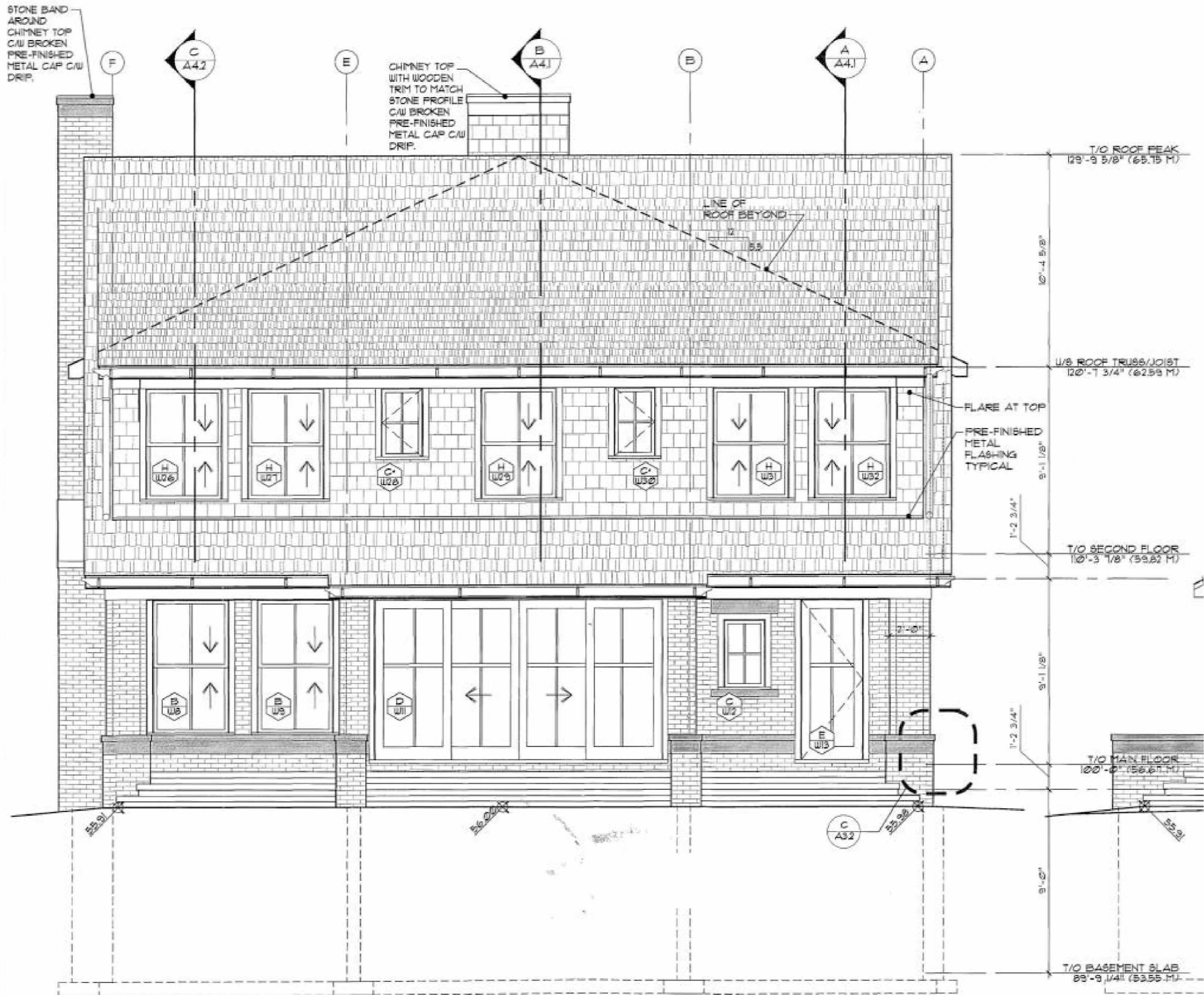
Rear Elevation

Project : 2025-518

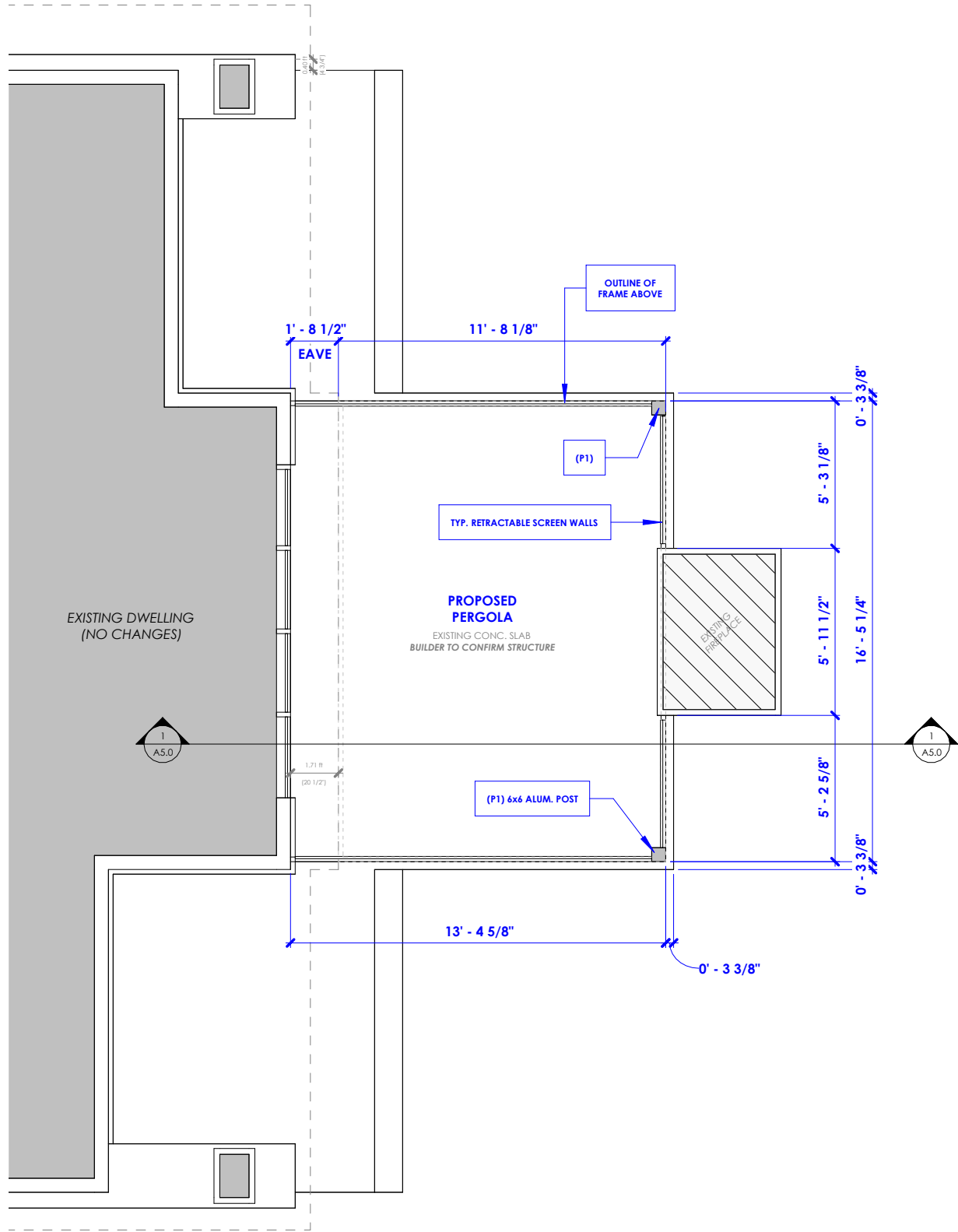
Scale: 3/16" = 1'-0"

Drawn By: RFC

A2.7



1 Rear Elevation
3/16" = 1'-0"



ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION AND NOTIFY SDP OF ANY DISCREPANCIES

NON-CONDITIONED SPACE
(3-SEASON ENCLOSURE/PERGOLA)

(NEW BEAM)

(EXISTING BEAM)

(CONC. PILE)

(SCREW PILE)

(EXISTING POST)

(NEW POST)



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T/O Deck

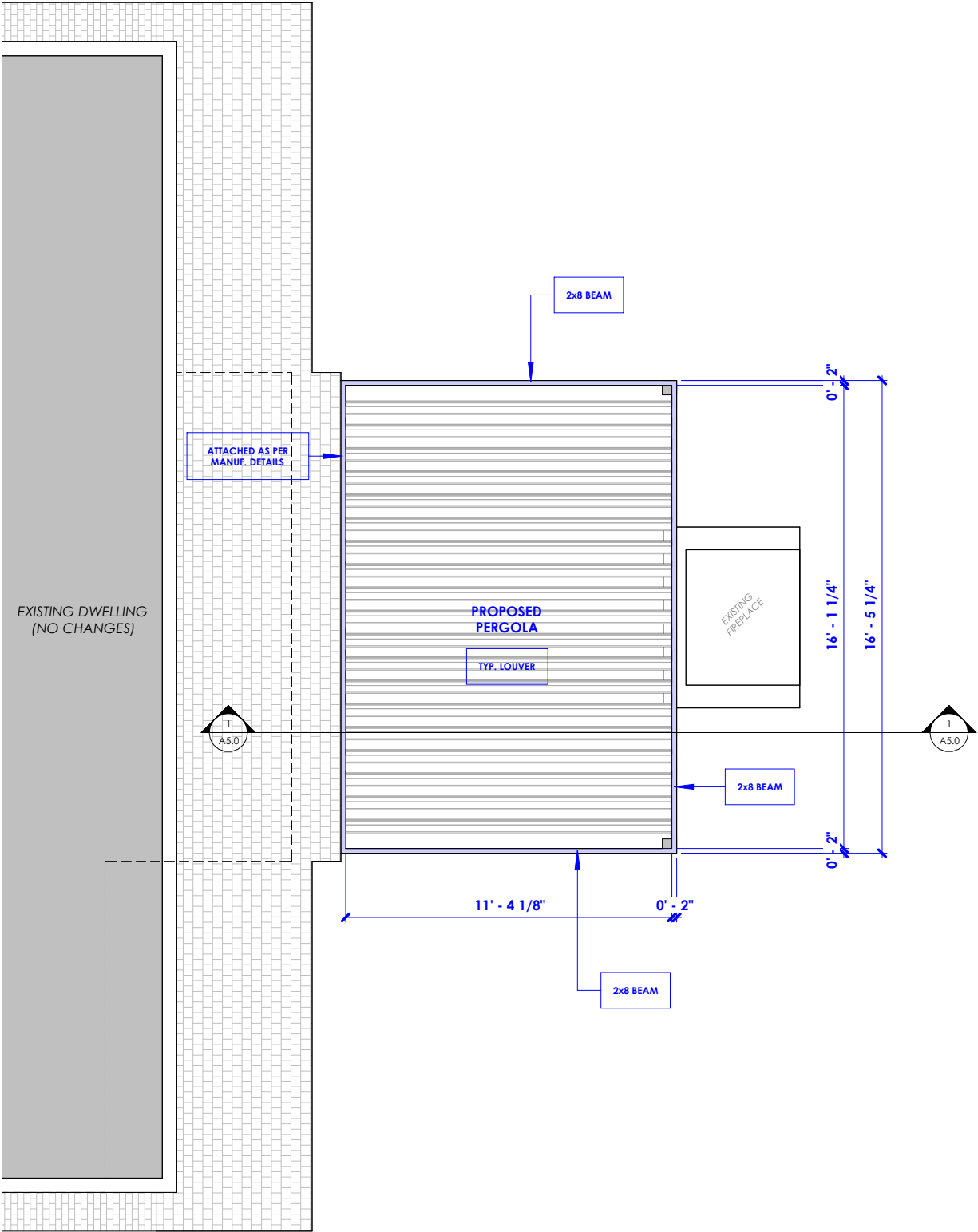
Project : 2025-518

Scale: 3/16" = 1'-0"

Drawn By: RFC

A3.0

1 T/O Patio
3/16" = 1'-0"



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BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION AND NOTIFY SDP OF ANY DISCREPANCIES

NON-CONDITIONED SPACE
(3-SEASON ENCLOSURE/PERGOLA)

(NEW BEAM)

(EXISTING BEAM)

(CONC. PILE)

(SCREW. PILE)

(EXISTING POST)

(NEW POST)



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Roof Plan

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Scale: 3/16" = 1'-0"

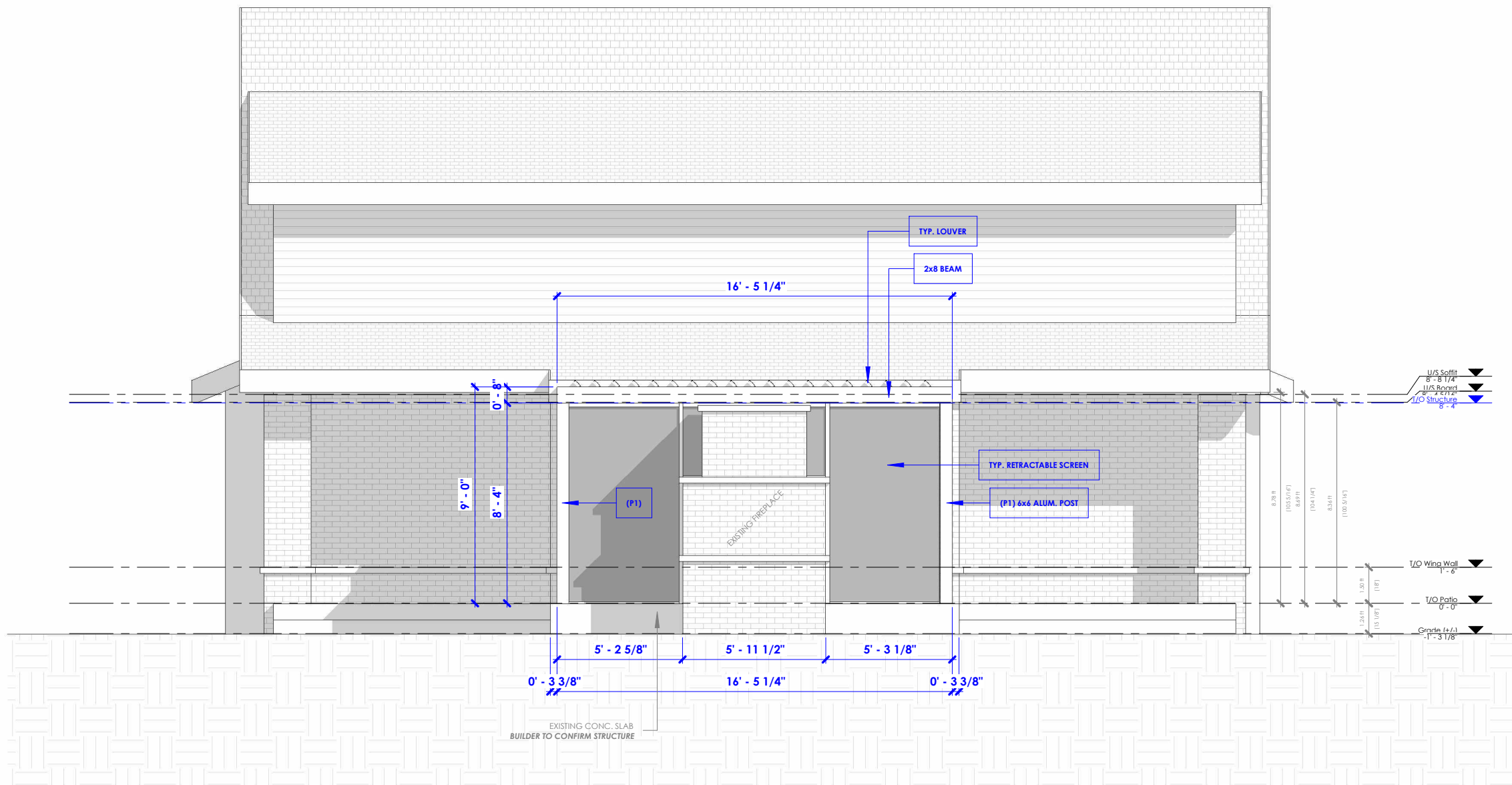
Drawn By: RFC

A3.1

1 T/O Structure
3/16" = 1'-0"

ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION
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1 Rear Elevation
3/16" = 1'-0"



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Elevations	
Project :	2025-518
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Drawn By:	RFC

A4.0