

103 11a STREET NE

3-UNIT ROWHOUSE
W/ 3 BASEMENT SUITES

THE MOST SOUTHERN 42 FEET THOUGHOUT LOT 1
BLOCK 137, PLAN 2965 X

BRIDGELAND, NE CALGARY, LOT ZONING: R-CG

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RESPONSIBILITIES

VM DESIGNS

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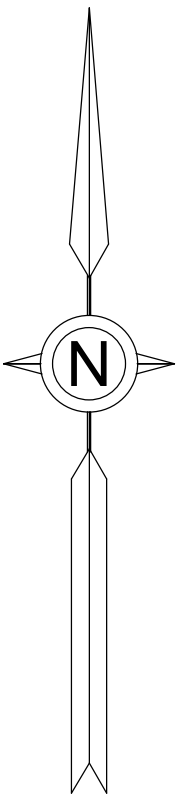
587-377-7279 vaughn@vmdesigns.ca

ISSUED SETS	m/d/y
Site Concept	12.03.25
Design Draft 1.0	12.11.25
Design Draft 1.1	01.13.26
DP Set	01.26.26

STREET ADDRESS	
103 11a STREET NE	
LEGAL ADDRESS	
THE MOST SOUTHERLY 42 FEET THROUGHOUT LOT 1, BLOCK 137, PLAN 2965 X	
PROJECT	
BRIDGELAND ROWHOUSE	
DRAWING	
COVER PAGE	
ZONING R-CG	PROJECT TAG 25-23-KS-03
DRAWN BY VM	SHEET
SCALE AS NOTED	A1 / 10



BIKE HOOK FOR EACH CLASS 1
BIKE LOCKER



TREE SCHEDULE:						
Tree No.	Variety	Trunk (m)	Canopy (m)	Height (m)	Location	STATUS & NAME
T1	Bush	-	1.00	3.00	On Property Line	To be removed
T2	Deciduous	1.00	12.00	6.00	In Adjacent Property	To remain
T3	Deciduous	0.20	5.00	6.00	In Subject Property	To be removed
T4	Deciduous	0.05	2.00	3.00	In Subject Property	To be removed
T5	Deciduous	0.05	2.00	3.00	In Adjacent Property	To remain
T6	Deciduous	0.20	8.00	7.00	In City Property	To remain (T-32190711 - MALUS PUMILA)
T7	Deciduous	0.20	10.00	7.00	In Adjacent Property	To remain
T8	Deciduous	0.20	5.00	7.00	In City Property	To remain (T-32180274 - BETULA PAPYRIFERA)
T9	Deciduous	0.80	8.00	3.00	In Subject Property	To be removed
T10	Deciduous	0.10	5.00	4.00	In City Property	To remain (T-32180273 - MALUS PUMILA)
T11	Deciduous	0.30	7.00	7.00	In City Property	To remain (T-32128508 - ELAEAGNUS ANGUSTIFOLIA)
T12	Deciduous	1.00	4.00	3.00	In Subject Property	To be removed
T13	Deciduous	0.10	0.60	2.00	In Subject Property	To be planted (x4) - Princess Kay Plum - Prunus nigra 'Princess Kay'
S1	Shrub	-	0.60	0.60	In Subject Property	To be planted (x7) - Phenomenal Lavender - Lavandula X Intermedia
S2	Shrub	-	0.60	0.60	In Subject Property	To be planted (x6) - Pygmy Caragana - Caragana Pygmaea

SITE / BLOCK LEGEND		
	PROPOSED STRUCTURE	—OH— OVERHEAD ELECTRICAL LINE
	PROPOSED GARAGE	—SAN— CITY SANITATION LINE
	PROPOSED AMENITY SPACE	—W— CITY WATER LINE
	PROPOSED RETAINING WALL	—S— CITY STORM LINE
	CONCRETE	—G— CITY GAS LINE
	CRUSHED LESTONE	- - - - - PROPERTY LINE
	MULCH	⊙ SITE SECTION
	EXISTING TREE TO REMAIN	⬆️ PROPOSED GRADE
	EXISTING TREE TO BE REMOVED	⬆️ EXISTING GRADE
		⬆️ EXTRAPOLATED GRADE
		⬆️ PROPOSED SLOPE
		⬆️ EXISTING SLOPE
		⊗ POWER POLE

RESPONSIBILITIES

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THROUGHOUT LOT 1,
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PROJECT

BRIDGELAND
ROWHOUSE

DRAWING

BLOCK PLAN

ZONING

R-CG

DRAWN BY

VM

SCALE

AS NOTED

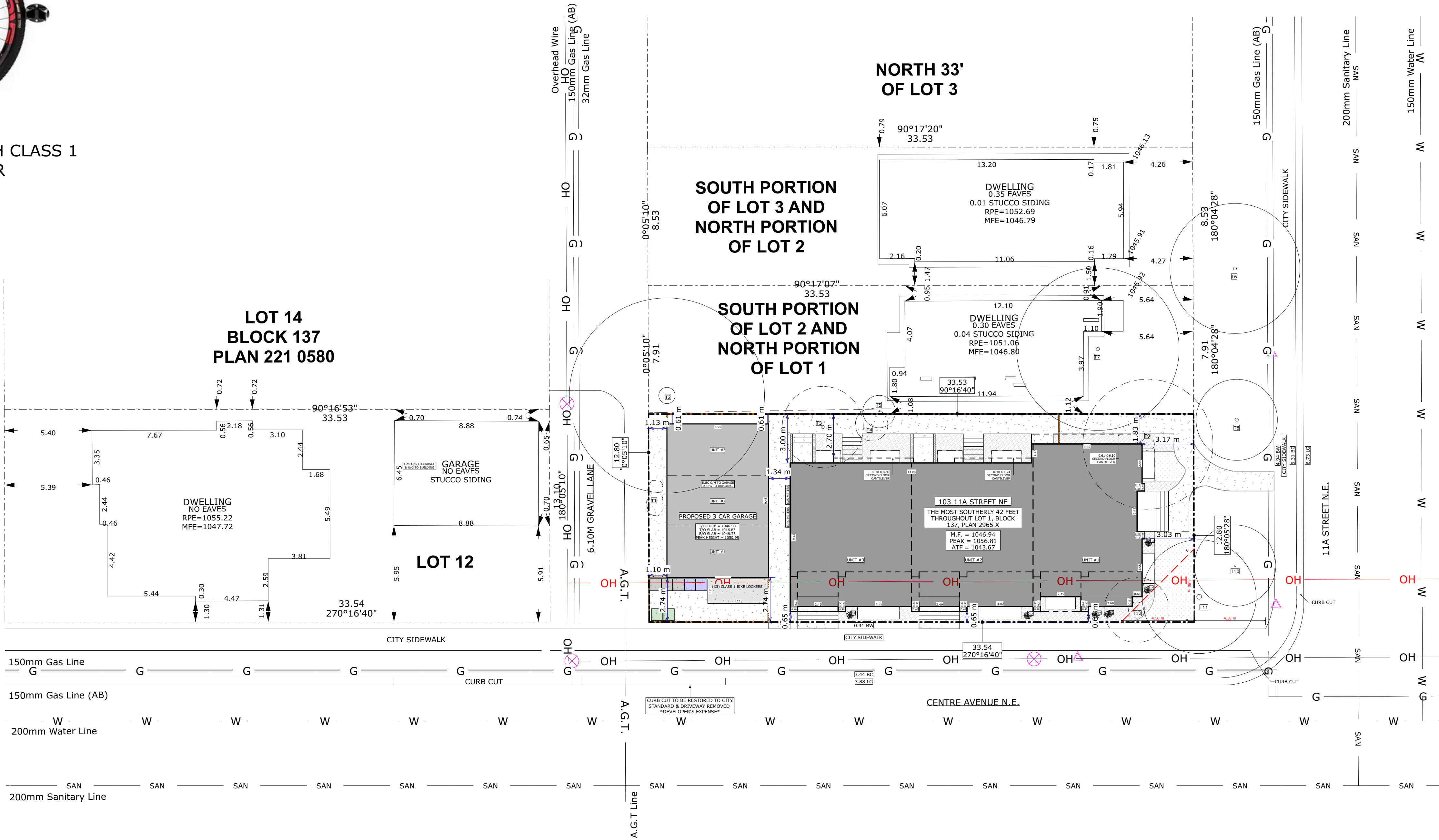
PROJECT TAG

25-23-KS-03

SHEET

A2 / 10

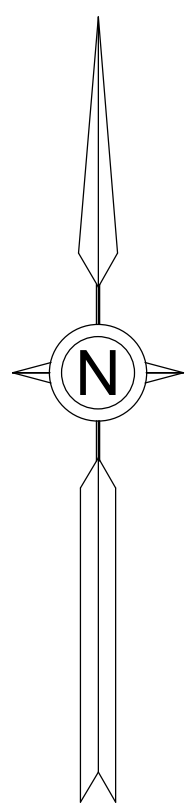
102
11 STREET N.E.



BLOCK PLAN

SCALE: 1 = 150

BUILDING STATISTICS				
BUILDING HEIGHT				
MAXIMUM BUILDING HEIGHT PLANE = 11.00m				
PROPOSED PEAK GEODETIC = 1056.81 m				
PROPOSED HEIGHT = 10.86 m			10.86 m	
RESIDENTIAL DENSITY				
LOT AREA = 0.042908 ha			69.91 units/ha	
UNITS = 3				
PARCEL COVERAGE				
LOT AREA = 429.08 m ² (4,618.60 sf)				
BUILDING FOOTPRINT = 197.56 m ² (2,126.61 sf)				
GARAGE = 59.03 m ² (635.50 sf)				
TOTAL COVERED AREA = 256.60 m ² (2,762.11 sf)				
TOTAL COVERED AREA ALLOWED = 257.448 m ² (2771.16 sf)			59.80 %	
AREA OF AMENITY SPACE				
SHARED AMENITY SPACE = 947 SF				
UNIT #1 BALCONIES = 113 SF				
UNIT #2 BALCONIES = 113 SF				
UNIT #3 BALCONIES = 113 SF			TOTAL = 1,040 sf	
TOTAL GROSS FLOOR AREA				
UNIT #1	TOTAL = 1687 sf			
	MAIN = 700 sf			
	SECOND = 607 sf			
UNIT #2	THIRD = 380			
	TOTAL = 1665 sf			
	MAIN = 697 sf			
UNIT #3	SECOND = 558 sf			
	THIRD = 410 sf			
	TOTAL = 1665 sf			
MAIN = 697 sf			TOTAL = 5,017 sf	
SECOND = 558 sf				
THIRD = 410 sf				
SUITE AREA				
SUITE #1 660 sf				
SUITE #2 660 sf				
SUITE #3 640 sf			TOTAL = 1,960 sf	
PARKING STALLS PROVIDED ON-SITE				
DWELLING UNITS: 3				
PARKING STALLS PER DWELLING UNIT = 3				
PROVIDED VIA GARAGE				
CLASS 1 BIKE LOCKER = 3 STALLS			3 stalls	
LANDSCAPE AREA				
LOT AREA = 429.08 m ² (4,618.60 sf)				
BUILDING FOOTPRINT = 197.56 m ²				
GARAGE = 59.03 m ²				
CONCRETE APRON = 10.54 m ²				
WINDOW WELLS (X9) = 14.44 m ²				
SUITE LOCKERS = 4.21 m ²				
TOTAL AREA NOT LANDSCAPED = 285.79 m ²				
TOTAL LANDSCAPED AREAS = 143.29 m ²				
HARD LANDSCAPE				
CONCRETE 83.58 m ²				
CRUSHED LIMESTONE 4.49 m ²				
ENTRY LANDINGS & STAIRS 8.85 m ²				
TOTAL 96.92 m ² = 67.63%			HARD = 67.63% SOFT = 32.37%	
SOFT LANDSCAPE				
MULCH 27.22 m ²				
SOD 19.15 m ²				
TOTAL 46.37 m ² = 32.37%				
REQUIRED PLANTINGS				
A MINIMUM OF 1.0 TREE & 3.0 SHRUBS MUST BE PROVIDED FOR EACH 110 m ² OF PARCEL AREA				
LOT AREA = 429.08 m ² / 110 = 3.90				
TREES - 1.0 x 3.90 = 3.90				
SHRUBS - 3.0 x 3.90 = 11.7				
PROPOSED				
TREES - 4				
SHRUBS - 13			4 TREES - 13 SHRUBS	

[illegible]

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BRIDGELAND
ROWHOUSE

SITE PLAN & BUILDING STATS

ZONING R-CG	PROJECT TAG 25-23-KS-03
DRAWN BY VM	SHEET
SCALE AS NOTED	A3 / 10

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PROJECT

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ROWHOUSE

DRAWING

FRONT & RIGHT
ELEVATIONS

ZONING R-CG	PROJECT TAG 25-23-KS-03
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SCALE AS NOTED	A8 / 10



EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
2	8" ALUMINUM FASCIA - BLACK
3	VENTED ALUMINUM SOFFIT - BLACK
4	NON VENTED & VENTED ALUMINUM SOFFIT - WOOD
5	SMOOTH ACRYLIC STUCCO - GRAY
6	BRICK VENEER - DARK CHARCOAL
7	STONE CAP - BLACK
8	VINYL CLAD WINDOWS - BLACK
9	FIBREGLASS DOOR - BLACK
10	STEEL INSULATED GARAGE DOOR - CHARCOAL
11	RAILING - BLACK



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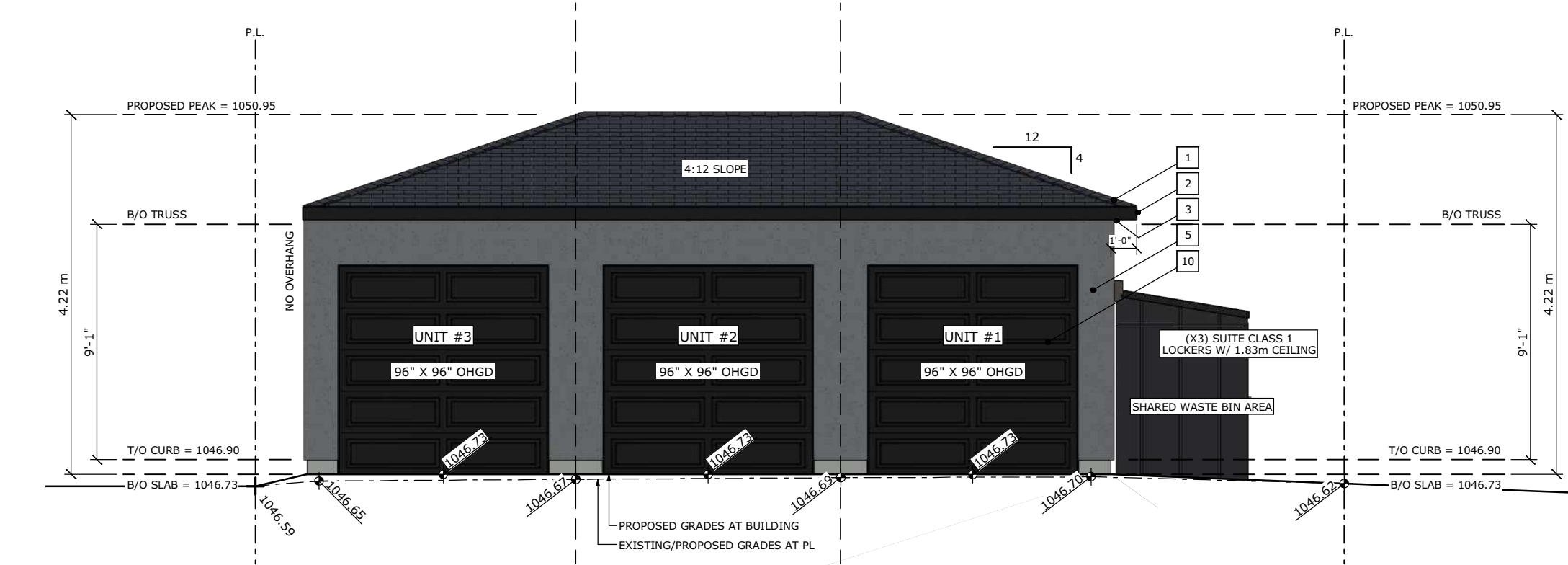
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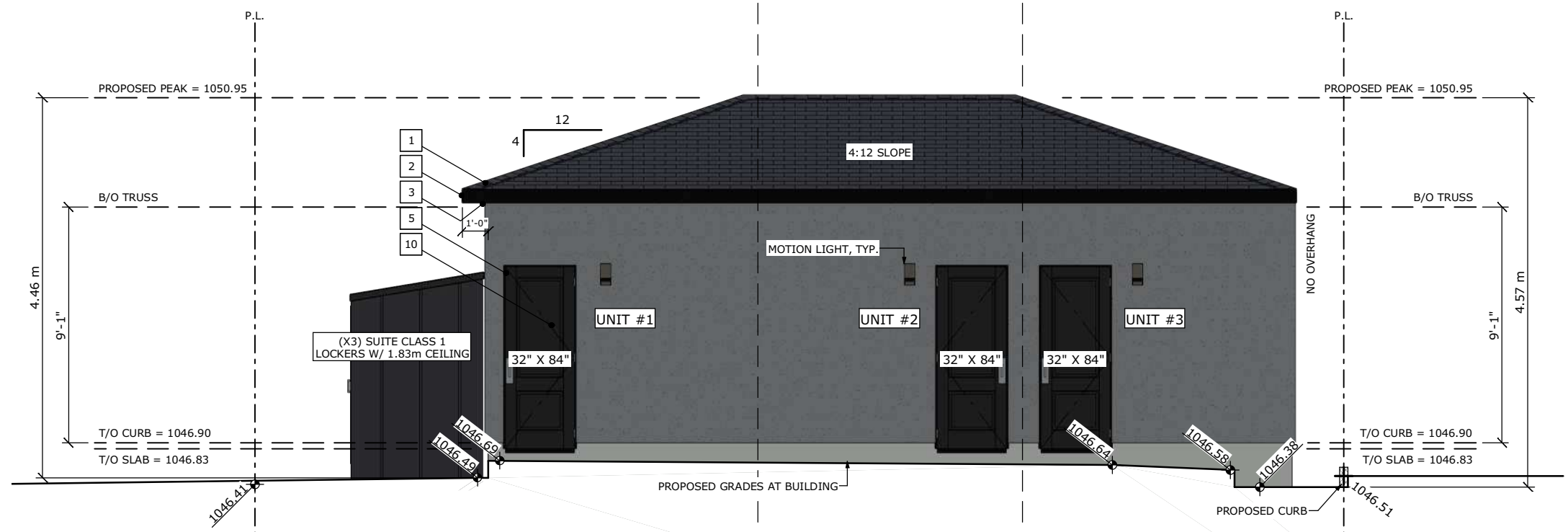
BACK, LEFT & GARAGE
ELEVATIONS

ZONING R-CG	PROJECT TAG 25-23-KS-03
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SCALE AS NOTED	A9 / 10



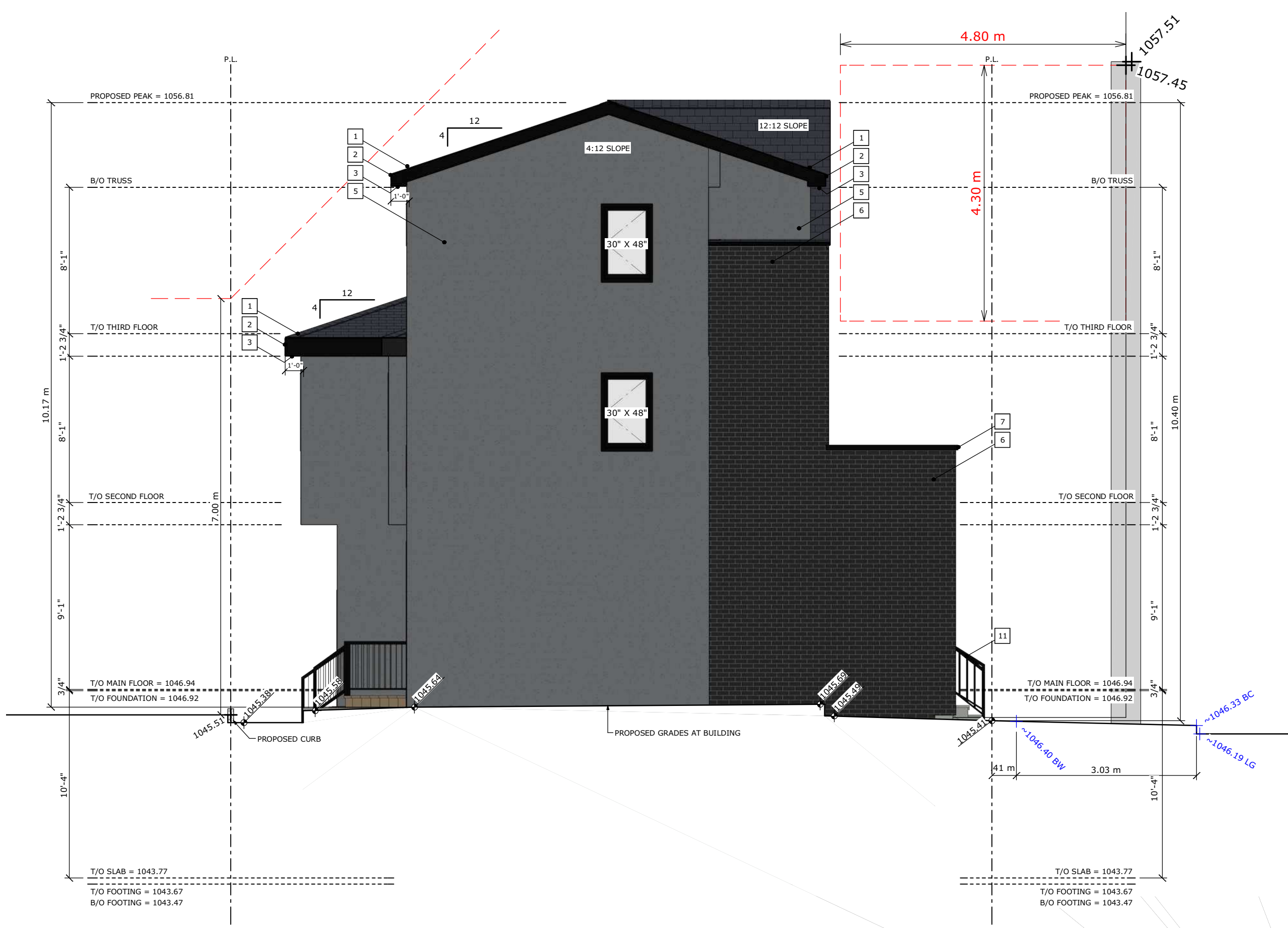
GARAGE - LANEWAY (WEST)

SCALE: 3/16" = 1'-0"



GARAGE - YARD (EAST)

SCALE: 3/16" = 1'-0"



LEFT ELEVATION (WEST)

SCALE: 3/16" = 1'-0"



BACK ELEVATION (NORTH)

SCALE: 3/16" = 1'-0"

EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
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4	NON VENTED & VENTED ALUMINUM SOFFIT - WOOD
5	SMOOTH ACRYLIC STUCCO - GRAY
6	BRICK VENEER
7	STONE CAP - B
8	VINYL CLAD W
9	FIBREGLASS D
10	STEEL INSULA
11	RAILING - BLA

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PROJECT

BRIDGELAND
ROWHOUSE

DRAWING

LAND SURVEY

ZONING	PROJECT TAG
R-CG	25-23-KS-03
DRAWN BY	SHEET
VM	A10/10
SCALE	
AS NOTED	

SITE PLAN

MUNICIPAL ADDRESS:
103 11A STREET N.E.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
THE MOST SOUTHERLY 42 FEET
THROUGHOUT LOT 1
BLOCK 137
PLAN 2965 X

PREPARED FOR:

DATE OF SURVEY: November 26th, 2025

SCALE: 1:200

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

'2F.'-Second Floor
'BC'-Back of Curb
'BW'-Back of Walkway
'Cant.'-Cantilever
'Conc.'-Concrete
'Elev'-Elevation
'Enc.'-Encroachment
'L'-Length of Arc
'L'-Lip of Gutter
'M.F.'-Main Floor
'MFL'-Main Floor Elevation
'R'-Radius
'R/W'-Right of Way
'Ret.'-Retaining
'RPE'-Roof Peak Elevation
'WB'-Bottom of Wall
'WT'-Top of Wall

NOTE:

- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999736
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 135673.
- Existing spot elevations are shown thus:
6. The Certificate of Title - 251 176 924 - which was Searched on the 18th day of November, 2025, and includes the following instruments:
Restrictive Covenant No. 4130 AM
Mortgage No. 251 176 925
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 167, 191, 213 & 255 in Sec.23-Twp.24-Rge.1-W5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

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