

103 11a STREET NE

3-UNIT ROWHOUSE
W/ 3 BASEMENT SUITES

THE MOST SOUTHERN 42 FEET THOUGHOUT LOT 1
BLOCK 137, PLAN 2965 X

BRIDGELAND, NE CALGARY, LOT ZONING: R-CG

CONTENTS	
A1	COVER PAGE
A2	BLOCK PLAN
A3	SITE PLAN & BUILDING STATS
A4	BASEMENT FLOOR PLAN
A5	MAIN FLOOR & GARAGE PLAN
A6	SECOND FLOOR PLAN
A7	THIRD FLOOR PLAN
A8	FRONT & RIGHT ELEVATIONS
A9	BACK, LEFT & GARAGE ELEVATIONS
A10	LAND SURVEY



RESPONSIBILITIES

VM DESIGNS

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587-377-7279 vaughn@vmdesigns.ca

ISSUED SETS	m/d/y
Site Concept	12.03.25
Design Draft 1.0	12.11.25
Design Draft 1.1	01.13.26
DP Set	01.26.26
DR Set	04.03.26

STREET ADDRESS

103 11a STREET NE

LEGAL ADDRESS

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THROUGHOUT LOT 1,
BLOCK 137, PLAN 2965 X

PROJECT

BRIDGELAND
ROWHOUSE

DRAWING

COVER PAGE

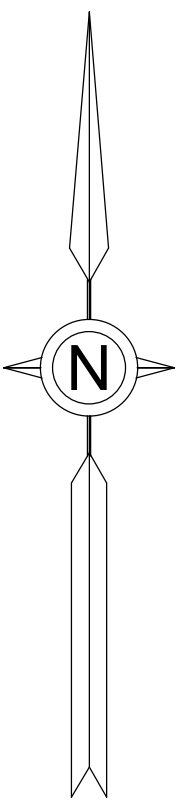
ZONING R-CG	PROJECT TAG 25-23-KS-03
DRAWN BY VM	SHEET
SCALE AS NOTED	A1 / 10



BIKE HOOK FOR EACH CLASS 1
BIKE LOCKER

TREE SCHEDULE:						
Tree No.	Variety	Trunk (m)	Canopy (m)	Height (m)	Location	STATUS & NAME
T1	Bush	-	1.00	3.00	On Property Line	To be removed
T2	Deciduous	1.00	12.00	6.00	In Adjacent Property	To remain
T3	Deciduous	0.20	5.00	6.00	In Subject Property	To be removed
T4	Deciduous	0.05	2.00	3.00	In Subject Property	To be removed
T5	Deciduous	0.05	2.00	3.00	In Adjacent Property	To remain
T6	Deciduous	0.20	8.00	7.00	In City Property	To remain (T-32190711 - MALUS PUMILA)
T7	Deciduous	0.20	10.00	7.00	In Adjacent Property	To remain
T8	Deciduous	0.20	5.00	7.00	In City Property	To remain (T-32180274 - BETULA POPYRIFERA)
T9	Deciduous	0.80	8.00	3.00	In Subject Property	To be removed
T10	Deciduous	0.10	5.00	4.00	In City Property	To remain (T-32180273 - MALUS PUMILA)
T11	Deciduous	0.30	7.00	7.00	In City Property	To remain (T-32128508 - ELAEAGNUS ANGUSTIFOLIA)
T12	Deciduous	1.00	4.00	3.00	In Subject Property	To be removed
T13	Deciduous	0.10	0.60	2.00	In Subject Property	To be planted (x4) - Princess Kay Plum - Prunus nigra 'Princess Kay'
S1	Shrub	-	0.60	0.60	In Subject Property	To be planted (x11) - Phenomenal Lavender - Lavandula X Intermedia
S2	Shrub	-	0.60	0.60	In Subject Property	To be planted (x10) - Pygmy Caragana - Caragana Pygmaea

SITE / BLOCK LEGEND		
	PROPOSED STRUCTURE	—OH— OVERHEAD ELECTRICAL LINE
	PROPOSED GARAGE	—SAN— CITY SANITATION LINE
	PROPOSED AMENITY SPACE	—W— CITY WATER LINE
	PROPOSED RETAINING WALL	—S— CITY STORM LINE
	CONCRETE	—G— CITY GAS LINE
	CRUSHED LESTONE	- - - - - PROPERTY LINE
	MULCH	⊙ SITE SECTION
	EXISTING TREE TO REMAIN	↑1055.65 PROPOSED GRADE
	EXISTING TREE TO BE REMOVED	↑1044.44 EXISTING GRADE
		↑-1022.22 EXTRAPOLATED GRADE
		↓.00% PROPOSED SLOPE
		↓.00% EXISTING SLOPE
		⊗ POWER POLE



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103 11a STREET NE

LEGAL ADDRESS

THE MOST SOUTHERLY 42 FEET
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BLOCK 137, PLAN 2965 X

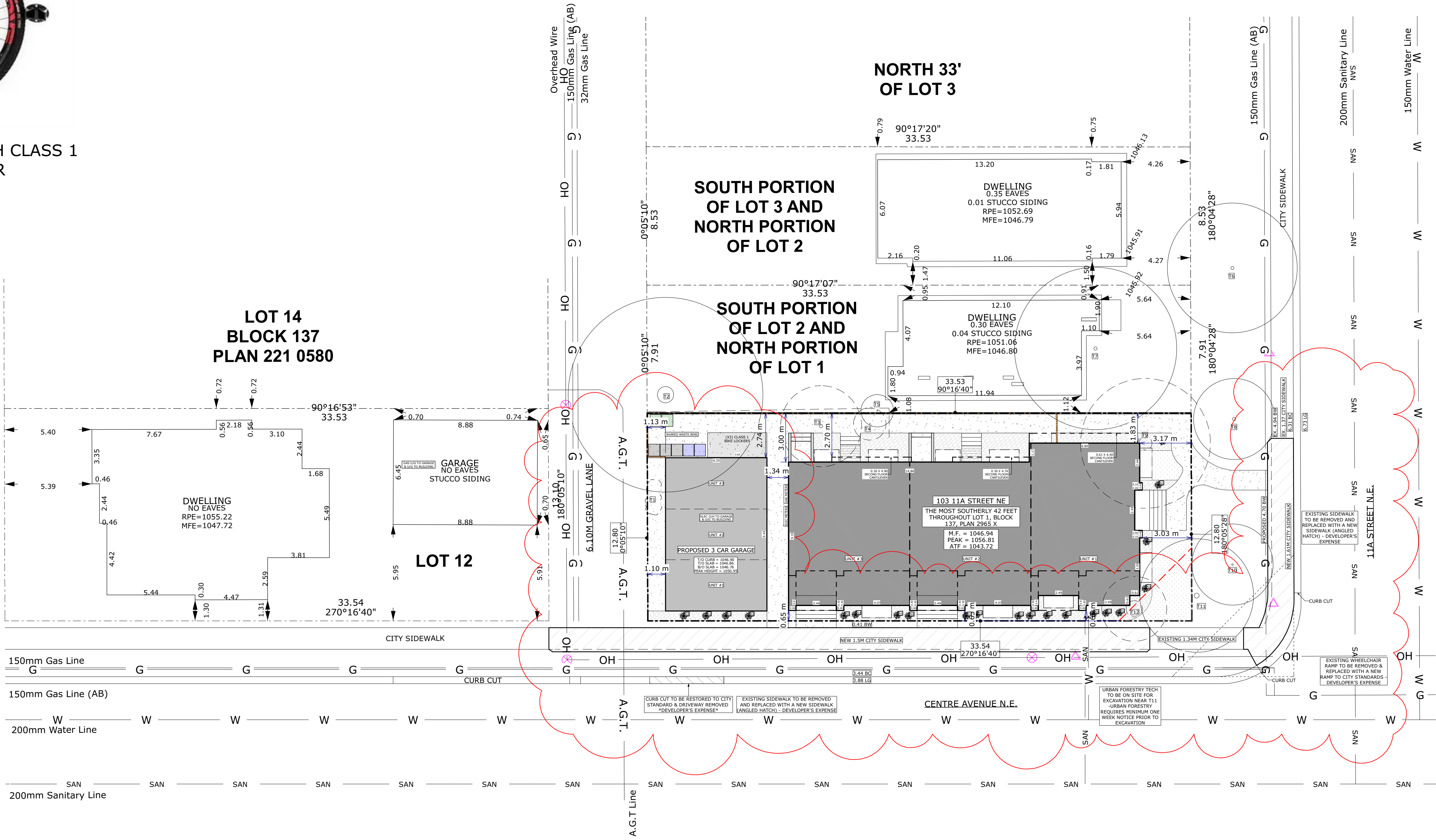
PROJECT

BRIDGELAND
ROWHOUSE

DRAWING

BLOCK PLAN

ZONING R-CG	PROJECT TAG 25-23-KS-03
DRAWN BY VM	SHEET
SCALE AS NOTED	A2 / 10



BLOCK PLAN
SCALE: 1 = 150

BUILDING STATISTICS			
BUILDING HEIGHT			
MAXIMUM BUILDING HEIGHT PLANE = 11.00m			
PROPOSED PEAK GEODETIC = 1056.81 m			
PROPOSED HEIGHT = 10.86 m		10.86 m	
RESIDENTIAL DENSITY			
LOT AREA = 0.042908 ha		69.91 units/ha	
UNITS = 3			
PARCEL COVERAGE			
LOT AREA = 429.08 m ² (4,618.60 sf)			
BUILDING FOOTPRINT = 197.56 m ² (2,126.61 sf)			
GARAGE = 59.03 m ² (635.50 sf)			
TOTAL COVERED AREA = 256.60 m ² (2,762.11 sf)			
TOTAL COVERED AREA ALLOWED = 257.448 m ² (2771.16 sf)		59.80 %	
AREA OF AMENITY SPACE			
SHARED AMENITY SPACE = 947 SF			
UNIT #1 BALCONIES = 113 SF			
UNIT #2 BALCONIES = 113 SF			
UNIT #3 BALCONIES = 113 SF		TOTAL = 1,040 sf	
TOTAL GROSS FLOOR AREA			
UNIT #1	TOTAL = 1687 sf		
	MAIN = 700 sf		
	SECOND = 607 sf		
	THIRD = 380		
UNIT #2	TOTAL = 1665 sf		
	MAIN = 697 sf		
	SECOND = 558 sf		
	THIRD = 410 sf		
UNIT #3	TOTAL = 1665 sf		
	MAIN = 697 sf		
	SECOND = 558 sf		
	THIRD = 410 sf		
		TOTAL = 5,017 sf	
SUITE AREA			
SUITE #1 660 sf			
SUITE #2 660 sf			
SUITE #3 640 sf		TOTAL = 1,960 sf	
PARKING STALLS PROVIDED ON-SITE			
DWELLING UNITS: 3			
PARKING STALLS PER DWELLING UNIT = 3			
PROVIDED VIA GARAGE			
CLASS 1 BIKE LOCKER = 3 STALLS		3 stalls	
LANDSCAPE AREA			
LOT AREA = 429.08 m ² (4,618.60 sf)			
BUILDING FOOTPRINT = 197.56 m ²			
GARAGE = 59.03 m ²			
CONCRETE APRON = 10.54 m ²			
WINDOW WELLS (X9) = 14.44 m ²			
SUITE LOCKERS = 4.21 m ²			
TOTAL AREA NOT LANDSCAPED = 285.79 m ²			
TOTAL LANDSCAPED AREAS = 143.29 m ²			
HARD LANDSCAPE			
CONCRETE 73.69 m ²			
ENTRY LANDINGS & STAIRS 8.85 m ²			
TOTAL 82.54 m ² = 57.61%			
SOFT LANDSCAPE			
MULCH 41.60 m ²			
SOD 19.15 m ²			
TOTAL 60.75 m ² = 42.39%		HARD = 67.63%	
		SOFT = 32.37%	
REQUIRED PLANTINGS			
A MINIMUM OF 1.0 TREE & 3.0 SHRUBS MUST BE PROVIDED FOR EACH 110 m ² OF PARCEL AREA			
LOT AREA = 429.08 m ² / 110 = 3.90			
TREES - 1.0 x 3.90 = 3.90			
SHRUBS - 3.0 x 3.90 = 11.7			
PROPOSED			
TREES - 4			
SHRUBS - 21		4 TREES - 21 SHRUBS	

SCALE: 1 = 75

TREE SCHEDULE:						
Tree No.	Variety	Trunk (m)	Canopy (m)	Height (m)	Location	STATUS & NAME
T1	Bush	-	1.00	3.00	On Property Line	To be removed
T2	Deciduous	1.00	12.00	6.00	In Adjacent Property	To remain
T3	Deciduous	0.20	5.00	6.00	In Subject Property	To be removed
T4	Deciduous	0.05	2.00	3.00	In Subject Property	To be removed
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T11	Deciduous	0.30	7.00	7.00	In City Property	To remain (T-32128508 - ELAEAGNUS ANGUSTIFOLIA)
T12	Deciduous	1.00	4.00	3.00	In Subject Property	To be removed
T13	Deciduous	0.10	0.60	2.00	In Subject Property	To be planted (x4) - Princess Kay Plum - Prunus nigra 'Princess Kay'
S1	Shrub	-	0.60	0.60	In Subject Property	To be planted (x11) - Phenomenal Lavender - Lavandula X Intermedia
S2	Shrub	-	0.60	0.60	In Subject Property	To be planted (x10) - Pygmy Caragana - Caragana Pygmaea

SITE / BLOCK LEGEND

	PROPOSED STRUCTURE		OVERHEAD ELECTRICAL LINE
	PROPOSED GARAGE		CITY SANITATION LINE
	PROPOSED AMENITY SPACE		CITY WATER LINE
	PROPOSED RETRAINING WALL		CITY STORM LINE
	CONCRETE		CITY GAS LINE
	CRUSHED LIMESTONE		PROPERTY LINE
	MULCH		SITE SECTION
	EXISTING TREE TO REMAIN		PROPOSED GRADE
	EXISTING TREE TO BE REMOVED		EXISTING GRADE
			EXTRAPOLATED GRADE
			PROPOSED SLOPE
			EXISTING SLOPE
			POWER POLE

- SOD TO BE A DROUGHT TOLERANT GRASS SPECIES.
- SOD, SHRUBS & TREES TO BE IRRIGATED BY AN UNDERGROUND LOW WATER IRRIGATION SYSTEM
- MINIMUM SOIL DEPTH OF 600mm FOR PLANTING BEDS WITH SHRUBS AND 300mm IN ALL OTHER AREAS.
- 300mm OF TOPSOIL TO BE APPLIED EVERYWHERE ON SITE EXCEPT UNDER WALKWAYS.

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ROWHOUSE

SITE PLAN & BUILDING STATS

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DRAWN BY VM	SHEET
SCALE AS NOTED	A3 / 10

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PROJECT

BRIDGELAND
ROWHOUSE

DRAWING

FRONT & RIGHT
ELEVATIONS

ZONING R-CG	PROJECT TAG 25-23-KS-03
DRAWN BY VM	SHEET
SCALE AS NOTED	A8 / 10



RIGHT ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



FRONT ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"

EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
2	8" ALUMINUM FASCIA - BLACK
3	VENTED ALUMINUM SOFFIT - BLACK
4	NON VENTED & VENTED ALUMINUM SOFFIT - WOOD
5	SMOOTH ACRYLIC STUCCO - GRAY
6	CHARCOAL VERTICAL SIDING
7	BRICK VENEER - DARK CHARCOAL
8	STONE CAP - BLACK
9	VINYL CLAD WINDOWS - BLACK
10	FIBREGLASS DOOR - BLACK
11	STEEL INSULATED GARAGE DOOR - CHARCOAL
12	RAILING - BLACK

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BRIDGELAND
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DRAWING

BACK, LEFT & GARAGE
ELEVATIONS

ZONING

R-CG

DRAWN BY

VM

SCALE

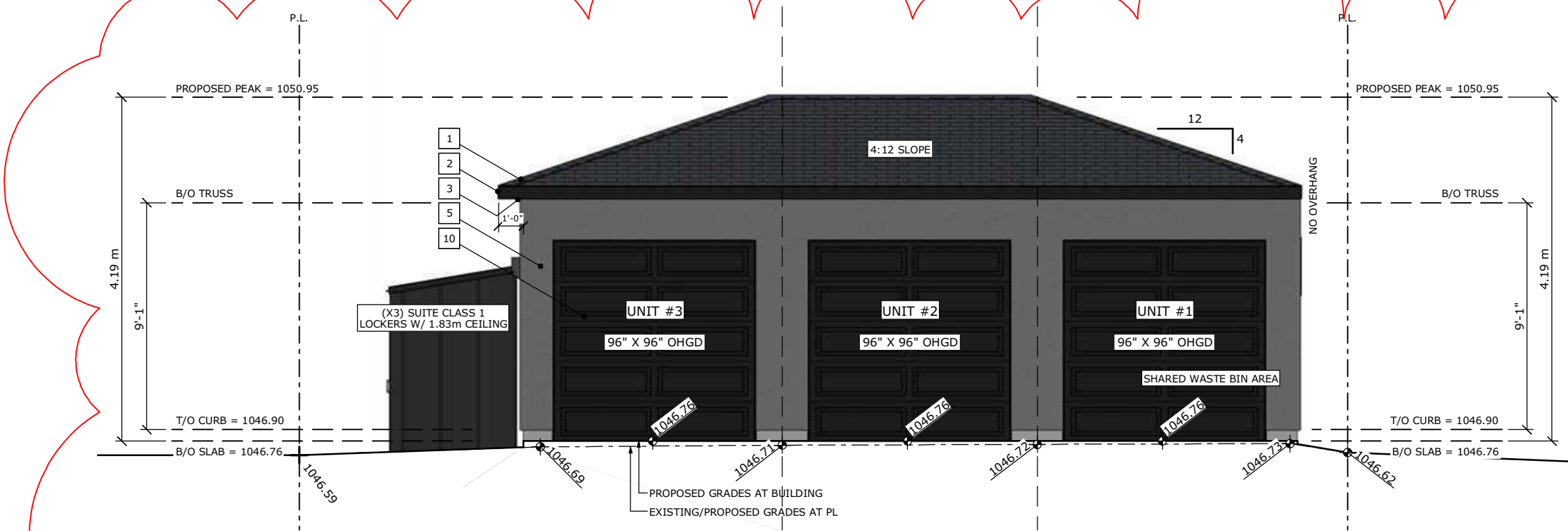
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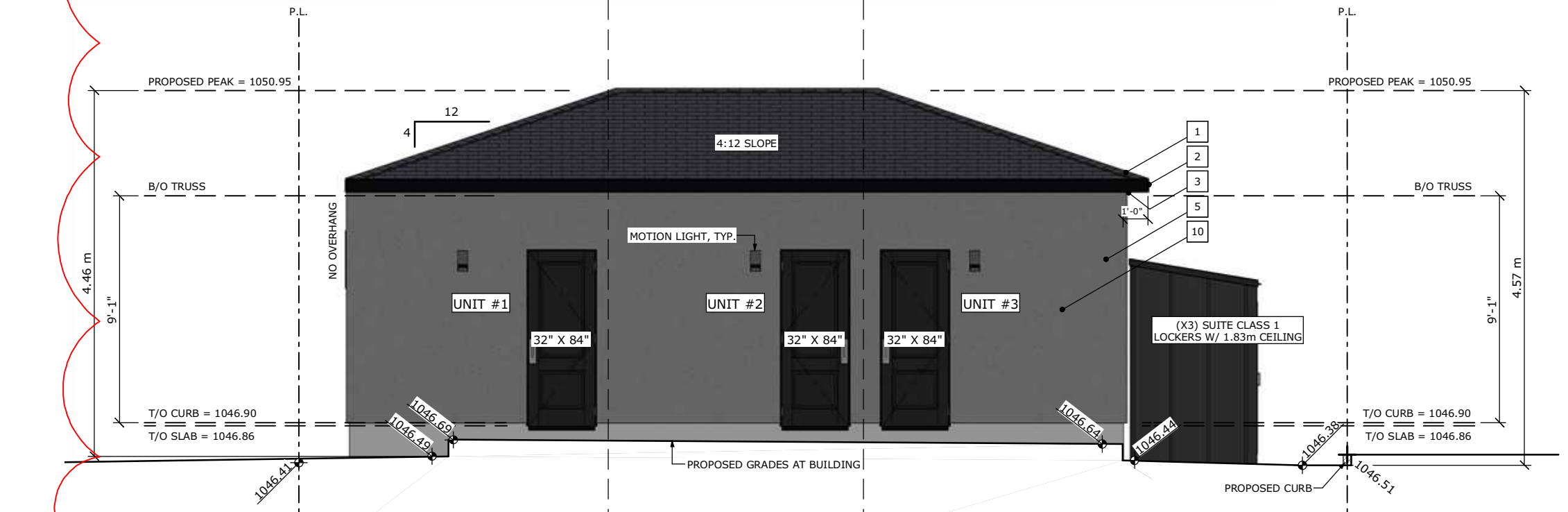
SHEET

A9 / 10



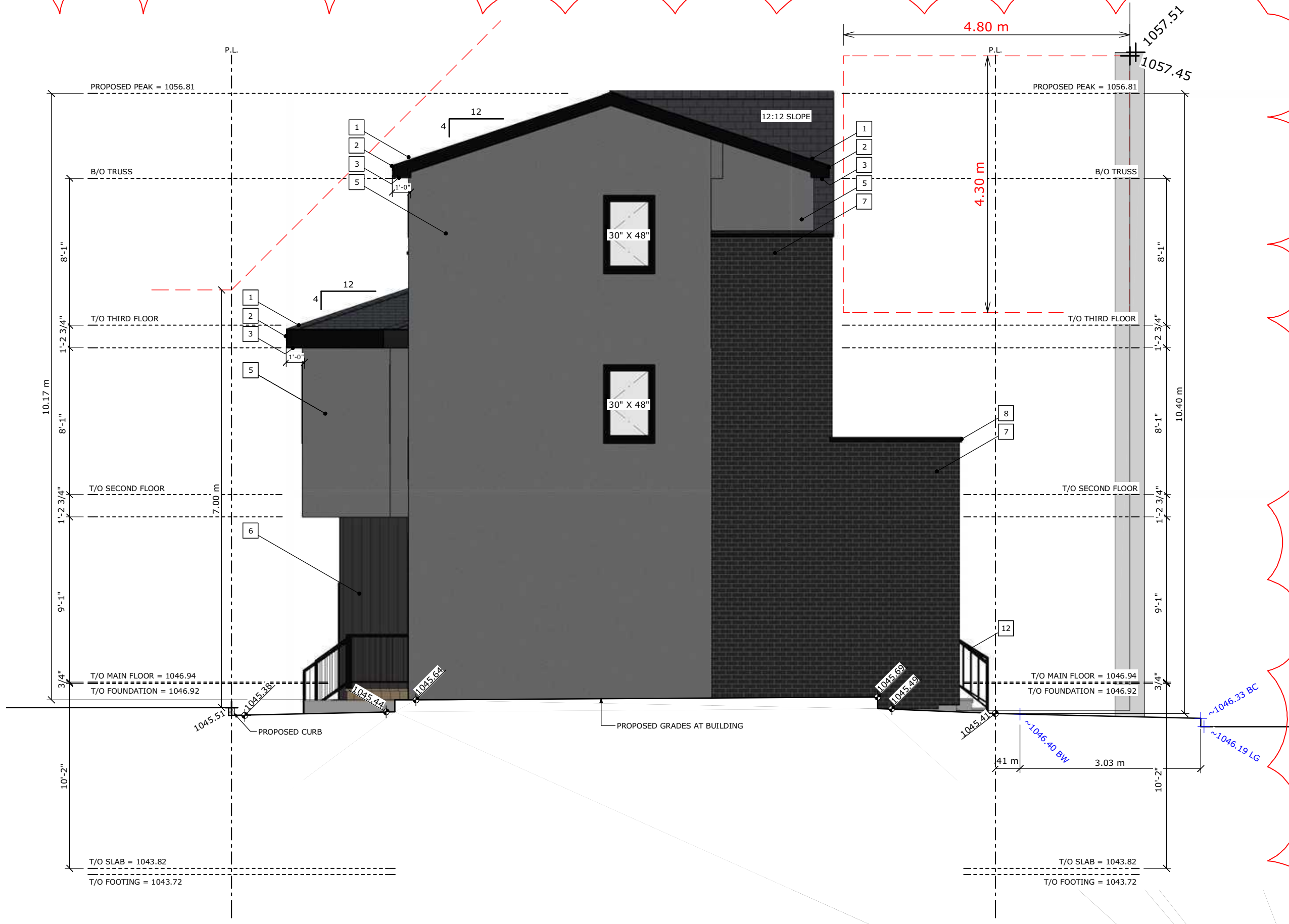
GARAGE - LANEWAY (WEST)

SCALE: 3/16" = 1'-0"



GARAGE - YARD (EAST)

SCALE: 3/16" = 1'-0"



LEFT ELEVATION (WEST)

SCALE: 3/16" = 1'-0"



BACK ELEVATION (NORTH)

SCALE: 3/16" = 1'-0"

EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
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PROJECT

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ROWHOUSE

DRAWING

LAND SURVEY

ZONING	PROJECT TAG
R-CG	25-23-KS-03
DRAWN BY	SHEET
VM	A10/10
SCALE	
AS NOTED	

SITE PLAN

MUNICIPAL ADDRESS:
103 11A STREET N.E.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
THE MOST SOUTHERLY 42 FEET
THROUGHOUT LOT 1,
BLOCK 137,
PLAN 2965 X

DATE OF SURVEY: November 26th, 2025

SCALE: 1:200

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

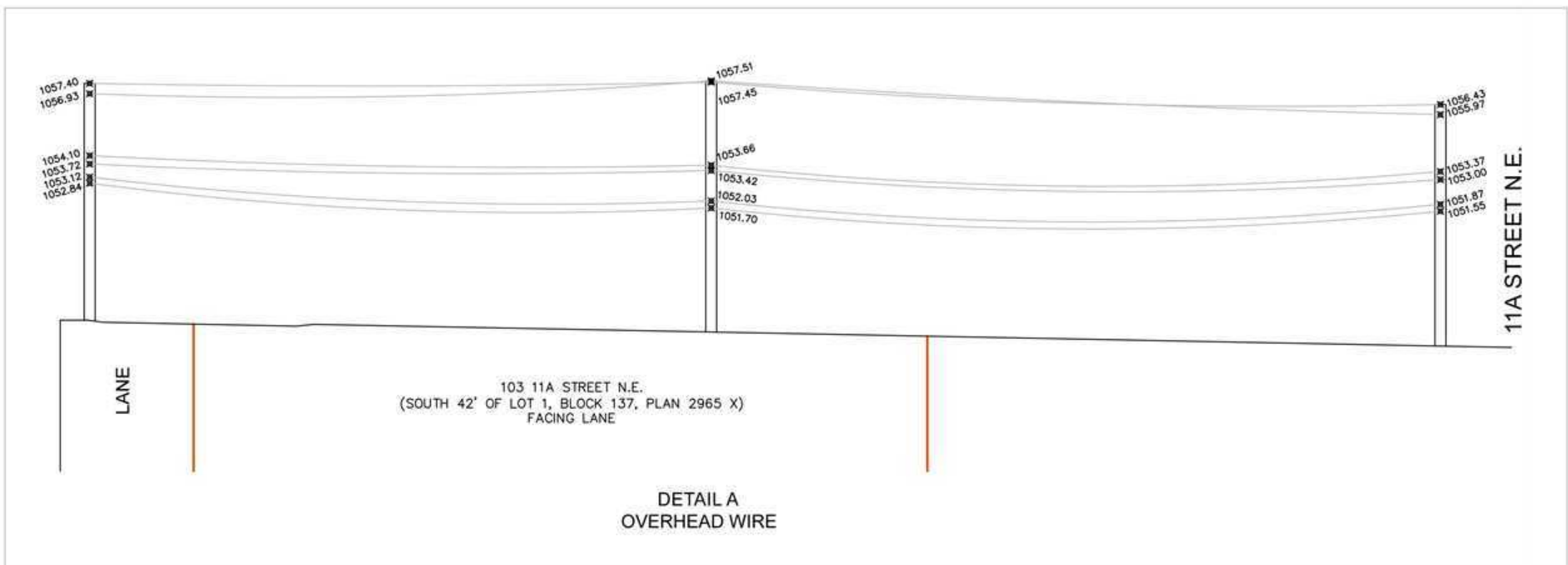
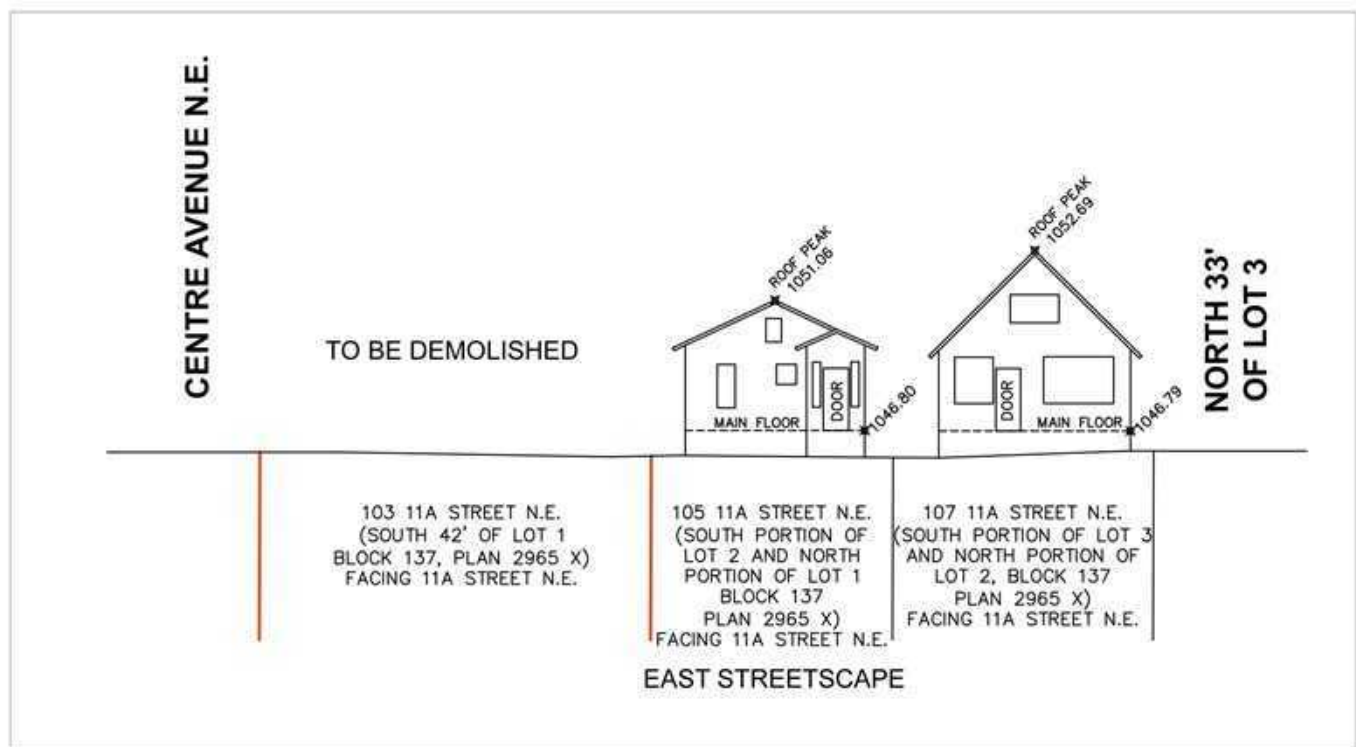
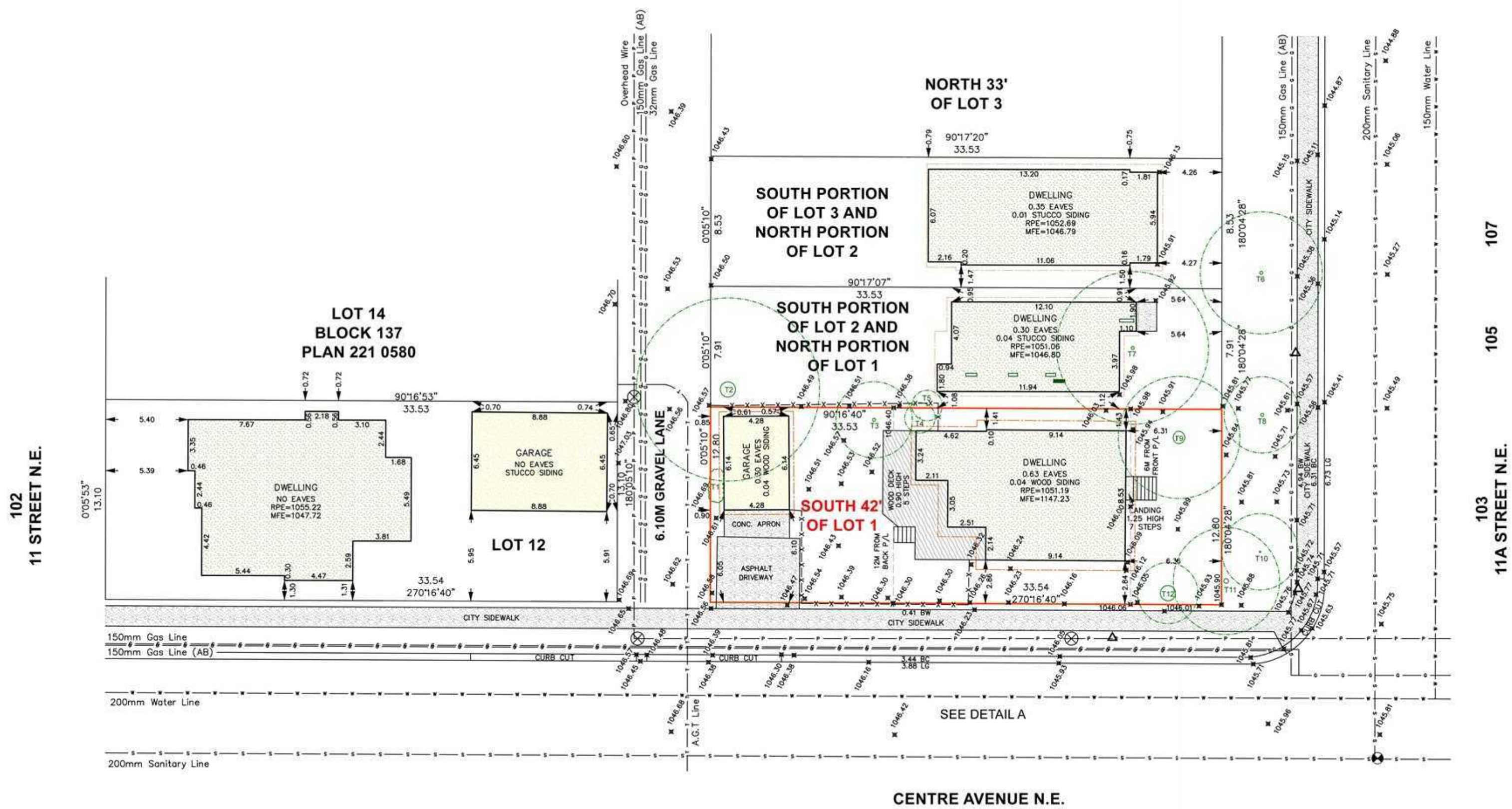
'2F.'-Second Floor
'BC'-Back of Curb
'BW'-Back of Walkway
'Cant.'-Cantilever
'Conc.'-Concrete
'Elev.'-Elevation
'Enc.'-Encroach(es)
'L'-Length of Arc
'L.O.'-Lip of Gutter
'M.F.'-Main Floor
'MFE'-Main Floor Elevation
'R'-Radius
'R/W'-Right of Way
'Ret.'-Retaining
'RPE'-Roof Peak Elevation
'WB'-Bottom of Wall
'WT'-Top of Wall

NOTE:

- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999736
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 136473.
- Existing spot elevations are shown thus:
Restrictive Covenant No. 4130 AM
Mortgage No. 251 176 925
- The Certificate of Title - 251 176 924 - which was Searched on the 18th day of November, 2025, and includes the following instruments:
Restrictive Covenant No. 4130 AM
Mortgage No. 251 176 925
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 167, 191, 213 & 255 in Sec.23-Twp.24-Rge.1-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (DBH)	Canopy (DBH)	Height (ft)	Location
11	Bush	1.00	3.00	3.00	On Property Line
12	Deciduous	1.00	12.00	6.00	In Adjacent Property
13	Deciduous	0.25	3.00	6.00	In Subject Property
14	Deciduous	0.05	2.00	3.00	In Subject Property
15	Deciduous	0.05	3.00	3.00	In Adjacent Property
16	Deciduous	0.20	8.00	7.00	In City Property
17	Deciduous	0.20	10.00	7.00	In Adjacent Property
18	Deciduous	0.25	3.00	7.00	In City Property
19	Deciduous	0.80	8.00	3.00	In Subject Property
20	Deciduous	0.10	3.00	4.00	In City Property
21	Deciduous	0.30	7.00	7.00	In City Property
22	Deciduous	1.00	4.00	3.00	In Subject Property



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File No.: 251428 Date: 01/Dec/2025
Surveyed: YR/TL Drawn: LZ/SS
Horizon Land Surveys Inc.
130 Bowmans Centre N.W. P. 403-719-0272
Calgary, Alberta, T2B 2A5 F. 403-775-4171