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RICHMOND GREEN | BUILDING 3000



ISSUED FOR DEVELOPMENT PERMIT - JANUARY 22, 2026
ISSUED FOR DR1 RESPONSE - MAY 11, 2026
ISSUED FOR DR2 RESPONSE - JUNE 18, 2026

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DRAWING LIST

- Architectural
- DP0.0 TITLE PAGE, SHEET LIST & CONSULTANTS
 - DP1.1 PROJECT INFORMATION AND WASTE & RECYCLING DETAILS
 - DP1.2 SITE PLAN
 - DP1.3 SITE SURVEY
 - DP1.4 SITE CONTEXT
 - DP1.5 SITE DETAILS
 - DP1.6 PARKADE RAMP PLAN AND SECTION
 - DP1.7 VEHICLE SWEEP PATHS
 - DP1.8 FIRE TRUCK PATHS
 - DP1.9 3D VIEWS
 - DP2.1 PARKADE PLAN
 - DP2.2 FLOORPLAN - PARKADE
 - DP2.3 FLOORPLAN - LEVEL 1
 - DP2.4 FLOORPLAN - LEVEL 2
 - DP2.5 FLOORPLAN - ROOF
 - DP3.1 ELEVATIONS
 - DP4.1 SECTIONS

Landscape

- L01 OVERALL PLAN
- L02 LANDSCAPE PLAN
- L03 LANDSCAPE DETAILS
- L04 DETAILS - TREE PROTECTION

Civil

- SP-1 SITE SERVICING PLAN
- SP-2 SITE GRADING PLAN

AMENDED DRAWINGS
DP No Date Received
DP2026-00472 JUN 19 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
33	26.01.22	ISSUED FOR DEVELOPMENT PERMIT (B3000)
53	26.04.08	ISSUED FOR REVIEW
61	26.05.11	ISSUED FOR DR1 (B3000)
74	26.06.18	ISSUED FOR DR2

PERMIT TO PRACTICE

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

#3000 3450 SARCEE RD SW
CALGARY, AB

DRAWING

TITLE PAGE, SHEET LIST &
CONSULTANTS

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DJ

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TC

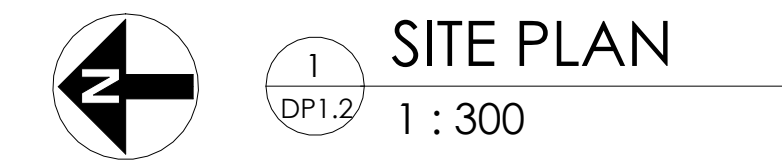
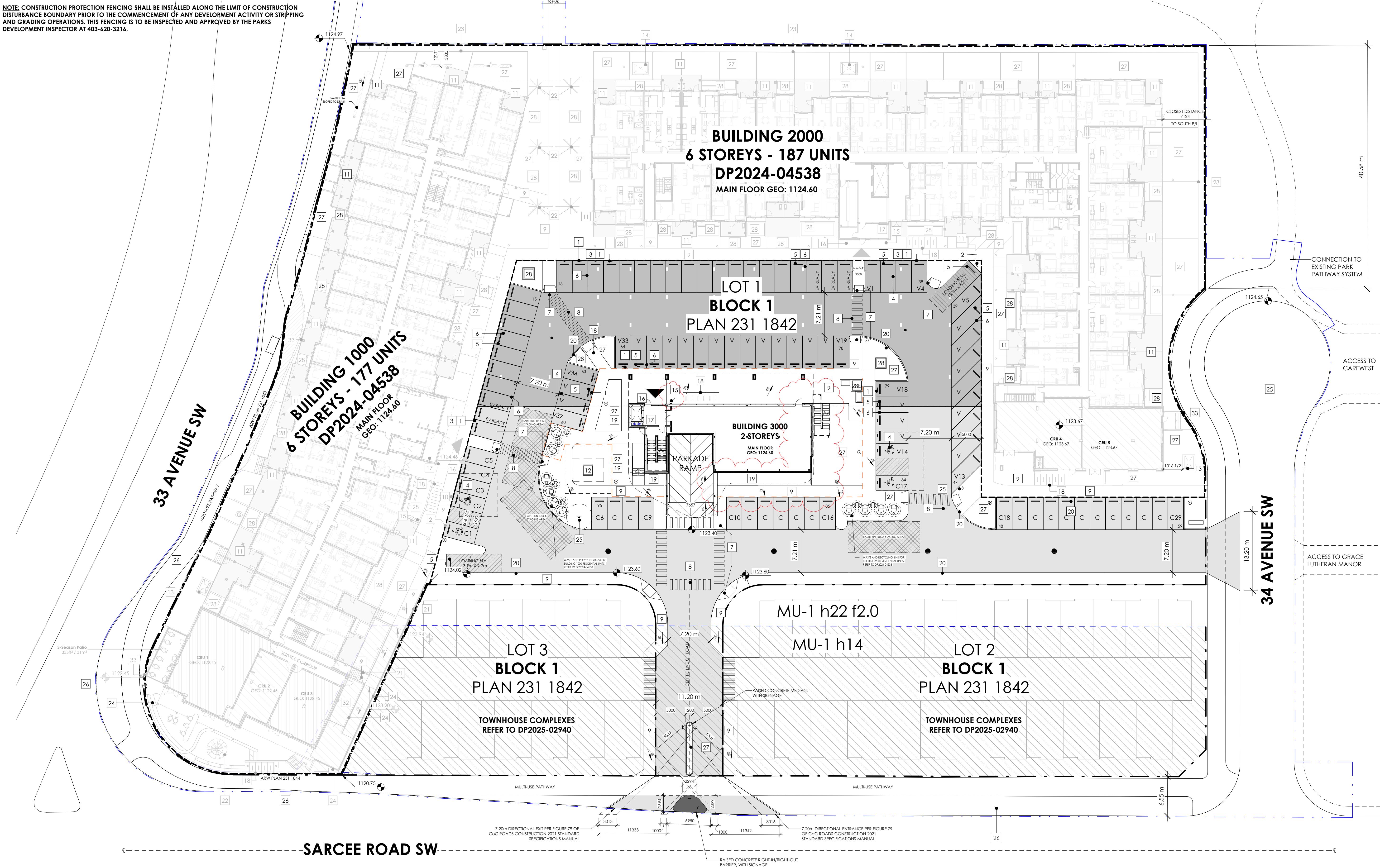
SCALE
AS NOTED

SHEET

2403

DP0.0

NOTE: CONSTRUCTION PROTECTION FENCING SHALL BE INSTALLED ALONG THE LIMIT OF CONSTRUCTION DISTURBANCE BOUNDARY PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY OR STRIPPING AND GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR AT 403-620-3216.



HEAVY DUTY ASPHALT TO SUPPORT MINIMUM 85,000 lb (38,554kg) VEHICLE ACCESS. REQUIRED TO SUPPORT 75psi (517kpa) POINT LOAD OVER 24"x24" AREA AS PER NPPA 1901

HEAVY DUTY CONCRETE (DOTTED DARK GREY) TO SUPPORT MINIMUM 85,000 lb (38,554kg) VEHICLE ACCESS OVER PARKADE. REQUIRED TO SUPPORT 75psi (517kpa) POINT LOAD OVER 24"x24" AREA AS PER NPPA 1901

SITE LEGEND	
KEY #	DESCRIPTION
1	VISITOR PARKING SIGN
2	LOADING STALL SIGN
3	BARRIER FREE PARKING SIGN
4	BARRIER FREE SYMBOL
5	WHEEL STOP
6	100mm PAINTED PARKING LINES
7	CURB CUT
8	PAINTED CROSSWALK
9	2.0m SIDEWALK - NON-COLOURED BRUSH-FINISHED CONCRETE TYPICAL

SITE LEGEND	
KEY #	DESCRIPTION
10	COMMERCIAL PARKING STALL SIGN
11	AT GRADE UNIT PATIO WITH GATE & 1.5m WALKWAY
12	TRANSFORMER ON CONCRETE PAD
13	PARKADE EXHAUST DOGHOUSE C/W LANDSCAPE SCREENING
14	PARKADE INTAKE SHAFT + GRATE C/W LANDSCAPE SCREENING
15	FIRE DEPARTMENT CONNECTION
16	LOCKBOX
17	FIRE ALARM PANEL
18	CLASS 2 BICYCLE STALLS

SITE LEGEND	
KEY #	DESCRIPTION
19	REFER TO LANDSCAPE DRAWINGS
20	FIRE LANE - NO PARKING SIGN
21	METAL GUARD RAIL
22	LANDSCAPE ART FEATURE
23	1.2m HIGH BLACK METAL PICKET FENCE
24	FREESTANDING SIGNAGE (PYLON SIGN)
25	FIRE HYDRANT, REFER TO CIVIL
26	REFER TO CD2021-0210 FOR BOULEVARD AND LANE UPGRADES ALONG 33RD AVE, 34TH AVE AND SARCEE RD.

SITE LEGEND	
KEY #	DESCRIPTION
27	DROUGHT-TOLERANT SOD, REFER TO LANDSCAPE
28a	CAST IN PLACE ELEVATED PLANTER
28b	FURNITURE PLANTER
29	NORTH STORM WATER TANK, REFER TO CIVIL
30	SOUTH STORM WATER TANK, REFER TO CIVIL
31	PRIVACY FENCE ON CONCRETE RETAINING WALL
32	COMMERCIAL STAGING AREA
33	DEMARCATED WITH RETROREFLECTIVE MATERIAL TO PREVENT POTENTIAL RISKS TO MULTI-USE PATHWAY USERS
35	1.0m HIGH METAL DECORATIVE FENCE, OMEGA 80 FENCE OR SIMILAR

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
8	25.07.21	ISSUED FOR PTR
33	26.01.22	ISSUED FOR DEVELOPMENT PERMIT (B3000)
53	26.04.08	ISSUED FOR REVIEW
61	26.05.11	ISSUED FOR DR1 (B3000)

AMENDED DRAWINGS
DP No DP2026-00472 Date Received MAY 14 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

PROPERTY LINE

RETAINING WALL

LIMIT OF CONSTRUCTION DISTURBANCE

TEMPORARY CONSTRUCTION FENCE

- NOTES:
- A. ALL DEVELOPMENT ON SITE IS PROPOSED
 - B. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
 - C. REFER TO LANDSCAPE DRAWINGS FOR ALL MATERIALS SPECIFIC TO LANDSCAPING
 - D. REFER TO ELECTRICAL FOR SRE LIGHTING LAYOUT
 - E. ALL PARKING STALLS SHALL NOT HAVE ANY GRADES GREATER THAN 4%
 - F. PARKING STALLS TO BE MIN: 2500mm x 5400mm - RESIDENTIAL STALLS 2600mm x 5400mm - VISITOR STALLS 2600mm x 5400mm - BARRIER FREE STALLS
 - G. ALL STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
 - H. WASTE AND RECYCLING: PRIVATE EARTH BIN PICKUP
 - I. ALL LOADING STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
 - J. ALL LOADING STALL SURFACE - HEAVY DUTY ASPHALT
 - K. ALL SIDEWALKS 2000mm WIDE - TYPICAL
 - L. ALL VISITOR PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
 - M. ALL BARRIER FREE PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
 - N. SEE CIVIL DRAWINGS FOR LOCATIONS OF ALL CATCH BASINS, UTILITY POLES AND CUT WIRE
 - O. EMERGENCY ACCESS TO BE CONSTRUCTED TO SUPPORT 65,000lbs AND TO BE MAINTAINED CLEAR OF ICE AND SNOW
 - P. ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE / APPROACH AREA / CONCRETE PADS / CONCRETE APRONS / PARKING STRUCTURES ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM WEIGHT OF 25,000kg
 - Q. PROVIDE NO PARKING SIGNS ALONG THE FIRE ACCESS ROUTE IN LOCATIONS WHERE THERE ARE NO ADJACENT DESIGNATED PARKING STALLS

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

#3000 3450 SARCEE RD SW
CALGARY, AB

DRAWING

SITE PLAN

DRAWN BY
DJ

JOB NO.
2403

SHEET

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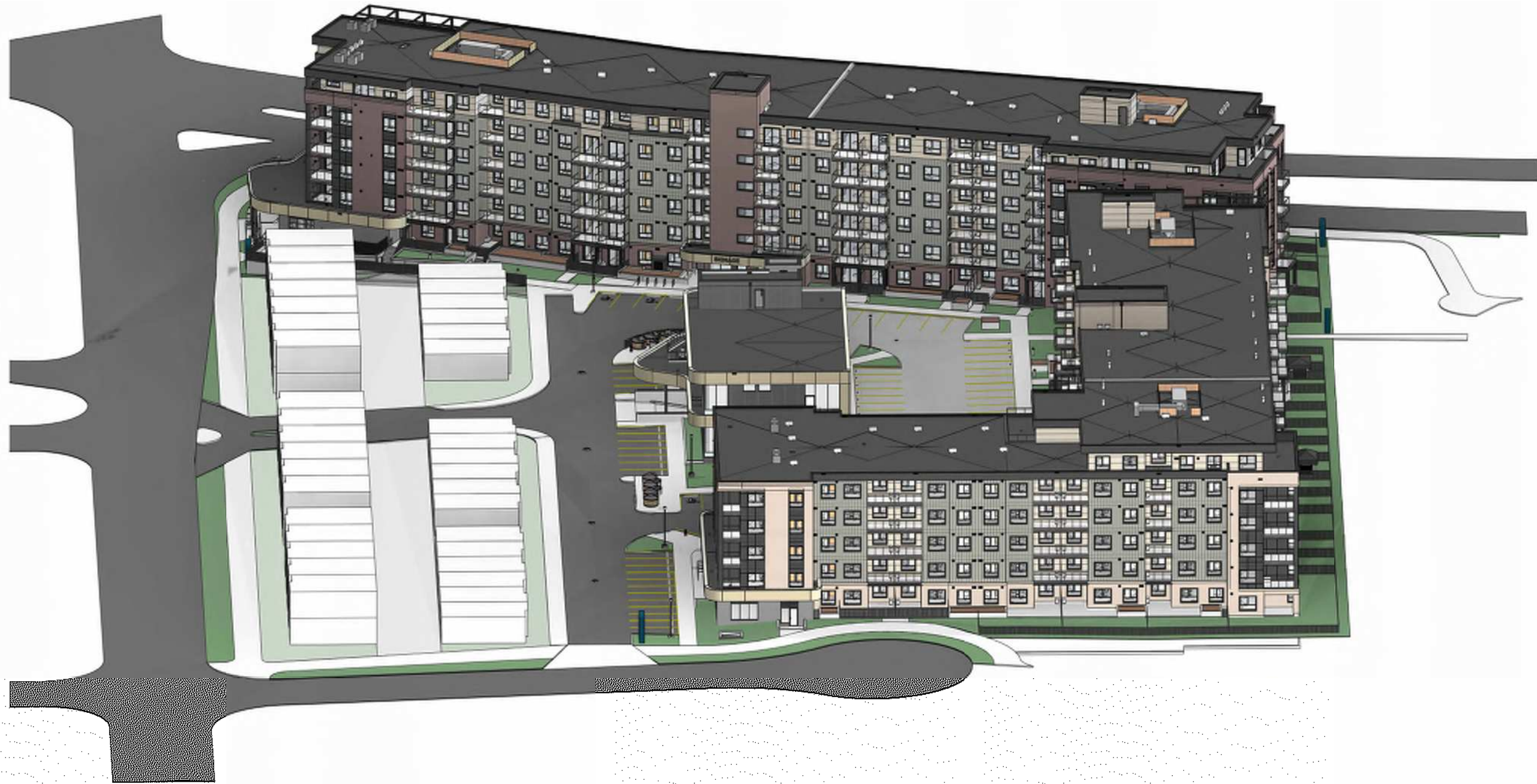
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DP1.2



3D VIEW 1



3D VIEW 2



3D VIEW 3



3D VIEW 4

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AMENDED DRAWINGS

DP No Date Received
DP2026-00472 MAY 14 2026

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DEVELOPMENT
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DECISION
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PROJECT NAME AND ADDRESS

RICHMOND GREEN

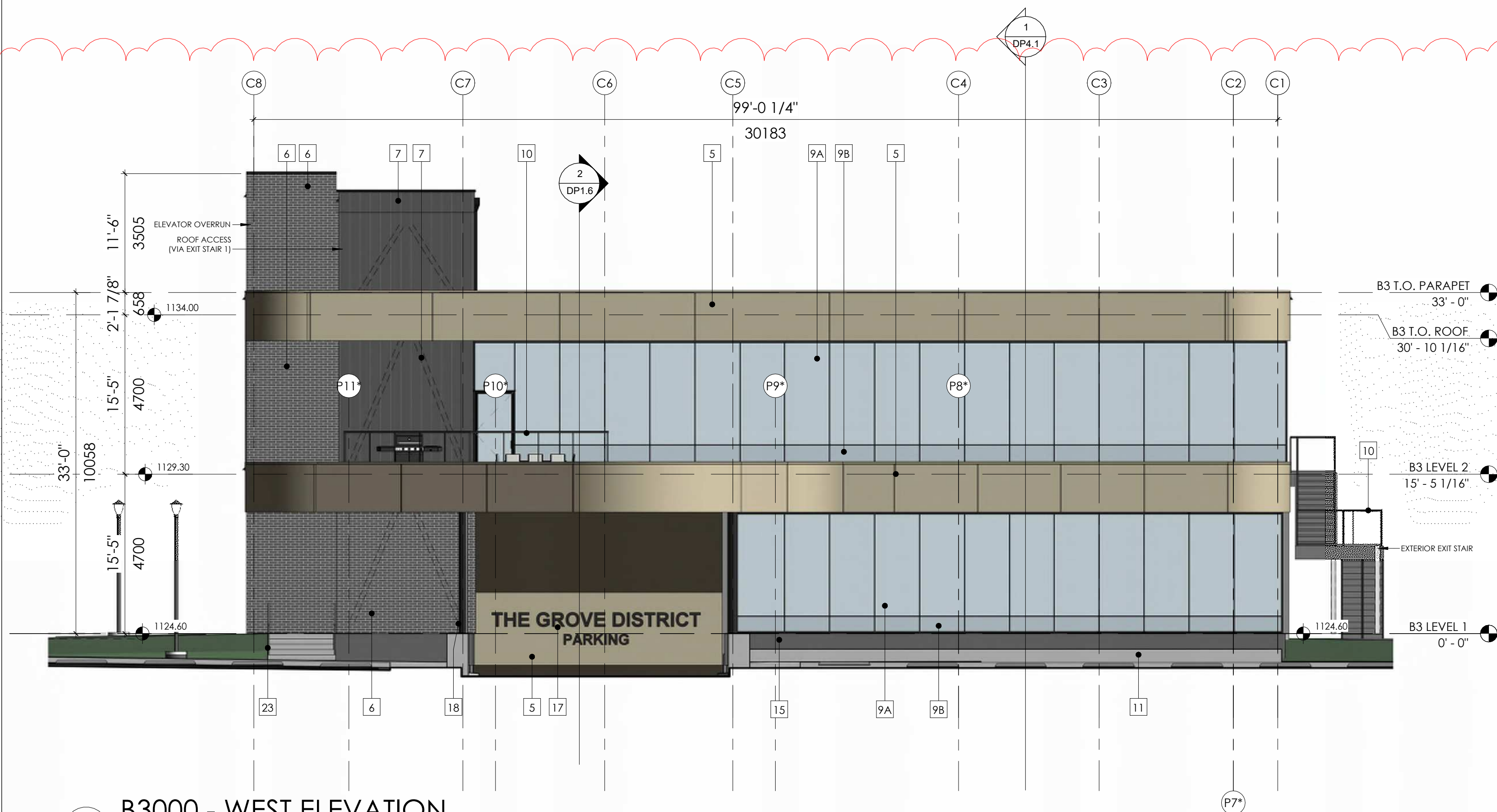
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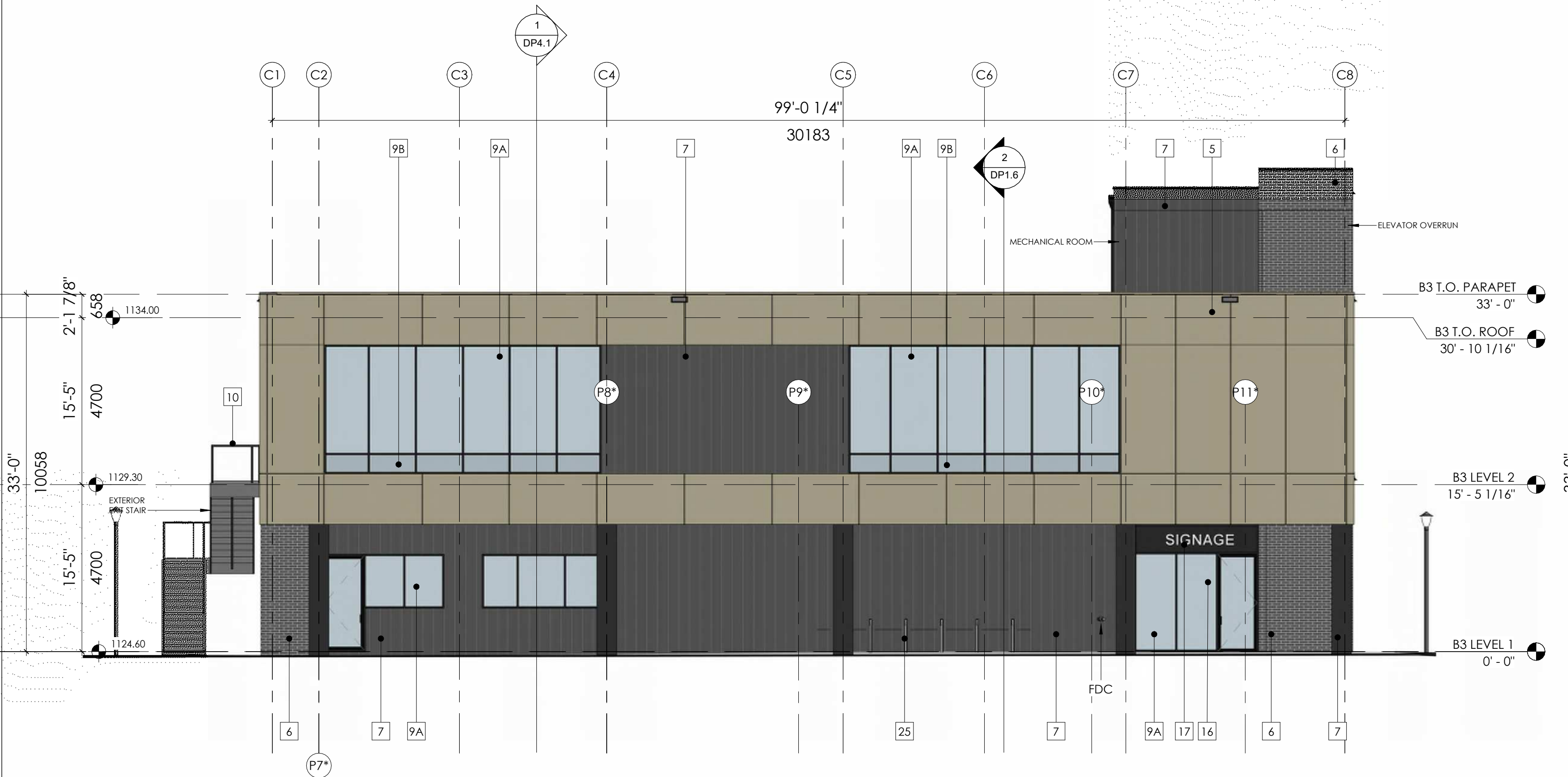
3D VIEWS

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DJ	2403	
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SCALE		
AS NOTED		

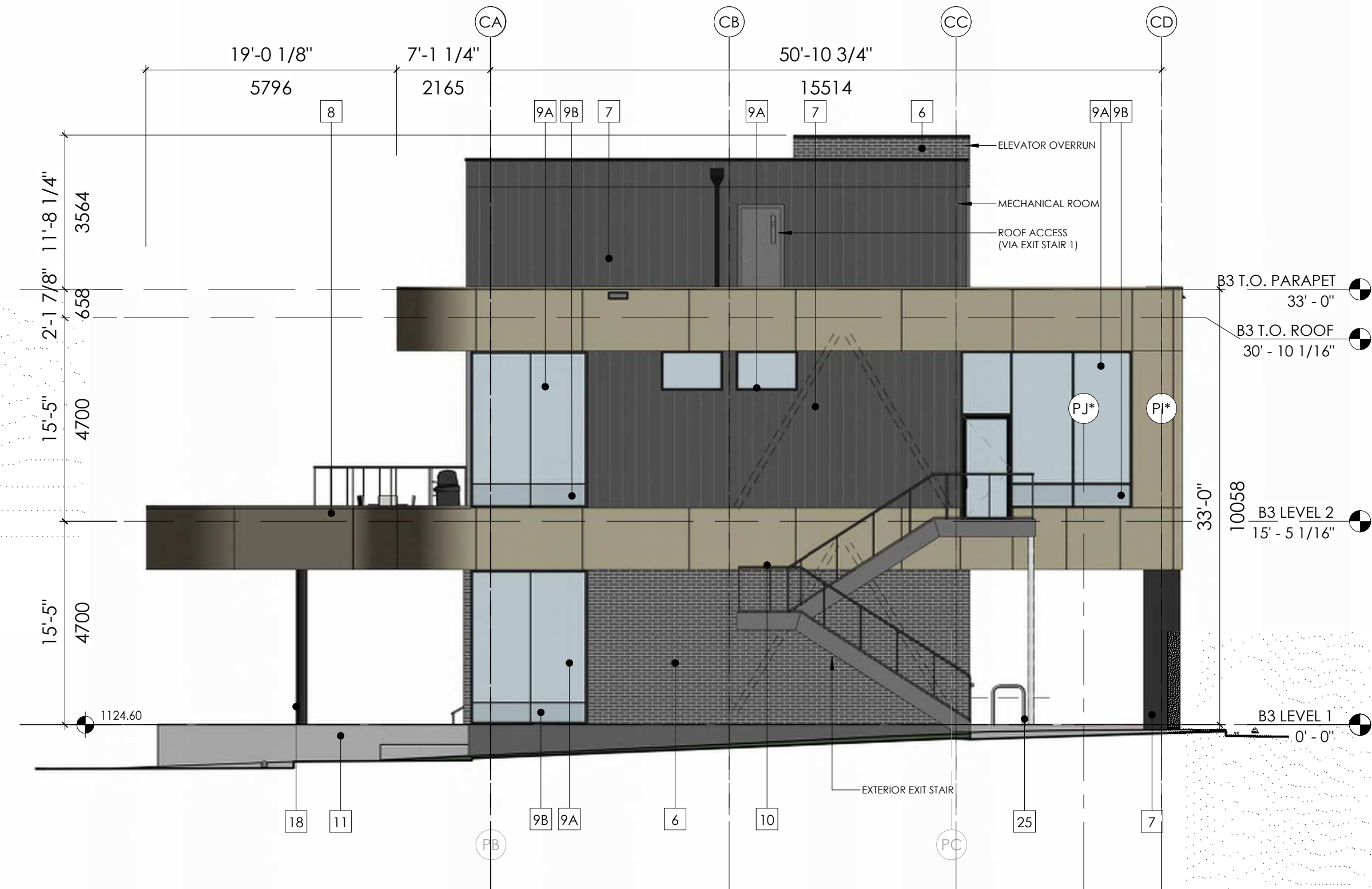
DP1.9



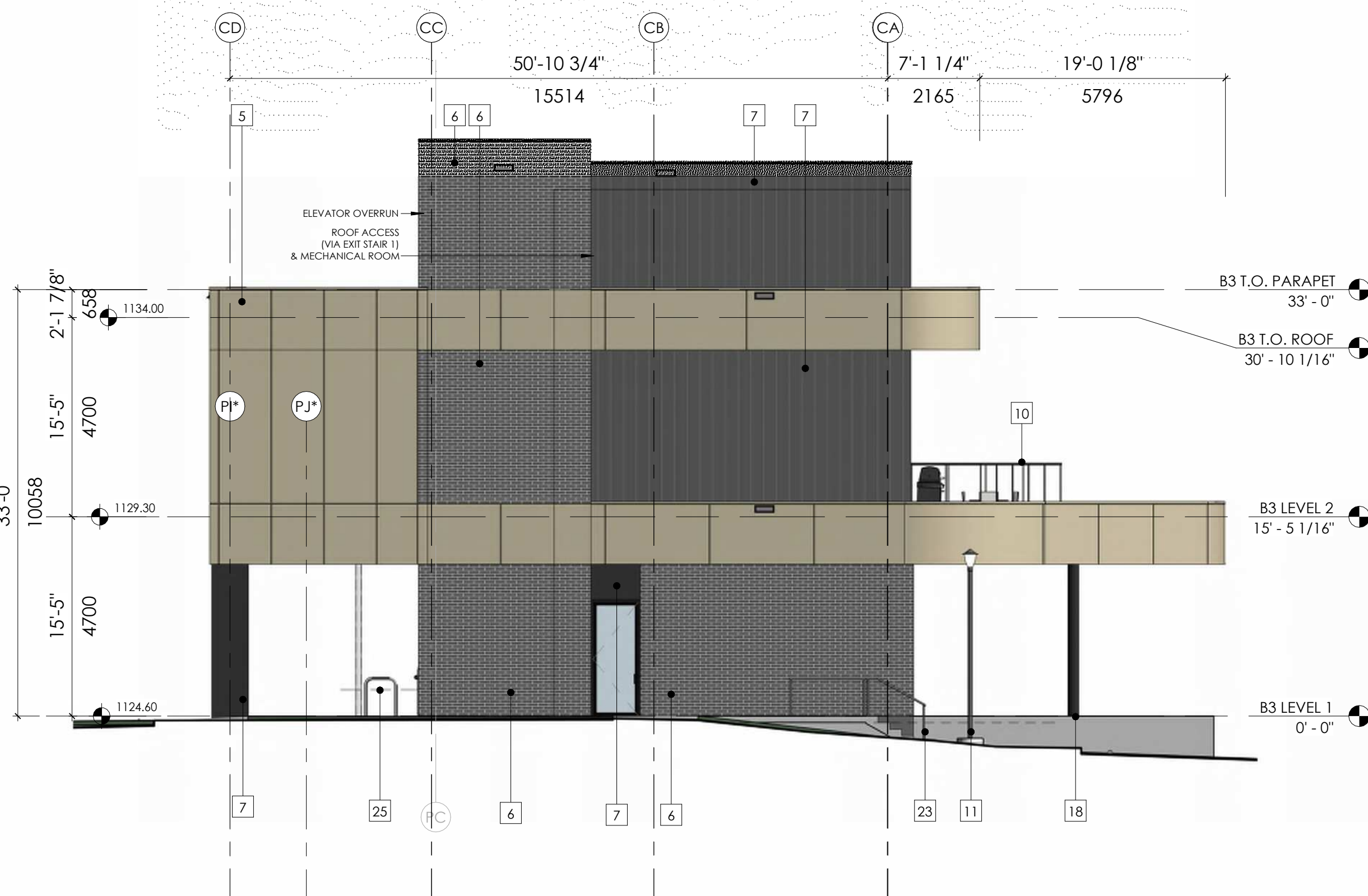
1
DP3.1
B3000 - WEST ELEVATION
1 : 100



3
DP3.1
B3000 - EAST ELEVATION
1 : 100



2
DP3.1
B3000 - SOUTH ELEVATION
1 : 100



4
DP3.1
B3000 - NORTH ELEVATION
1 : 100

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53	26.04.08	ISSUED FOR REVIEW
61	26.05.11	ISSUED FOR DR1 (B3000)

AMENDED DRAWINGS
DP No 26026-00472
Date Received MAY 14 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

MATERIAL LEGEND

##	MATERIAL
1A	BRICK MASONRY VENEER - RED
1B	BRICK MASONRY VENEER - TAN
2	FIBRE CEMENT PANEL - BLACK
3	FIBRE CEMENT HORIZONTAL LAPPED SIDING - BEIGE
4	FIBRE CEMENT BOARD AND BATTEN - DARK BROWN
5	ACM METAL PANEL - BRONZE
6	BRICK MASONRY - DARK GREY
7	METAL PANEL - BLACK
8	GLULAM BEAM/COLUMN
9A	GLAZING
9B	GLAZED SPANDREL PANEL
10	ALUMINIUM AND GLASS GUARD
11	CONCRETE RETAINING WALL
12	MECHANICAL CURTAIN
13	FIBRE CEMENT FASCIA - BLACK
14	FIBRE CEMENT TRIM - BLACK
15	BBS - DARK GREY
16	ADDRESS NUMBERS - BLACK
17	SIGNAGE
18	METAL COLUMN - BLACK
19	CHAIN LINK FENCE
20	ALUMINIUM AND TRANSLUCENT GLASS PRIVACY SCREEN
21	HVAC AIR GRATE - ALUMINIUM FINISH
22	ASPHALT SHINGLES - BLACK
23	FREESTANDING HANDRAIL
24	FREESTANDING FURNITURE PLANTER. REFER TO LANDSCAPE
25	GLASS 2 BICYCLE PARKING STALL
26	BLACK METAL FENCE SCREENING
27	ALUMINIUM PICKET GUARD/FENCE - BLACK

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RICHMOND GREEN

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CALGARY, AB

DRAWING

ELEVATIONS

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DP3.1