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RICHMOND GREEN | BUILDING 3000



ISSUED FOR DEVELOPMENT PERMIT - JANUARY 22, 2026

CLIENT

CONSULTANTS

sarinahomes

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arquiecos

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
33	26.01.22	ISSUED FOR DEVELOPMENT PERMIT (B3000)

DRAWING LIST

- Architectural
- DP0.0 TITLE PAGE, SHEET LIST & CONSULTANTS
 - DP1.1 PROJECT INFORMATION AND WASTE & RECYCLING DETAILS
 - DP1.2 SITE PLAN
 - DP1.3 SITE SURVEY
 - DP1.4 SITE CONTEXT
 - DP1.5 SITE DETAILS
 - DP1.6 PARKADE RAMP PLAN AND SECTION
 - DP1.7 VEHICLE SWEEP PATHS
 - DP1.8 FIRE TRUCK PATHS
 - DP1.9 3D VIEWS
 - DP2.1 PARKADE PLAN
 - DP2.2 FLOORPLAN - PARKADE
 - DP2.3 FLOORPLAN - LEVEL 1
 - DP2.4 FLOORPLAN - LEVEL 2
 - DP2.5 FLOORPLAN - ROOF
 - DP3.1 ELEVATIONS
 - DP4.1 SECTIONS

- Landscape
- L01 OVERALL PLAN
 - L02 LANDSCAPE PLAN
 - L03 LANDSCAPE DETAILS
 - L04 DETAILS - TREE PROTECTION

- Civil
- SP-1 SITE SERVICING PLAN
 - SP-2 SITE GRADING PLAN

PERMIT TO PRACTICE

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

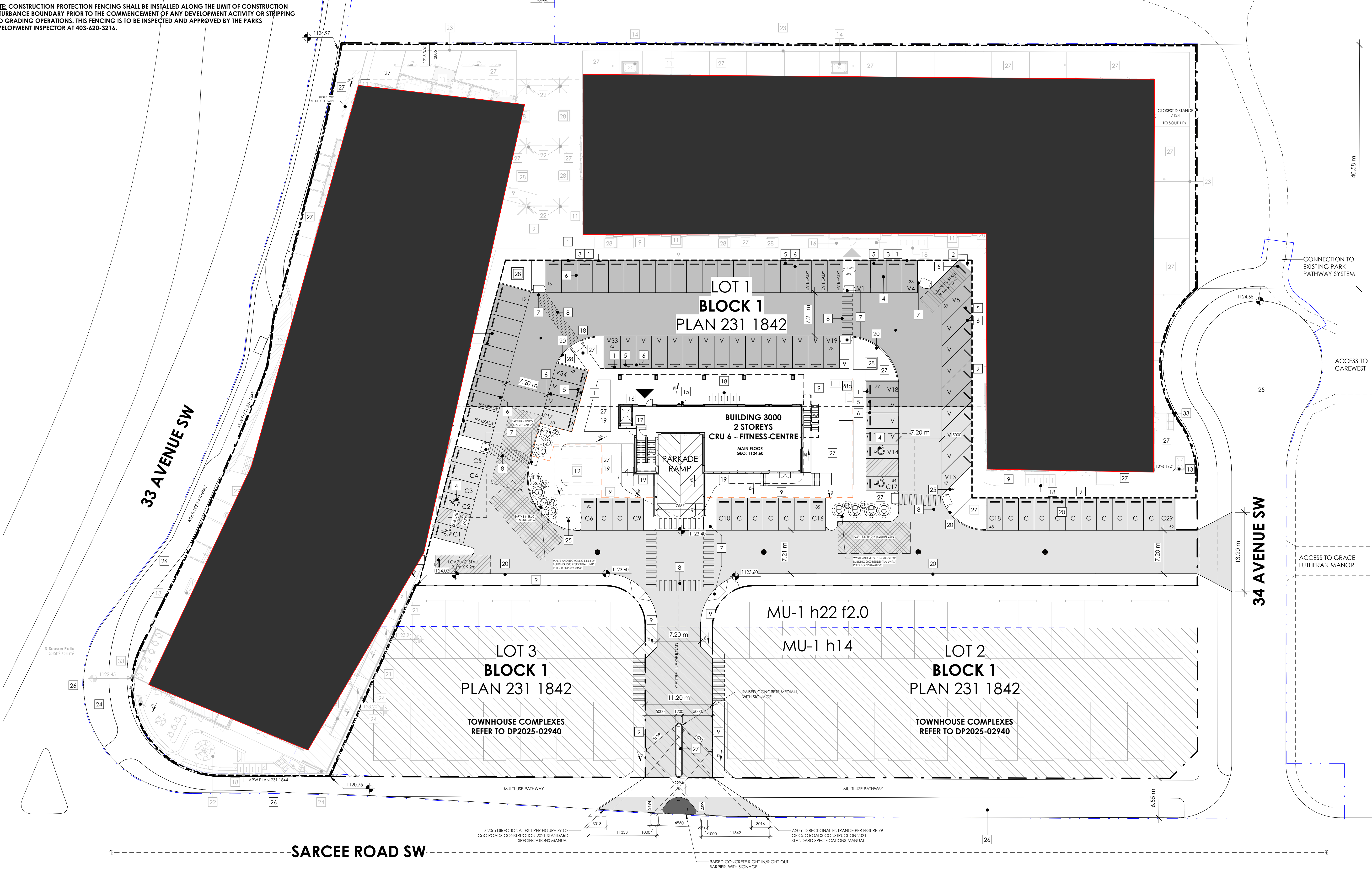
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TITLE PAGE, SHEET LIST &
CONSULTANTS

DRAWN BY	JOB NO.	SHEET
DJ	2403	
CHECKED BY		
TC		
SCALE		
AS NOTED		

DP0.0

NOTE: CONSTRUCTION PROTECTION FENCING SHALL BE INSTALLED ALONG THE LIMIT OF CONSTRUCTION DISTURBANCE BOUNDARY PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY OR STRIPPING AND GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR AT 403-620-3216.



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Number	Date (yy/mm/dd)	Description
8	25.07.21	ISSUED FOR PTR
33	26.01.22	ISSUED FOR DEVELOPMENT PERMIT (B3000)

- PROPERTY LINE
- RETAINING WALL
- LIMIT OF CONSTRUCTION DISTURBANCE
- TEMPORARY CONSTRUCTION FENCE

- NOTES:
- A. ALL DEVELOPMENT ON SITE IS PROPOSED
 - B. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
 - C. REFER TO LANDSCAPE DRAWINGS FOR ALL MATERIALS SPECIFIC TO LANDSCAPING
 - D. REFER TO ELECTRICAL FOR SITE LIGHTING LAYOUT
 - E. ALL PARKING STALLS SHALL NOT HAVE ANY GRADES GREATER THAN 4%
 - F. PARKING STALLS TO BE MIN: 2500mm x 5400mm - RESIDENTIAL STALLS 2600mm x 5400mm - VISITOR STALLS 2600mm x 5400mm - BARRIER FREE STALLS
 - G. ALL STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
 - H. WASTE AND RECYCLING: PRIVATE EARTH BIN PICKUP
 - I. ALL LOADING STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
 - J. ALL LOADING STALL SURFACE - HEAVY DUTY ASPHALT
 - K. ALL SIDEWALKS 2000mm WIDE - TYPICAL
 - L. ALL VISITOR PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
 - M. ALL BARRIER FREE PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
 - N. SEE CIVIL DRAWINGS FOR LOCATIONS OF ALL CATCH BASINS, UTILITY POLES AND GUY WIRES
 - O. EMERGENCY ACCESS TO BE CONSTRUCTED TO SUPPORT 85,000lbs AND TO BE MAINTAINED CLEAR OF ICE AND SNOW
 - P. ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE / APPROACH AREA / CONCRETE PADS / CONCRETE APRONS / PARKING STRUCTURES ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM WEIGHT OF 25,000kg
 - Q. PROVIDE NO PARKING SIGNS ALONG THE FIRE ACCESS ROUTE IN LOCATIONS WHERE THERE ARE NO ADJACENT DESIGNATED PARKING STALLS

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

SITE PLAN

DRAWN BY
DJ

CHECKED BY
TC

SCALE
AS NOTED

JOB NO.
2403

SHEET
DP1.2

SITE PLAN

1
DP1.2
1 : 300

HEAVY DUTY ASPHALT TO SUPPORT MINIMUM 85,000 lb (38,554kg) VEHICLE ACCESS, REQUIRED TO SUPPORT 75psi (517kpa) POINT LOAD OVER 24'x24' AREA AS PER NEPA 1901

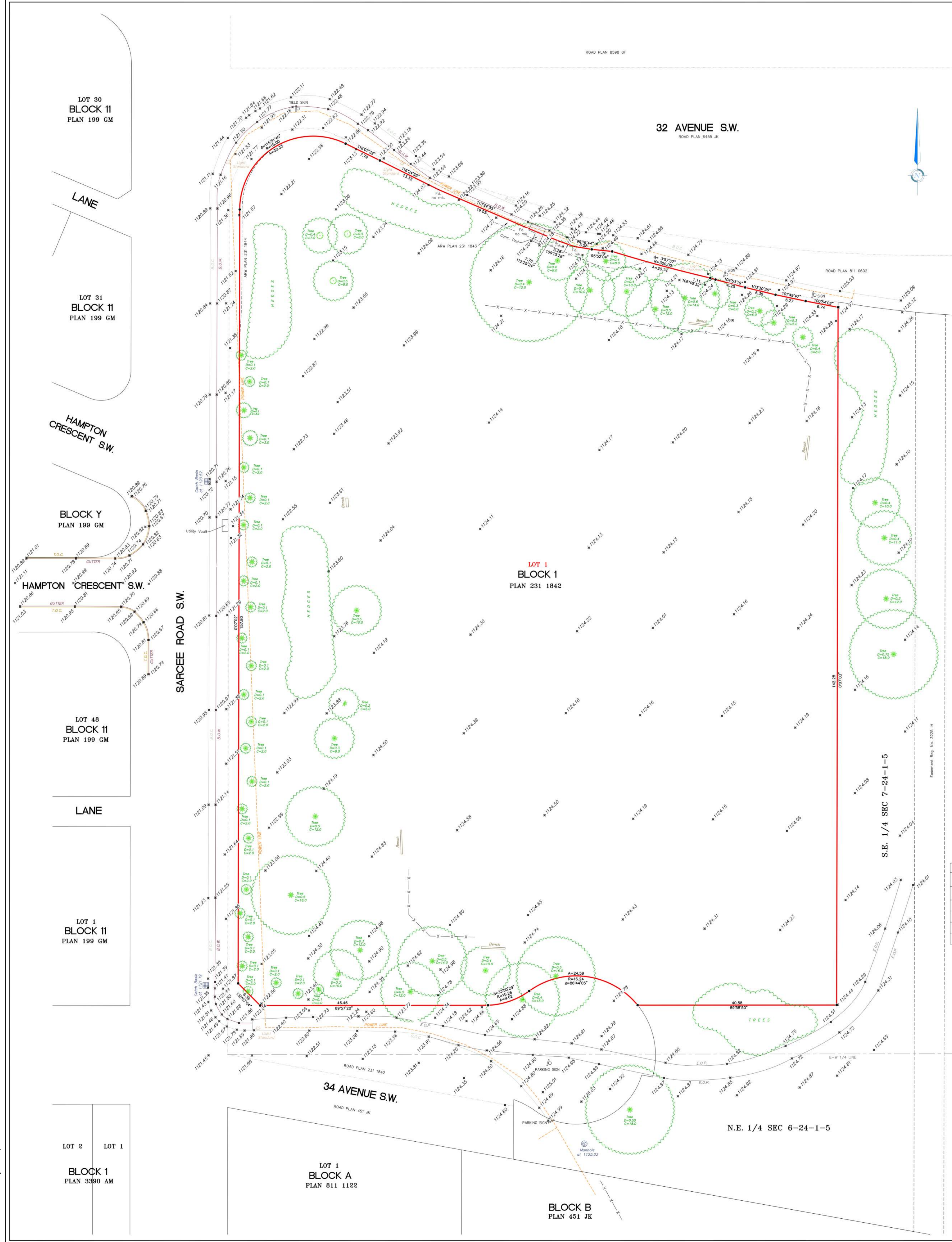
HEAVY DUTY CONCRETE (TINTED DARK GREY) TO SUPPORT MINIMUM 85,000 lb (38,554kg) VEHICLE ACCESS OVER PARKADE, REQUIRED TO SUPPORT 75psi (517kpa) POINT LOAD OVER 24'x24' AREA AS PER NEPA 1901

KEY #	DESCRIPTION
1	VISITOR PARKING SIGN
2	LOADING STALL SIGN
3	BARRIER FREE PARKING SIGN
4	BARRIER FREE SYMBOL
5	WHEEL STOP
6	100mm PAINTED PARKING LINES
7	CURB CUT
8	PAINTED CROSSWALK
9	2.0m SIDEWALK - NON-COLOURED BRUSH-FINISHED CONCRETE TYPICAL

KEY #	DESCRIPTION
10	COMMERCIAL PARKING STALL SIGN
11	AT GRADE UNIT PATIO WITH GATE & 1.5m WALKWAY
12	TRANSFORMER ON CONCRETE PAD
13	PARKADE EXHAUST DOGHOUSE C/W LANDSCAPE SCREENING
14	PARKADE INTAKE SHAFT + GRATE C/W LANDSCAPE SCREENING
15	FIRE DEPARTMENT CONNECTION
16	LOCKBOX
17	FIRE ALARM PANEL
18	CLASS 2 BICYCLE STALLS

KEY #	DESCRIPTION
19	REFER TO LANDSCAPE DRAWINGS
20	FIRE LANE - NO PARKING SIGN
21	METAL GUARD RAIL
22	LANDSCAPE ART FEATURE
23	1.2m HIGH BLACK METAL PICKET FENCE
24	FREESTANDING SIGNAGE (PYLON SIGN)
25	FIRE HYDRANT, REFER TO CIVIL
26	REFER TO CD2021-0210 FOR BOULEVARD AND LANE UPGRADES ALONG 33RD AVE, 34TH AVE AND SARCEE RD.

KEY #	DESCRIPTION
27	DROUGHT-TOLERANT SOD, REFER TO LANDSCAPE
28a	CAST IN PLACE ELEVATED PLANTER
28b	FURNITURE PLANTER
29	NORTH STORM WATER TANK, REFER TO CIVIL
30	SOUTH STORM WATER TANK, REFER TO CIVIL
31	PRIVACY FENCE ON CONCRETE RETAINING WALL
32	COMMERCIAL STAGING AREA
33	DEMARCATO WITH RETROREFLECTIVE MATERIAL TO PREVENT POTENTIAL RISKS TO MULTI-USE PATHWAY USERS
35	1.0m HIGH METAL DECORATIVE FENCE, OMEGA 80 FENCE OR SIMILAR



NOTES:

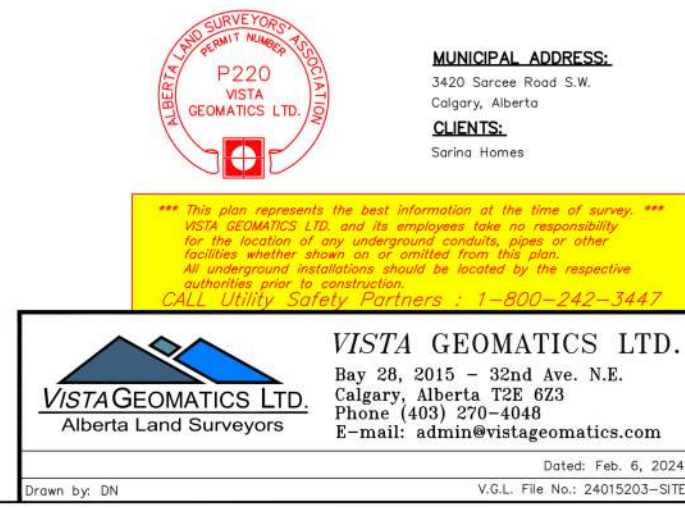
- Area affected by this plan shown bounded thus and contains 1.93 ha.
- Distances shown are ground in metres and decimals thereof.
- Elevations are geodetic and are derived from ASCM 167742 (Elevation= 1124.745m)
- Bearings are derived from a line between ASCM's 167742, 290742, 407189, 189688 and 493414

STANDARD SYMBOL LEGEND:

STATUTORY IRON POST FOUND SHOWN THIS		100.00
GEODETIC SPOT ELEVATIONS SHOWN THIS		
CATCH BASIN SHOWN THIS		
LIGHT STANDARD SHOWN THIS		
MANHOLE SHOWN THIS		
CHAIN LINK FENCE SHOWN THIS		
CANOPIES OF TREES SHOWN THIS		
TREES SHOWN THIS		
CONIFEROUS TREES SHOWN THIS		
POWER LINE SHOWN THIS		

[illegible]

Encumbrances, Liens & Interests		
C. of T. Number 231 283 511 (As to Lot 1, Block 1, Plan 231 1842)		
Registration No.	Particulars	Comments
231 283 512	Restrictive Covenant	-
231 283 513	Caveat	Caveator - The City of Calgary
231 283 515	Caveat	Re - Easement
231 283 517	Caveat	Re - Easement



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PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

SITE SURVEY

DRAWN BY

DJ	2403
----	------

CHECKED

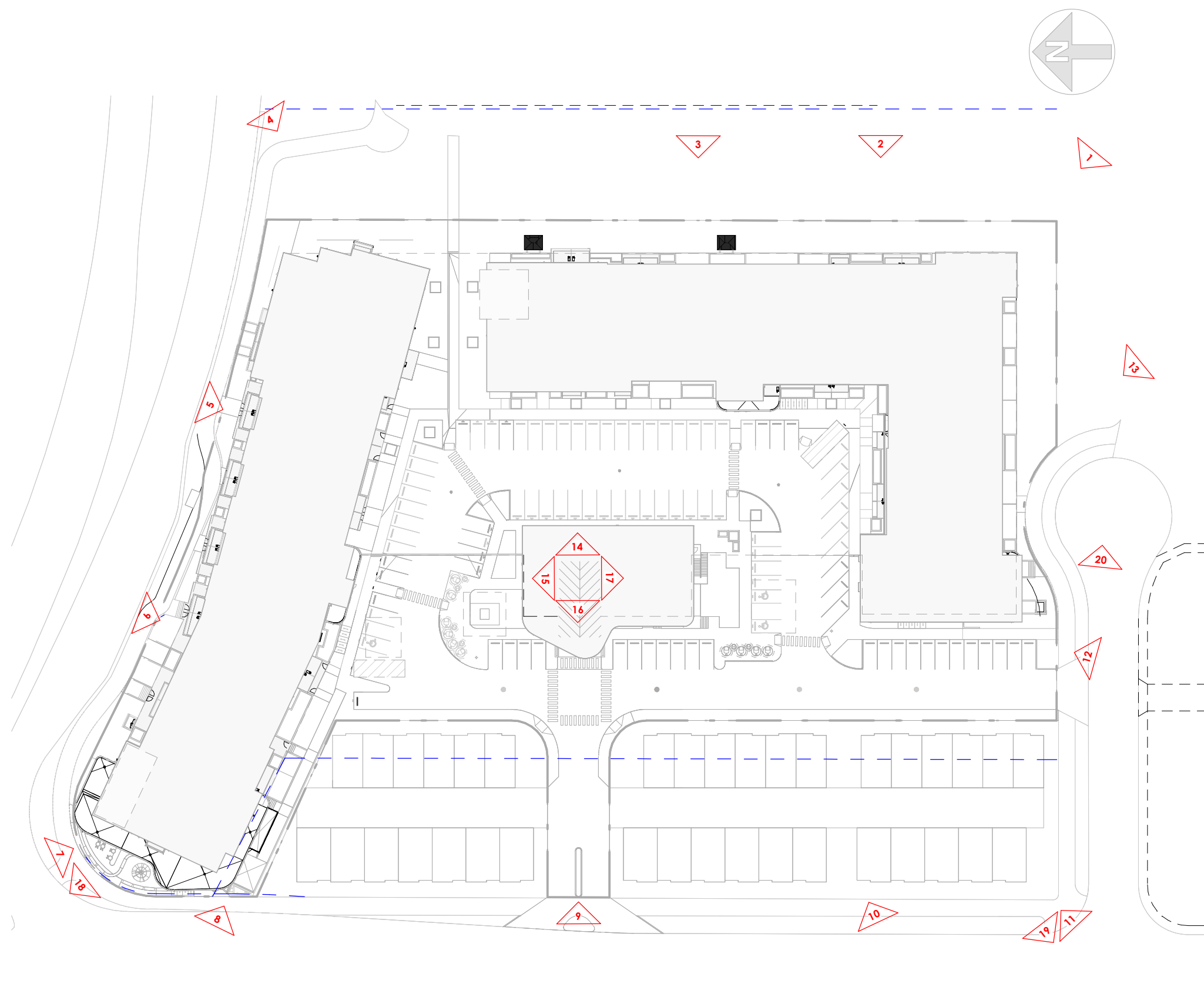
TC

SCALE

AS NOT

SHEET

DP1.3



1
DP1.4
SITE CONTEXT PLAN
1 : 800



LAND USE BYLAW MAP



01: SE PROPERTY CORNER



02: EAST PROPERTY (01)



03: EAST PROPERTY (02)



04: NE PROPERTY CORNER



05: NORTH PROPERTY (01)



06: NORTH PROPERTY (02)



07: NW PROPERTY CORNER



08: WEST PROPERTY (01)



09: WEST PROPERTY (02)



10: WEST PROPERTY (03)



11: SW PROPERTY CORNER



12: SOUTH PROPERTY (01)



13: SOUTH PROPERTY (02)



14: LOOKING EAST



15: LOOKING NORTH



16: LOOKING WEST



17: LOOKING SOUTH



18: SARCEE RD & 33RD AVE



19: SARCEE RD & 34TH AVE



20: SOUTH PATHWAY

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3420 SARCEE ROAD SW
CALGARY AB

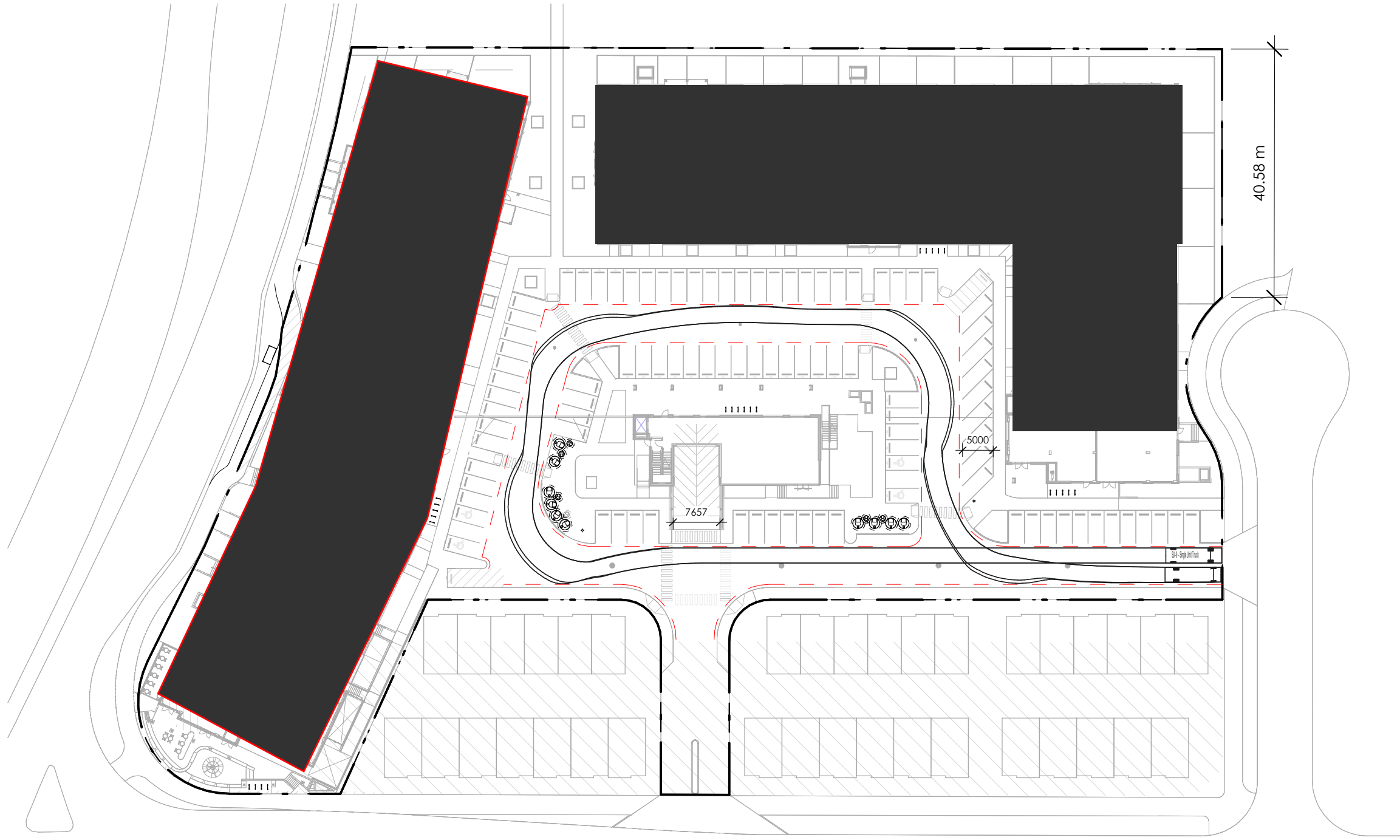
DRAWING
SITE CONTEXT

DRAWN BY
DJ
CHECKED BY
TC
SCALE
AS NOTED

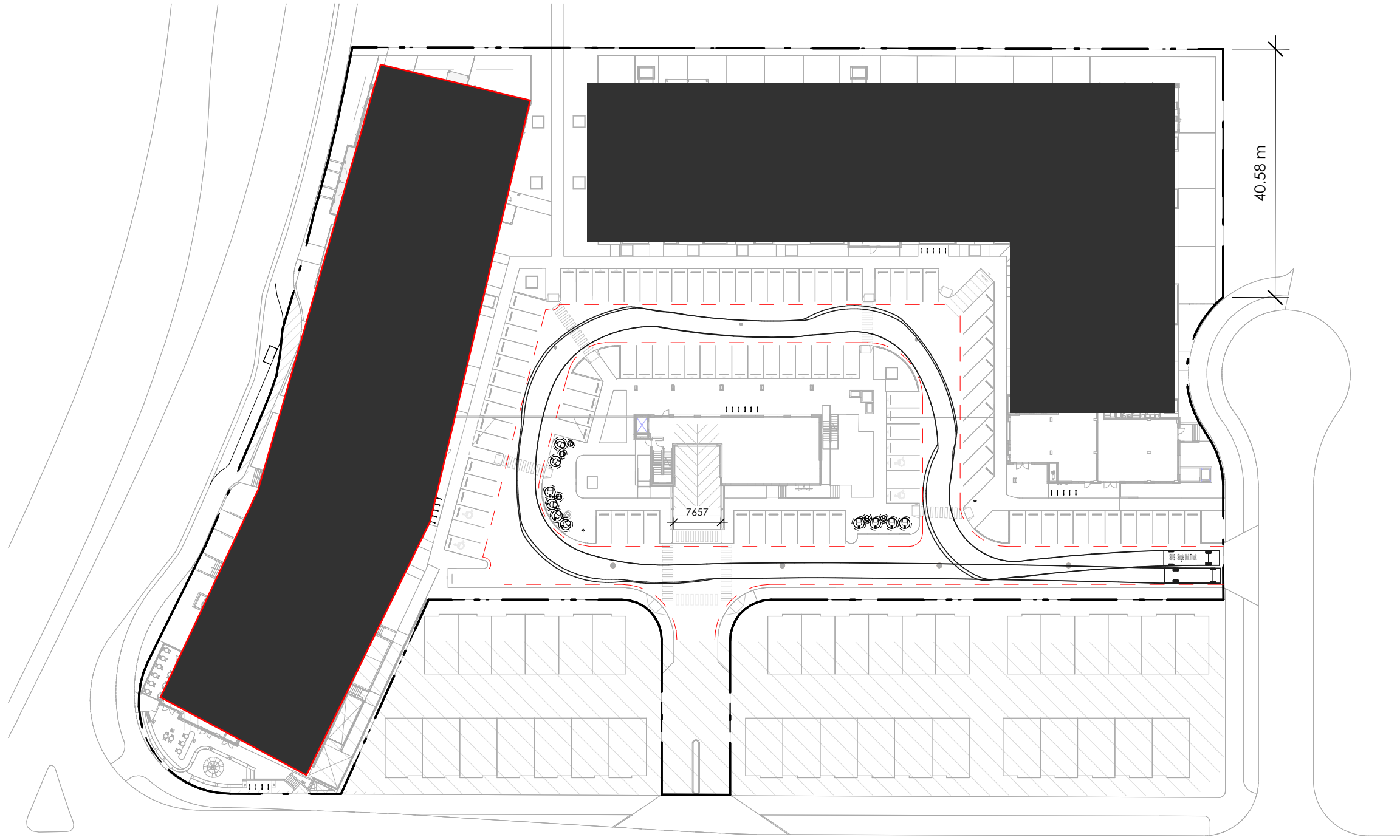
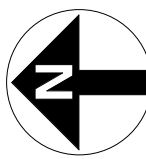
JOB NO.
2403

SHEET

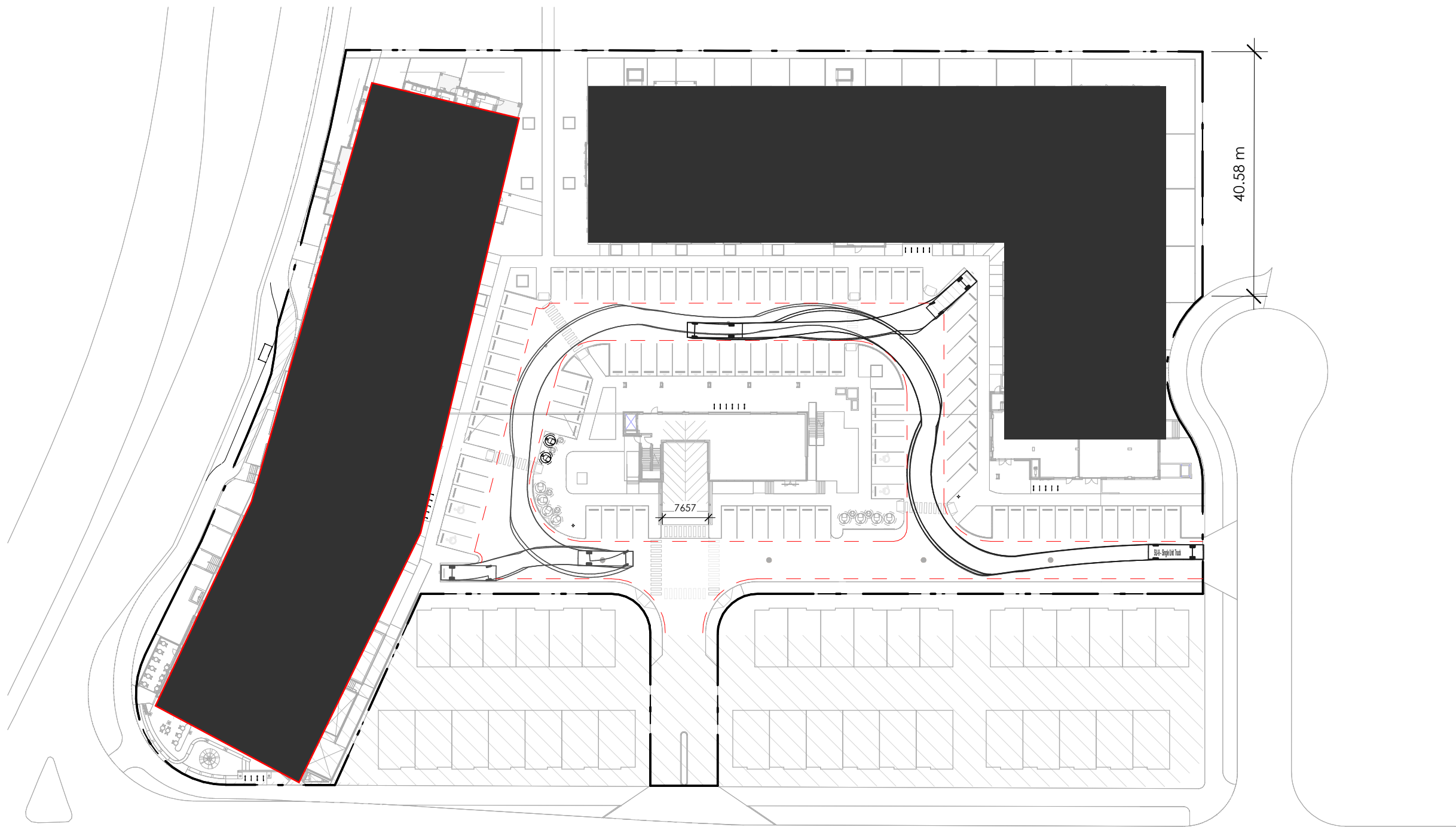
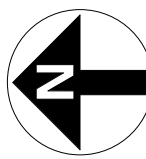
DP1.4



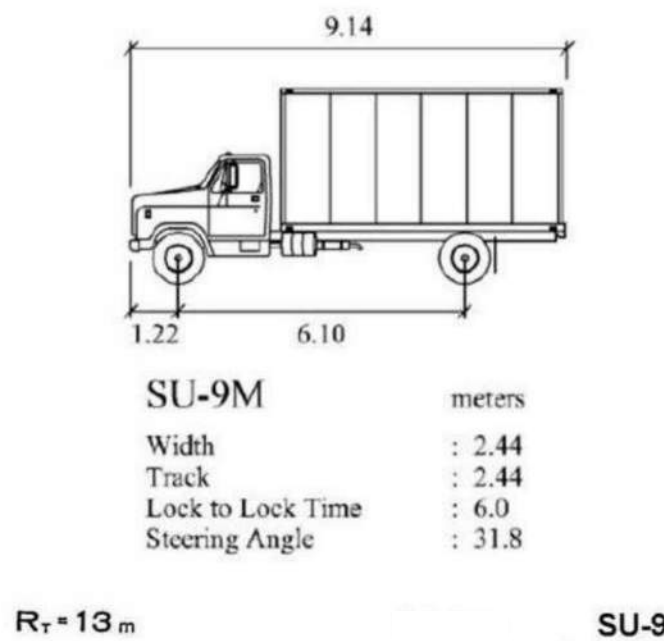
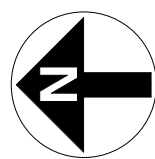
1
DP1.7
VEHICLE SWEEP - SITE ACCESS CLOCKWISE
1 : 750



2
DP1.7
VEHICLE SWEEP - SITE ACCESS COUNTER CLOCKWISE
1 : 750



3
DP1.7
VEHICLE SWEEP - LOADING STALLS
1 : 750



SU-9M meters
Width : 2.44
Track : 2.44
Lock to Lock Time : 6.0
Steering Angle : 31.8
R_T = 13 m SU-9

4
DP1.7
SU-9 Vehicle Data Copy 1
NTS

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DENOTES 500mm OFFSET FROM FACE OF CURB OR OTHER OBSTRUCTION

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

VEHICLE SWEEP PATHS

DRAWN BY
DJ
CHECKED BY
TC
SCALE
AS NOTED

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SHEET

DP1.7



3D VIEW 1



3D VIEW 2



3D VIEW 3



3D VIEW 4

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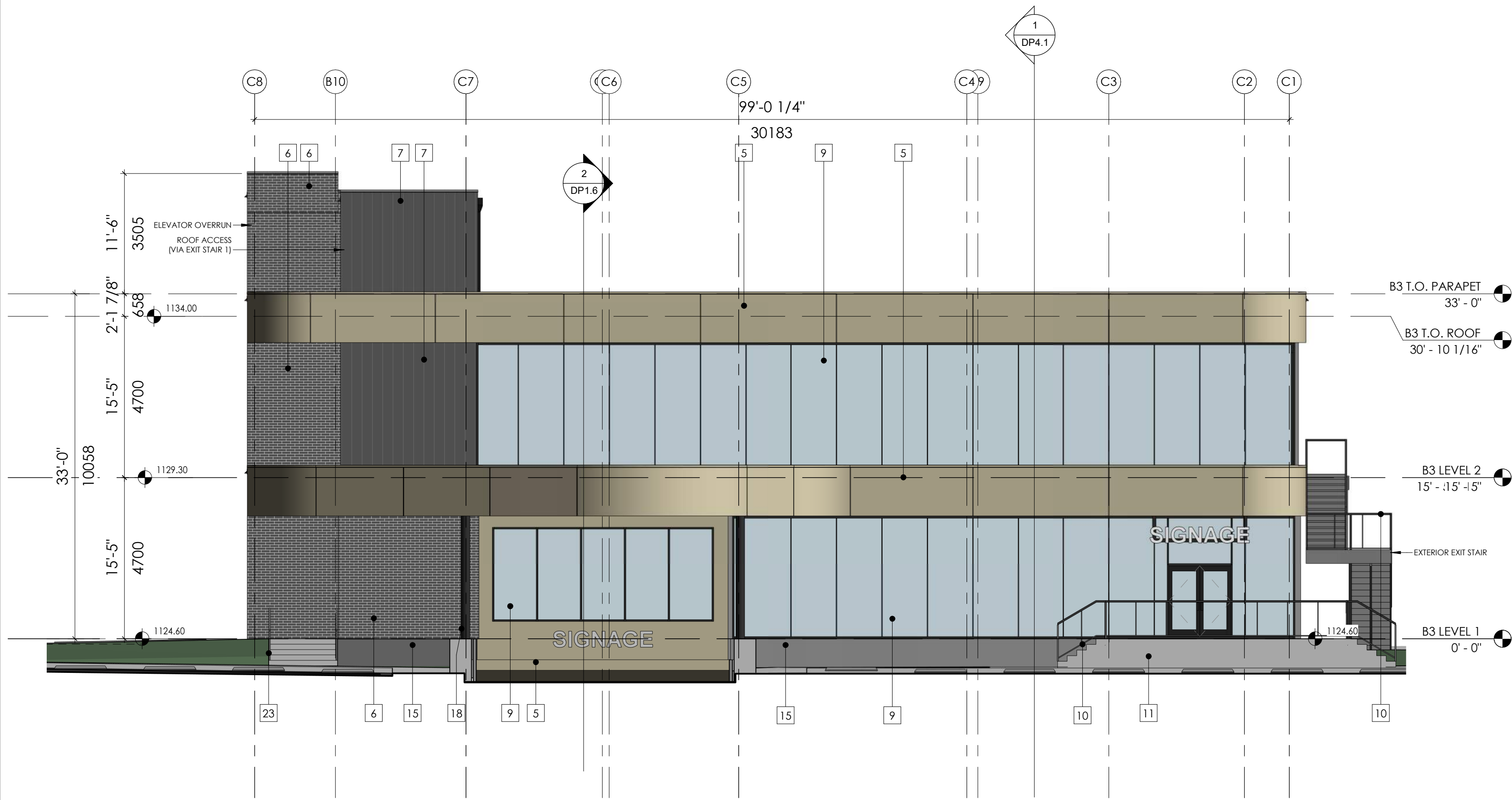
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DRAWING

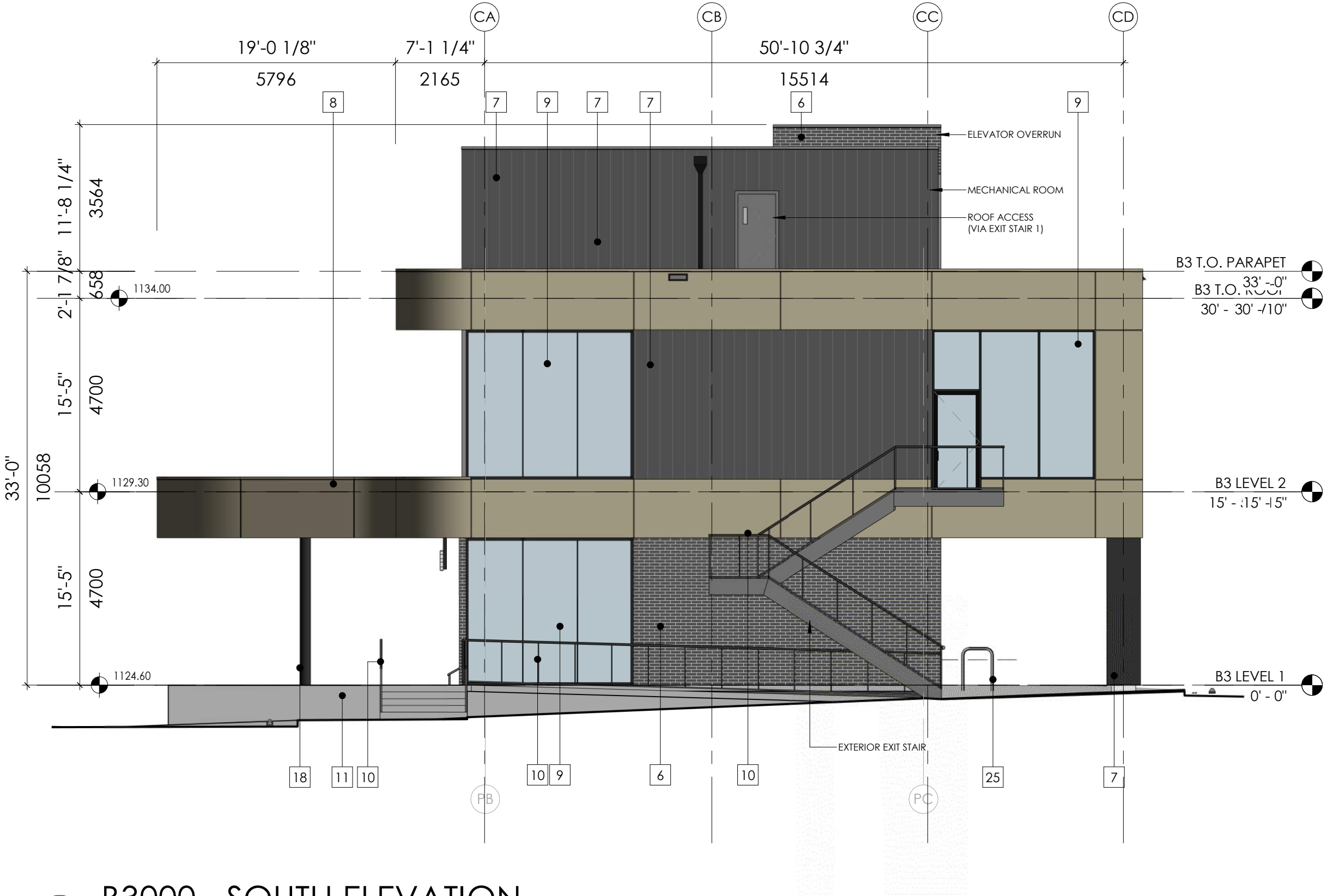
3D VIEWS

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CHECKED BY TC		
SCALE AS NOTED		

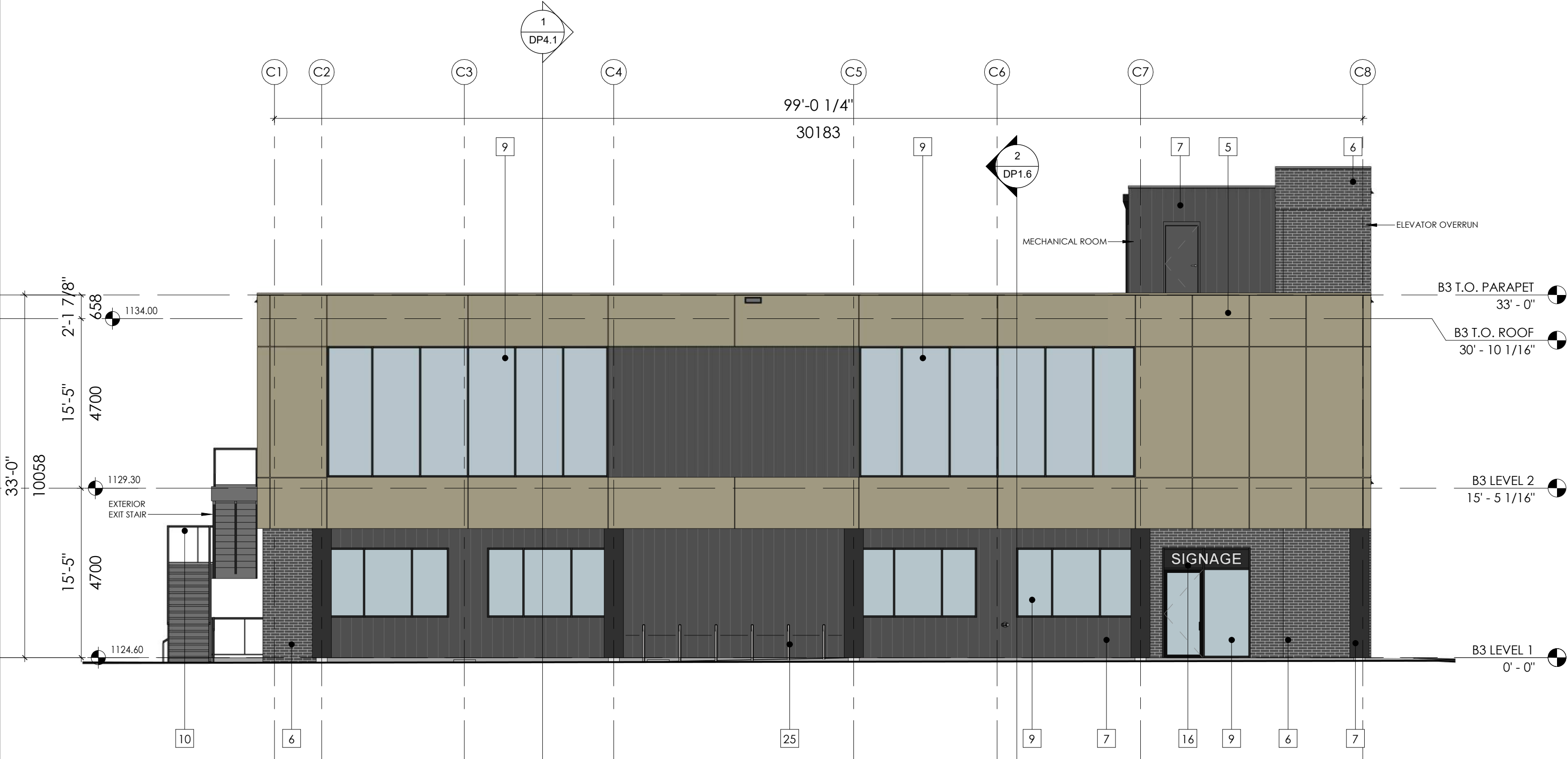
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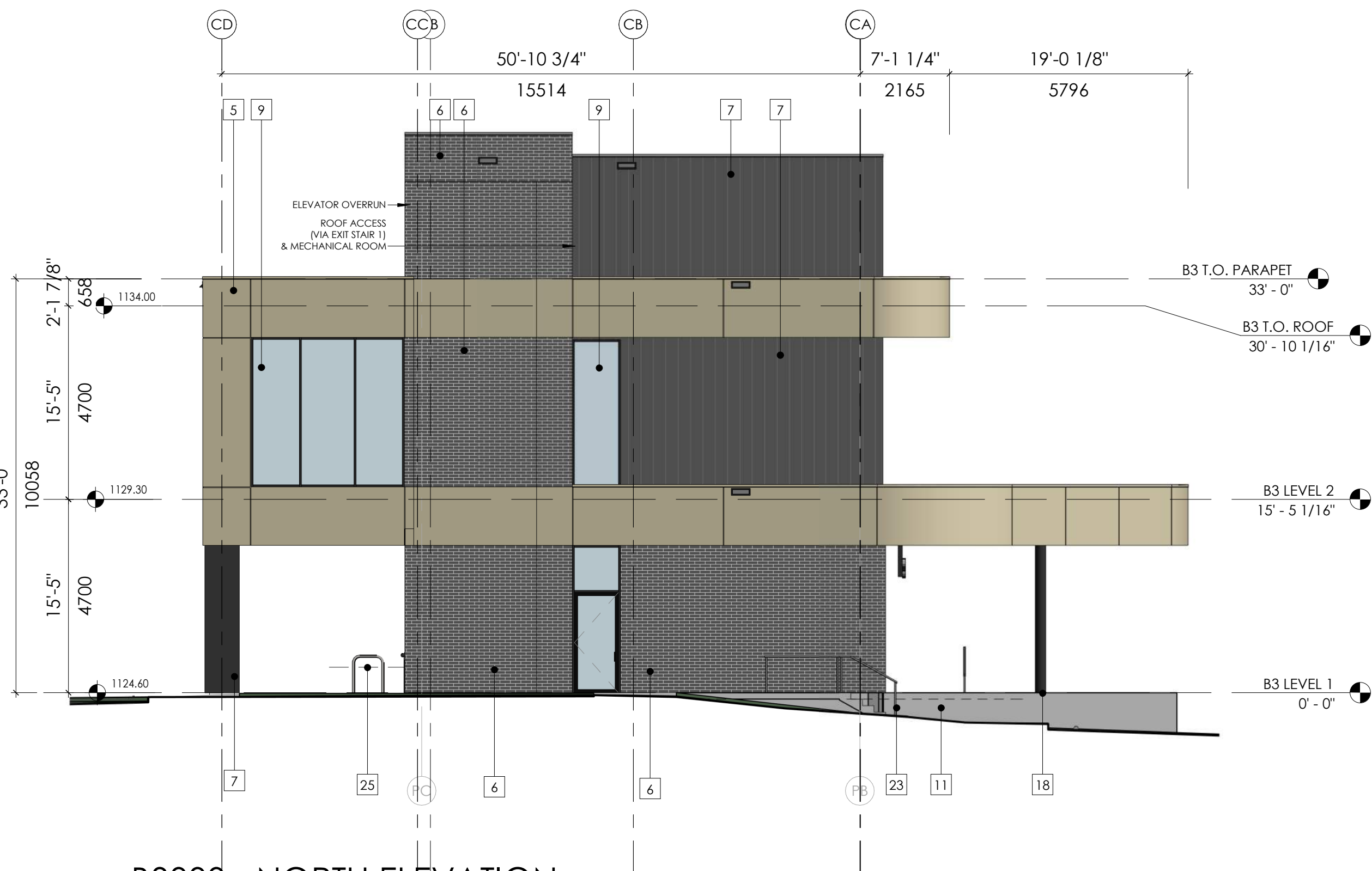
1
DP3.1
B3000 - WEST ELEVATION
1 : 100



2
DP3.1
B3000 - SOUTH ELEVATION
1 : 100



3
DP3.1
B3000 - EAST ELEVATION
1 : 100



4
DP3.1
B3000 - NORTH ELEVATION
1 : 100

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MATERIAL LEGEND	
##	MATERIAL
1A	BRICK MASONRY VENEER - RED
1B	BRICK MASONRY VENEER - TAN
2	FIBRE CEMENT PANEL - BLACK
3	FIBRE CEMENT HORIZONTAL LAPPED SIDING - BEIGE
4	FIBRE CEMENT BOARD AND BATTEN - DARK BROWN
5	ACM METAL PANEL - BROWN
6	BLOCK MASONRY - DARK GREY
7	METAL PANEL - BLACK
8	GLULAM BEAM/COLUMN
9	GLAZING
10	ALUMINUM AND GLASS GUARD
11	CONCRETE RETAINING WALL
12	MECHANICAL LOUVER
13	FIBRE CEMENT FASCIA - BLACK
14	FIBRE CEMENT TRIM - BLACK
15	EPS - DARK GREY
16	METAL ADDRESS NUMBERS - BLACK
18	METAL COLUMN - BLACK
19	CHAIN LINK FENCE
20	ALUMINUM AND TRANSLUCENT GLASS PRIVACY SCREEN
21	HVAC AIR GRATE - ALUMINUM FINISH
22	ASPHALT SHINGLES - BLACK
23	FREESTANDING HANDRAIL
24	FREESTANDING FURNITURE PLANTER REFER TO LANDSCAPE
25	CLASS 2 BICYCLE PARKING STALL
26	BLACK METAL FENCE SCREENING
27	ALUMINUM PICKET GUARD FENCE - BLACK

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DRAWING

ELEVATIONS

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SCALE
AS NOTED

SHEET

2403

SHEET

DP3.1