

26-05-11 4:36:01 PM

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RICHMOND GREEN | BUILDING 3000



ISSUED FOR DEVELOPMENT PERMIT - JANUARY 22, 2026

ISSUED FOR DR1 RESPONSE - MAY 11, 2026

CLIENT

CONSULTANTS

sarinahomes

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Engineering Consultants Ltd.

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
33	26.01.22	ISSUED FOR DEVELOPMENT PERMIT (B3000)
53	26.04.08	ISSUED FOR REVIEW
61	26.05.11	ISSUED FOR DR1 (B3000)

DRAWING LIST

- Architectural
- DP0.0 TITLE PAGE, SHEET LIST & CONSULTANTS
 - DP1.1 PROJECT INFORMATION AND WASTE & RECYCLING DETAILS
 - DP1.2 SITE PLAN
 - DP1.3 SITE SURVEY
 - DP1.4 SITE CONTEXT
 - DP1.5 SITE DETAILS
 - DP1.6 PARKADE RAMP PLAN AND SECTION
 - DP1.7 VEHICLE SWEEP PATHS
 - DP1.8 FIRE TRUCK PATHS
 - DP1.9 3D VIEWS
 - DP2.1 PARKADE PLAN
 - DP2.2 FLOORPLAN - PARKADE
 - DP2.3 FLOORPLAN - LEVEL 1
 - DP2.4 FLOORPLAN - LEVEL 2
 - DP2.5 FLOORPLAN - ROOF
 - DP3.1 ELEVATIONS
 - DP4.1 SECTIONS

- Landscape
- L01 OVERALL PLAN
 - L02 LANDSCAPE PLAN
 - L03 LANDSCAPE DETAILS
 - L04 DETAILS - TREE PROTECTION

- Civil
- SP-1 SITE SERVICING PLAN
 - SP-2 SITE GRADING PLAN

AMENDED DRAWINGS

DP No Date Received
DP2026-00472 MAY 14 2026

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

#3000 3450 SARCEE RD SW
CALGARY, AB

DRAWING

TITLE PAGE, SHEET LIST & CONSULTANTS

DRAWN BY
DJ

CHECKED BY
TC

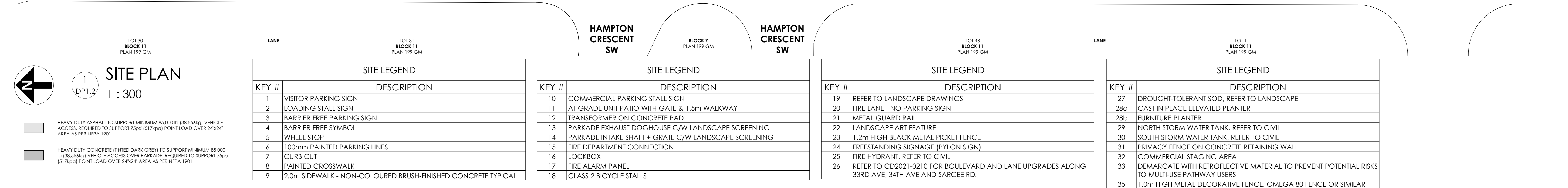
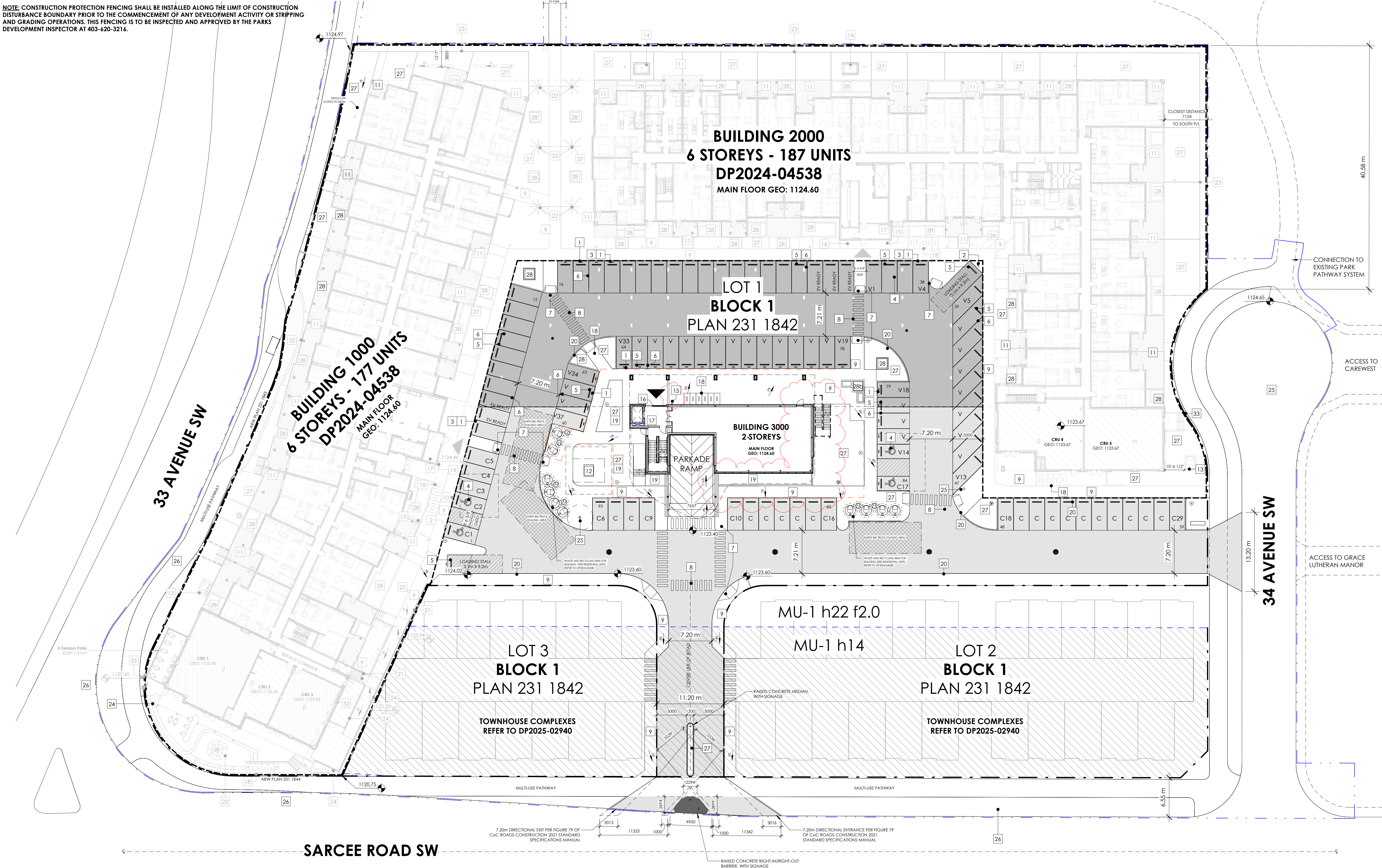
SCALE
AS NOTED

SHEET

2403

DP0.0

NOTE: CONSTRUCTION PROTECTION FENCING SHALL BE INSTALLED ALONG THE LIMIT OF CONSTRUCTION DISTURBANCE BOUNDARY PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY OR STRIPPING AND GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR AT 403-620-3216.



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Revision Schedule		
Number	Date (yy/mm/dd)	Description
8	25.07.21	ISSUED FOR PTR
33	26.01.22	ISSUED FOR DEVELOPMENT PERMIT (B3000)
53	26.04.08	ISSUED FOR REVIEW
61	26.05.11	ISSUED FOR DR1 (B3000)

AMENDED DRAWINGS

DP No: DP2026-00472 Date Received: MAY 14 2026

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

PROPERTY LINE

RETAINING WALL

LIMIT OF CONSTRUCTION DISTURBANCE

TEMPORARY CONSTRUCTION FENCE

NOTES:

A. ALL DEVELOPMENT ON SITE IS PROPOSED

B. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION

C. REFER TO LANDSCAPE DRAWINGS FOR ALL MATERIALS SPECIFIC TO LANDSCAPING

D. REFER TO ELECTRICAL FOR SRE LIGHTING LAYOUT

E. ALL PARKING STALLS SHALL NOT HAVE ANY GRADES GREATER THAN 4%

F. PARKING STALLS TO BE MIN: 2500mm x 5400mm - RESIDENTIAL STALLS 2600mm x 5400mm - VISITOR STALLS 2600mm x 5400mm - BARRIER FREE STALLS

G. ALL STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE

H. WASTE AND RECYCLING: PRIVATE EARTH BIN PICKUP

I. ALL LOADING STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE

J. ALL LOADING STALL SURFACE - HEAVY DUTY ASPHALT

K. ALL SIDEWALKS 2000mm WIDE - TYPICAL

L. ALL VISITOR PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK

M. ALL BARRIER FREE PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK

N. SEE CIVIL DRAWINGS FOR LOCATIONS OF ALL CATCH BASINS, UTILITY POLES AND CUT WIRE

O. EMERGENCY ACCESS TO BE CONSTRUCTED TO SUPPORT 65,000lbs AND TO BE MAINTAINED CLEAR OF ICE AND SNOW

P. ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE / APPROACH AREA / CONCRETE PADS / CONCRETE APRONS / PARKING STRUCTURES ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM WEIGHT OF 25,000kg

Q. PROVIDE NO PARKING SIGNS ALONG THE FIRE ACCESS ROUTE IN LOCATIONS WHERE THERE ARE NO ADJACENT DESIGNATED PARKING STALLS

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

#3000 3450 SARCEE RD SW
CALGARY, AB

DRAWING

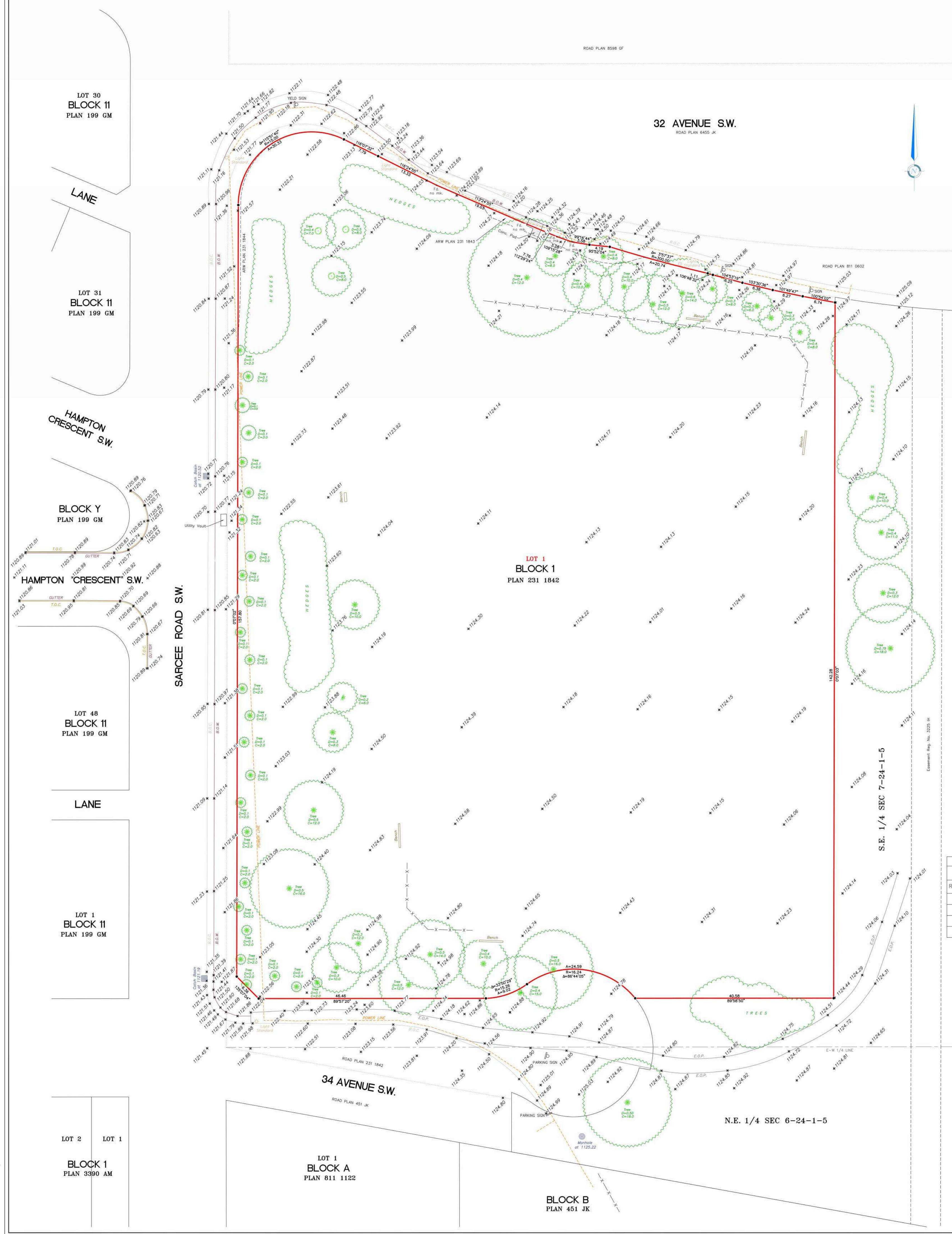
SITE PLAN

DRAWN BY: DJ JOB NO: 2403 SHEET

CHECKED BY: TC

SCALE: AS NOTED

DP1.2



NOTES:

- Area affected by this plan shown bounded thus and contains 1.93 ha.
- Distances shown are ground in metres and decimals thereof.
- Elevations are geodetic and are derived from ASCM 167742 (Elevation= 1124.745m)
- Bearings are derived from a line between ASCM's 167742, 290742, 407189, 189688 and 49346

STANDARD SYMBOL LEGEND:

STATUTORY RISK NOT FOUND SHOWN THIS		•	NOT RISK
GEODETIC SPOT ELEVATIONS SHOWN THIS			
CATCH BASIN SHOWN THIS			
LIGHT STANDARD SHOWN THIS			
MANHOLE SHOWN THIS			
CHAIN LINK FENCE SHOWN THIS			
CANOPIES OF TREES SHOWN THIS			
TREES SHOWN THIS			
CONIFEROUS TREES SHOWN THIS			
POWER LINE SHOWN THIS			

[illegible]

Encumbrances, Liens & Interests		
C. of T. Number 231 283 511 (As to Lot 1, Block 1, Plan 231 1842)		
Registration No.	Particulars	Comments
231 283 512	Restrictive Covenant	-
231 283 513	Covenant	Covenant - The City of Calgary
231 283 515	Covenant	Re - Easement
231 283 517	Covenant	Re - Easement

MUNICIPAL ADDRESS:
3420 Sorcee Road S.W.
Calgary, Alberta

CLIENTS:
Sorino Homes

**VISTA GEOMATICS LTD.**
Alberta Land Surveyors

VISTA GEOMATICS LTD.
Bay 28, 2015 - 32nd Ave. N.E.
Calgary, Alberta T2E 6Z3
Phone (403) 270-4048
E-mail: admin@vistageomatics.com

Drawn by: DN V.G.L. File No.: 24015203-SIT

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33	26.01.22	ISSUED FOR DEVELOPMENT PERMIT (B3000)
53	26.04.08	ISSUED FOR REVIEW
61	26.05.11	ISSUED FOR DR1 (B3000)

AMENDED DRAWINGS
DP No **Date Received**
DP2026-00472 MAY 14 2026
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PROJECT NAME AND ADDRESS

RICHMOND GREEN

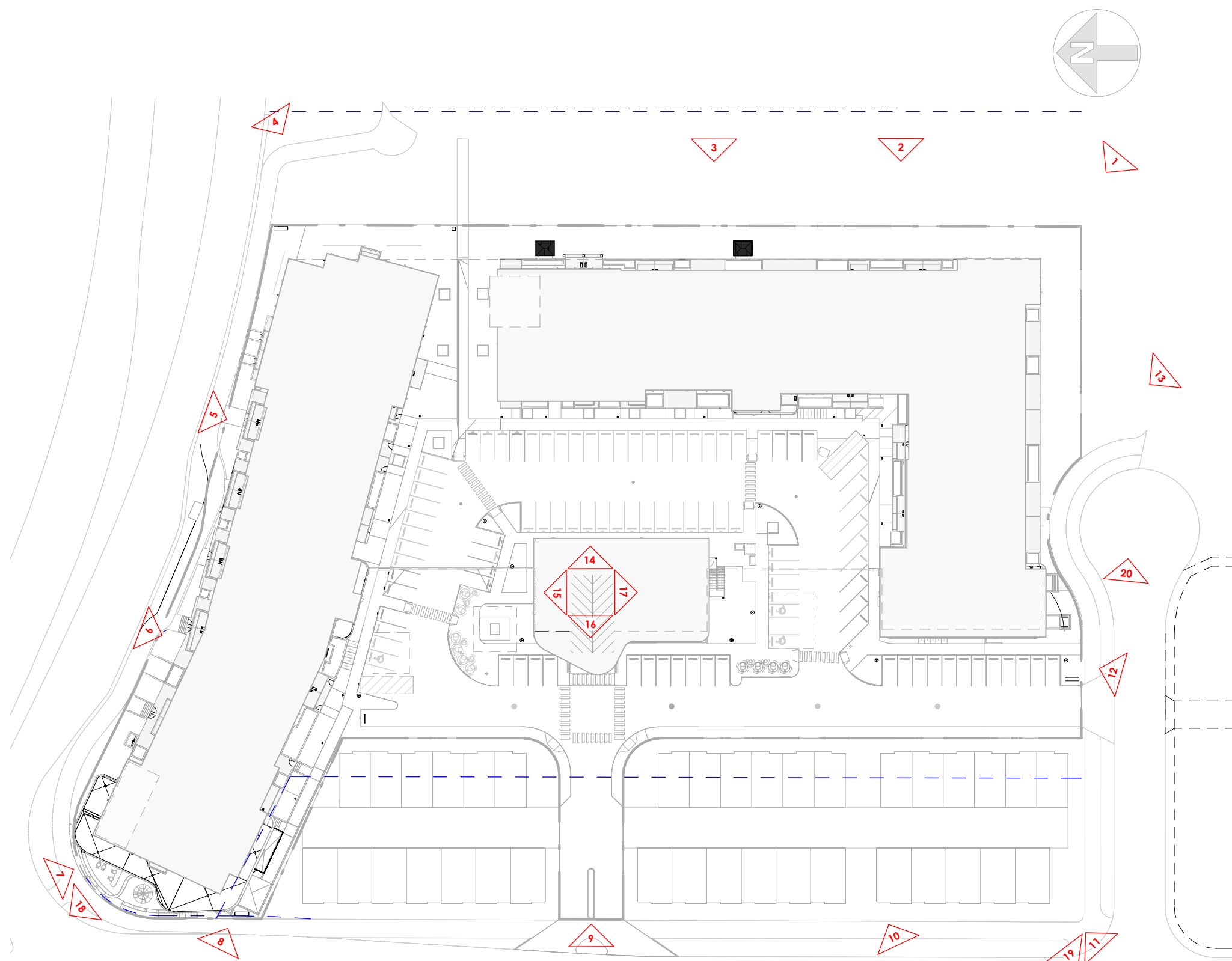
#3000 3450 SARCEE RD SW
CALGARY, AB

DRAWING

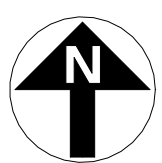
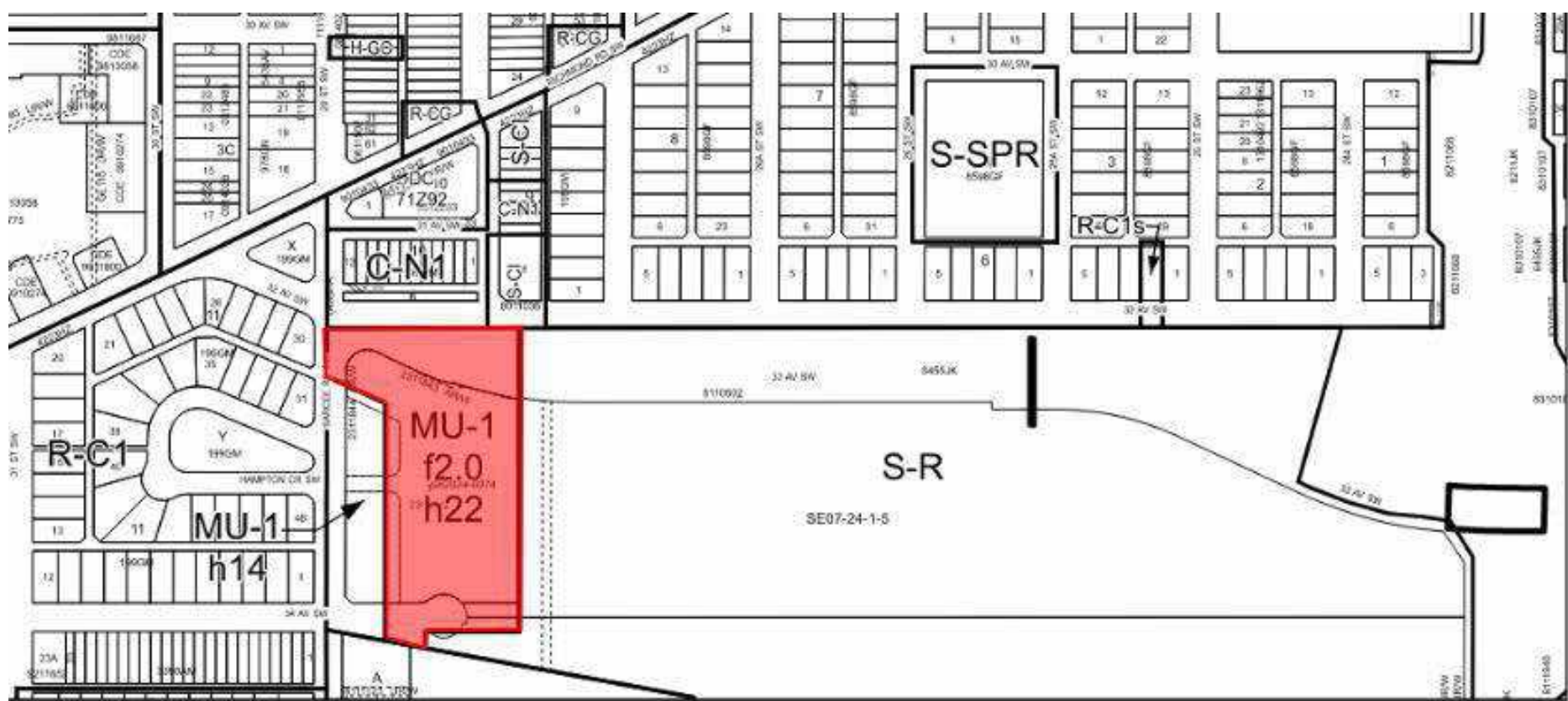
SITE SURVEY

DRAWN BY DJ	JOB NO. 2403	SHEET DP1.3
CHECKED BY TC		
SCALE		
AS NOTED		

DP1.3



1 SITE CONTEXT PLAN
DP1.4 1 : 800



LAND USE BYLAW MAP



01: SE PROPERTY CORNER



02: EAST PROPERTY (01)



03: EAST PROPERTY (02)



04: NE PROPERTY CORNER



05: NORTH PROPERTY (01)



06: NORTH PROPERTY (02)



07: NW PROPERTY CORNER



08: WEST PROPERTY (01)



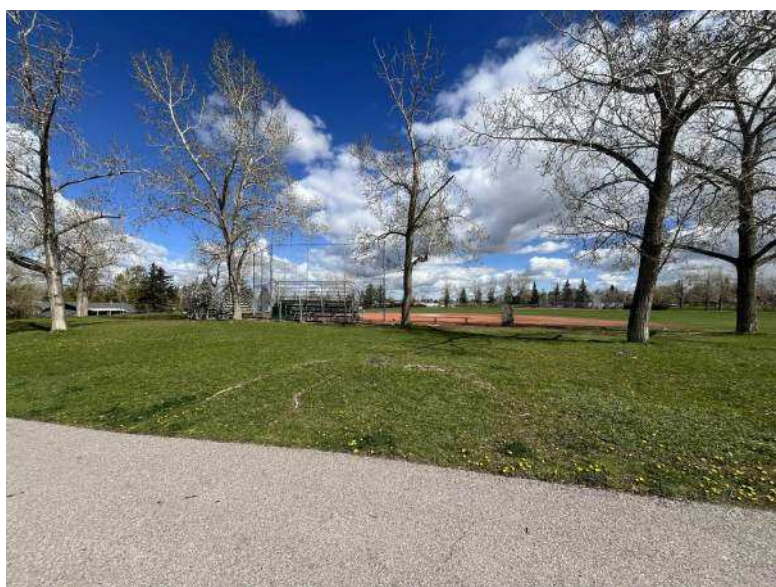
09: WEST PROPERTY (02)



10: WEST PROPERTY (03)



11: SW PROPERTY CORNER



12: SOUTH PROPERTY (01)



13: SOUTH PROPERTY (02)



14: LOOKING EAST



15: LOOKING NORTH



16: LOOKING WEST



17: LOOKING SOUTH



18: SARCEE RD & 33RD AVE



19: SARCEE RD & 34TH AVE



20: SOUTH PATHWAY

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AMENDED DRAWINGS
DP No Date Received
DP2026-00472 MAY 14 2026
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PROJECT NAME AND ADDRESS

RICHMOND GREEN

#3000 3450 SARCEE RD SW
CALGARY, AB

DRAWING

SITE CONTEXT

DRAWN BY DJ	JOB NO. 2403	SHEET
CHECKED BY TC		
SCALE AS NOTED		

DP1.4



3D VIEW 1



3D VIEW 2



3D VIEW 3



3D VIEW 4

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

#3000 3450 SARCEE RD SW
CALGARY, AB

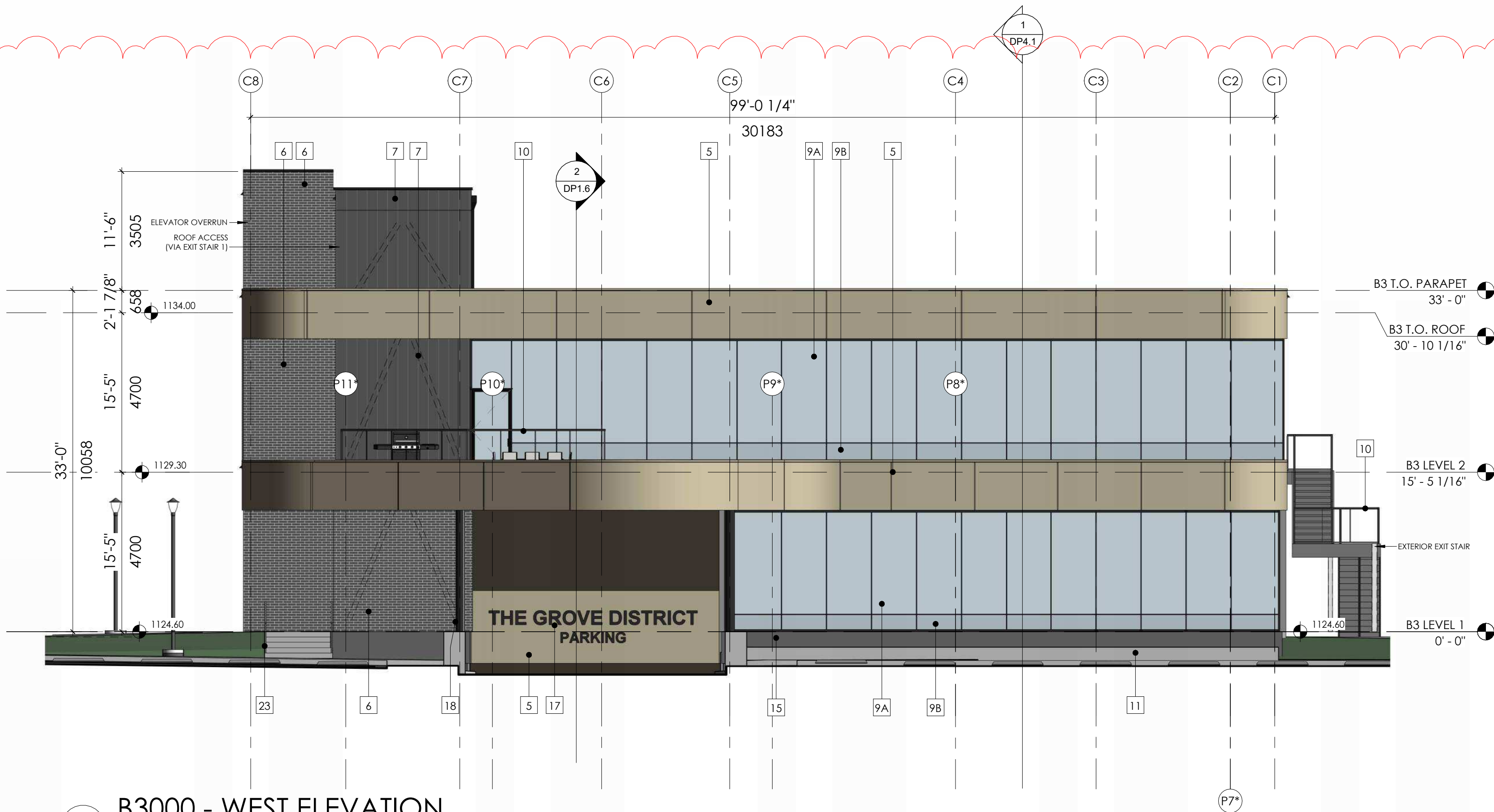
DRAWING

3D VIEWS

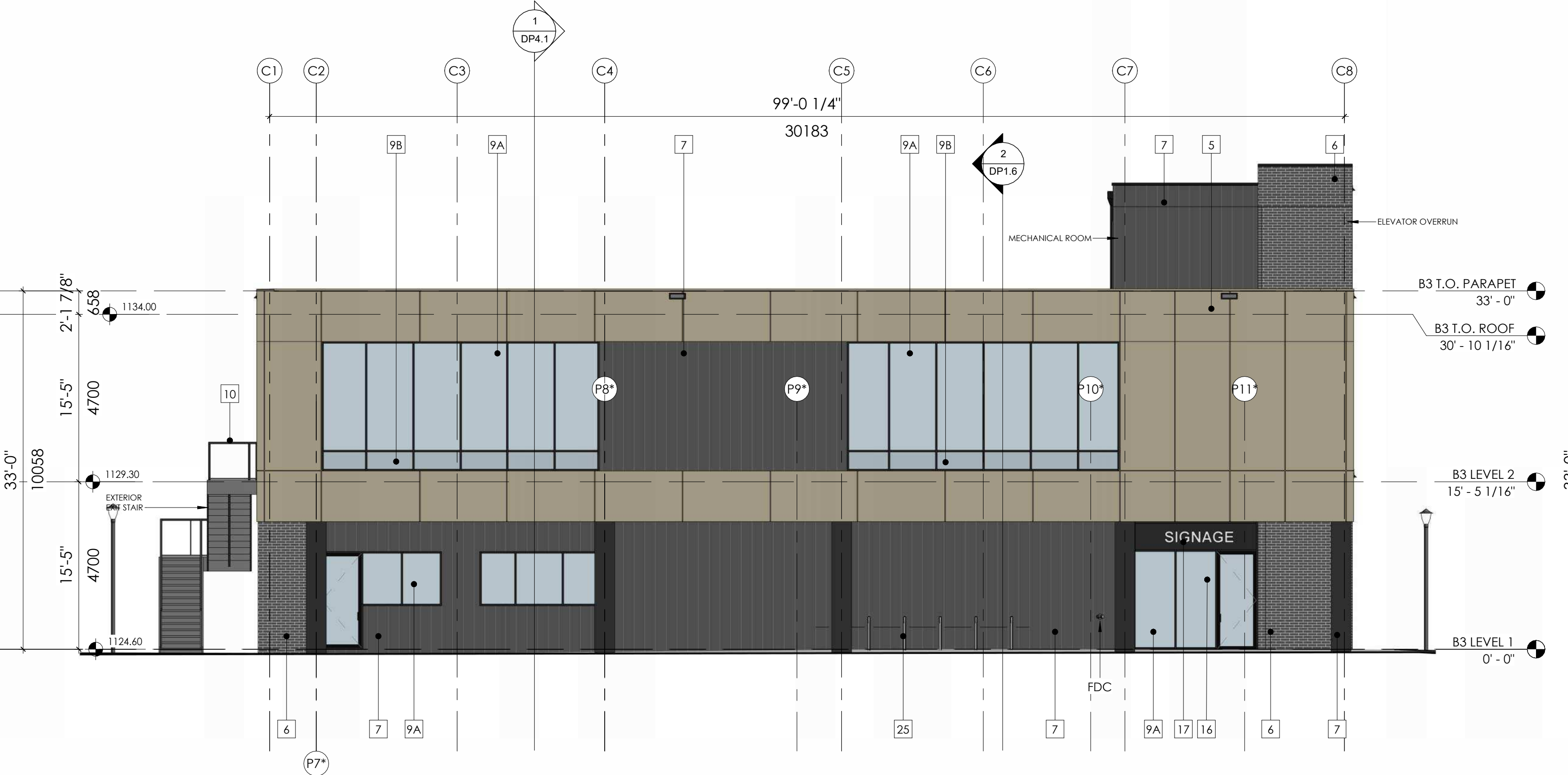
DRAWN BY	JOB NO.	SHEET
DJ	2403	
CHECKED BY		
TC		
SCALE		
AS NOTED		

DP1.9

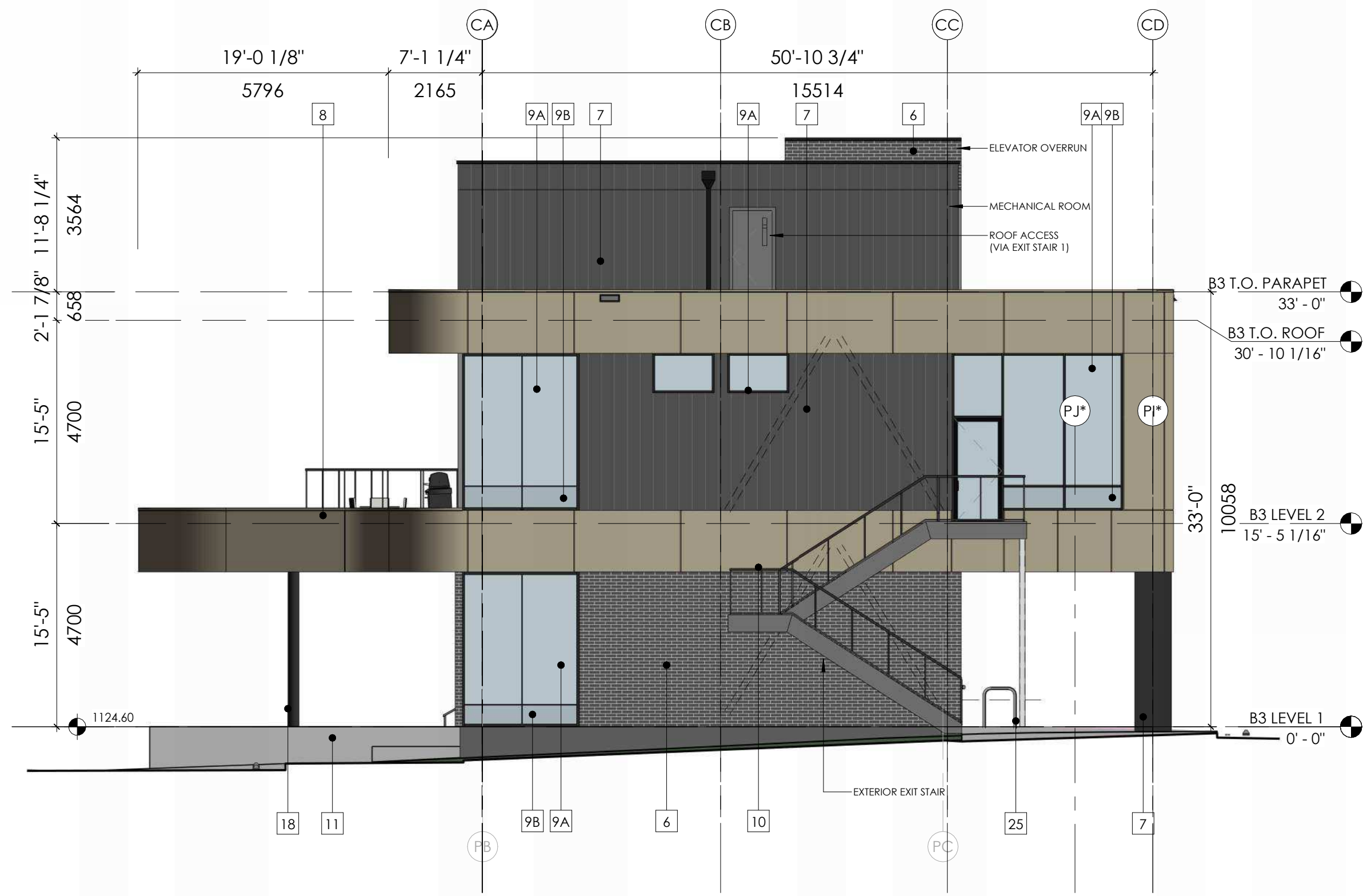
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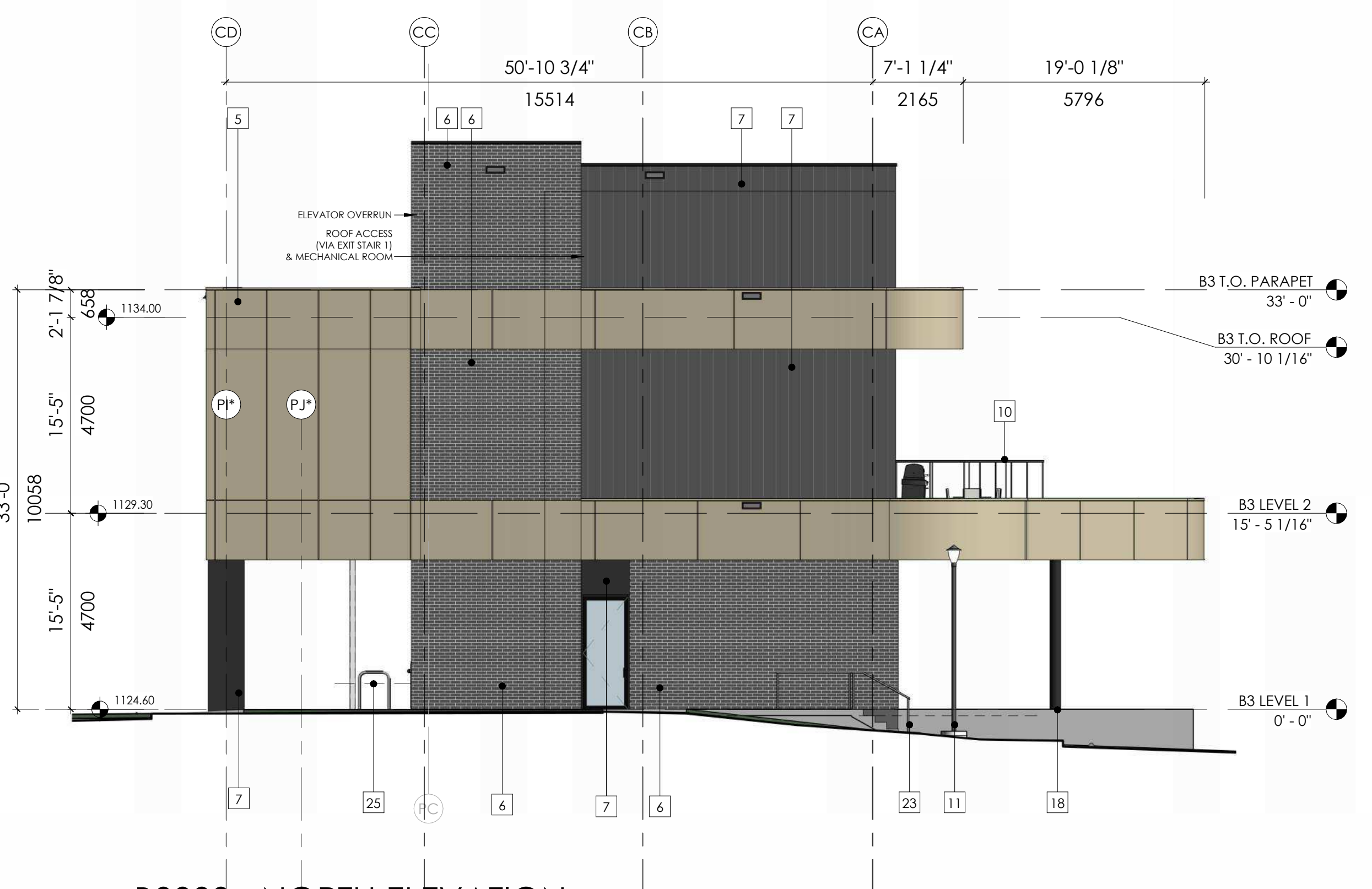
1
DP3.1
B3000 - WEST ELEVATION
1 : 100



3
DP3.1
B3000 - EAST ELEVATION
1 : 100



2
DP3.1
B3000 - SOUTH ELEVATION
1 : 100



4
DP3.1
B3000 - NORTH ELEVATION
1 : 100

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61	26.05.11	ISSUED FOR DR1 (B3000)

AMENDED DRAWINGS
DP No 26026-00472
Date Received MAY 14 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

MATERIAL LEGEND	
#	MATERIAL
1A	BRICK MASONRY VENEER - RED
1B	BRICK MASONRY VENEER - TAN
2	FIBRE CEMENT PANEL - BLACK
3	FIBRE CEMENT HORIZONTAL LAPPED SIDING - BEIGE
4	FIBRE CEMENT BOARD AND BATTEN - DARK BROWN
5	ACM METAL PANEL - BRONZE
6	BRICK MASONRY - DARK GREY
7	METAL PANEL - BLACK
8	GLULAM BEAM/COLUMN
9A	GLAZING
9B	GLAZED SPANDREL PANEL
10	ALUMINIUM AND GLASS GUARD
11	CONCRETE RETAINING WALL
12	MECHANICAL LOUIRE
13	FIBRE CEMENT FASCIA - BLACK
14	FIBRE CEMENT TRIM - BLACK
15	BS - DARK GREY
16	ADDRESS NUMBERS - BLACK
17	SIGNAGE
18	METAL COLUMN - BLACK
19	CHAIN LINK FENCE
20	ALUMINIUM AND TRANSLUCENT GLASS PRIVACY SCREEN
21	HVAC AIR GRATE - ALUMINIUM FINISH
22	ASPHALT SHINGLES - BLACK
23	FREESTANDING HANDRAIL
24	FREESTANDING FURNITURE PLANTER. REFER TO LANDSCAPE
25	GLASS 2 BICYCLE PARKING STALL
26	BLACK METAL FENCE SCREENING
27	ALUMINIUM PICKET GUARD/FENCE - BLACK

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PROJECT NAME AND ADDRESS

RICHMOND GREEN

#3000 3450 SARCEE RD SW
CALGARY, AB

DRAWING

ELEVATIONS

DRAWN BY

DJ

JOB NO.

2403

SHEET

CHECKED BY

TC

SCALE

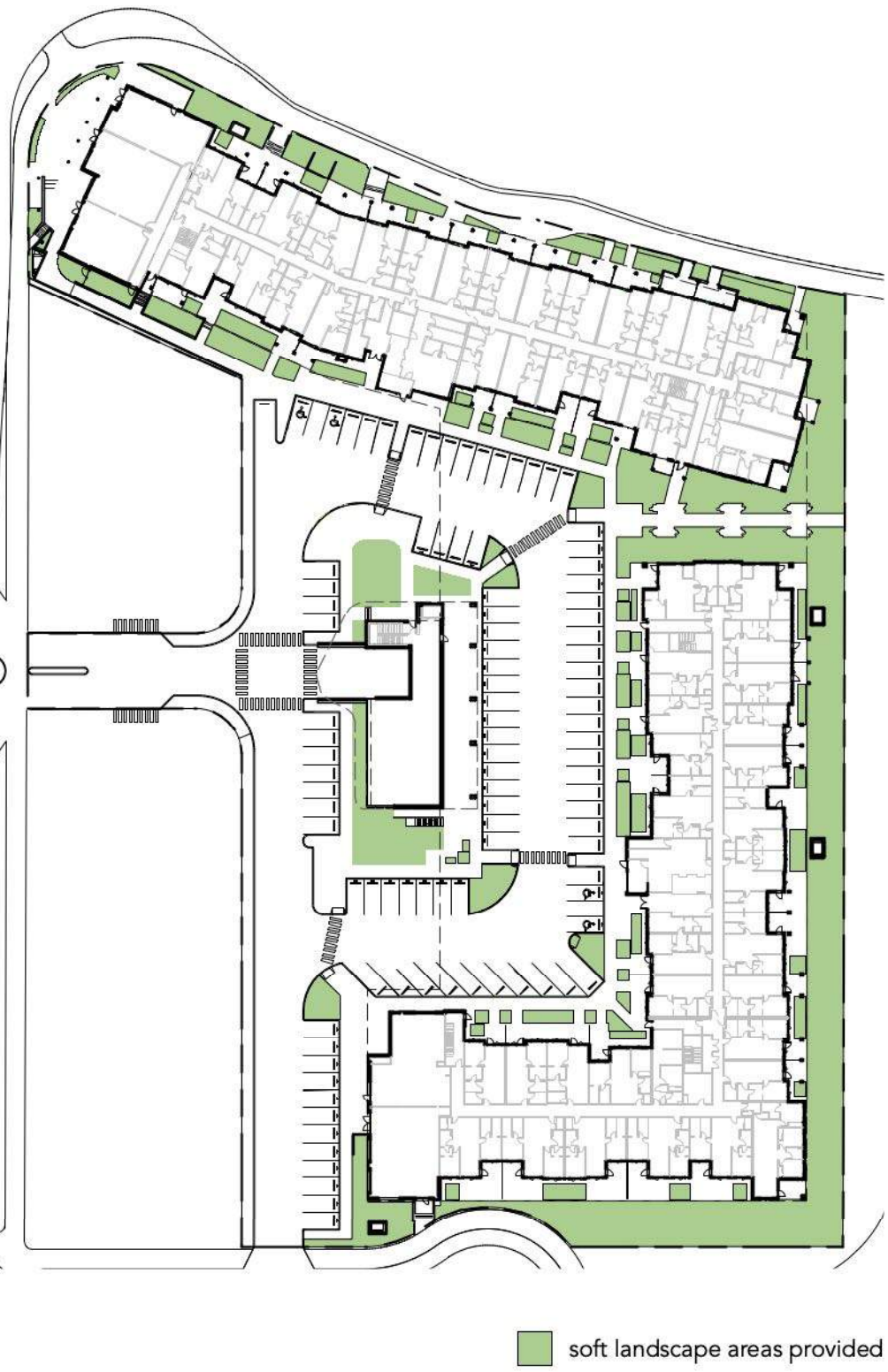
AS NOTED

DP3.1



1 overall plan
Scale: 1:400

Note:
Overall site, as well as Buildings 1000-2000 submitted under DP 2024-04538



2 landscape area
Scale: 1:1000

Site Information

Address: 3040 Sarcee Road SW
Calgary, AB

City of Calgary Zoning: MU-1
Mixed Use

Landscape Statistics

Site Area 14,665.75 sq m
Landscape area required 2,266.66 sq m
Landscape area provided 2,187.43 sq m
14.92% of site

Tree requirements		required provided	
		1 tree per 45 sq m	
Deciduous Trees	Total	50.4	125
	75mm cal	37.8	99.00
	50mm cal	18.9	49
	50mm cal	18.9	50
Coniferous Trees	Total	12.6	26.00
	3m height	6.3	20.00
	2m height	6.3	6.00

Shrub Requirements		required provided	
		2 Shrubs per 45 sq m	
600mm min height/spread	Total	100.7	1071
	Deciduous		710.00
	Coniferous		361.00

Plant List

Qty	Common Name	Botanical Name	Size
-----	-------------	----------------	------

Ornamental Grasses and Groundcovers

Shrubs

Coniferous	Dwarf Balsam Fir	Abies balsamea 'Nana'	600mm min
	Dwarf Mugo Pine	Pinus mugo 'pumilio'	600mm min
	Globe Blue Spruce (tree form)	Picea pungens 'Globosa (tree form)'	600mm min
	Russian Sage	Perovskia atriplicifolia	600mm min
Deciduous	Alpine Currant	Ribes alpinum	600mm min
	Amber Jubilee Ninebark	Physocarpus opulifolius 'Jefam'	600mm min
	Anise Hyssop	Agastache 'Blue Fortune'	600mm min
	Double play candy corn spirea	Spiraea japonica 'candy corn'	600mm min
	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	600mm min
	Oso Easy Paprika Rose	Rosa sp 'Oso Paprika'	600mm min
	Red Garden Astilbe	Astilbe x arendsii 'Fanal'	600mm min
	Wild Rose	Rosa woodsii	600mm min

Trees

Coniferous	Weeping White Spruce	Picea glauca 'Pendula'	3m ht
	Lodgepole Pine	Pinus contorta 'var. latifolia'	2m ht
Deciduous	Green Ash	Fraxinus pennsylvanica	75mm cal
	Red Rocket Red Maple	Acer rubrum 'Red Rocket'	75mm cal
	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	50mm cal
	Lone Star Linden	Tilia cordata	50mm cal

Trees

- Green Ash
- Ivory Silk Japanese Tree Lilac
- Lone Star Linden
- Red Rocket Red Maple
- Lodgepole Pine
- Weeping White Spruce

Shrubs

- Oso Easy Paprika Rose
- Alpine Currant
- Amber Jubilee Ninebark
- Red Garden Astilbe
- Dwarf Mugo Pine
- Anise Hyssop
- Little Devil Ninebark
- Double play candy corn spirea
- Wild Rose
- Dwarf Balsam Fir
- Russian Sage
- Globe Blue Spruce (tree form)

Softscape

- Wood Mulch
- Rock Mulch
- Dought tolerant sod

Hardscape

- plain grey concrete
- accent colour concrete
- feature paving
- pavers or stamped concrete
- private patios
- refer to architectural for finishes

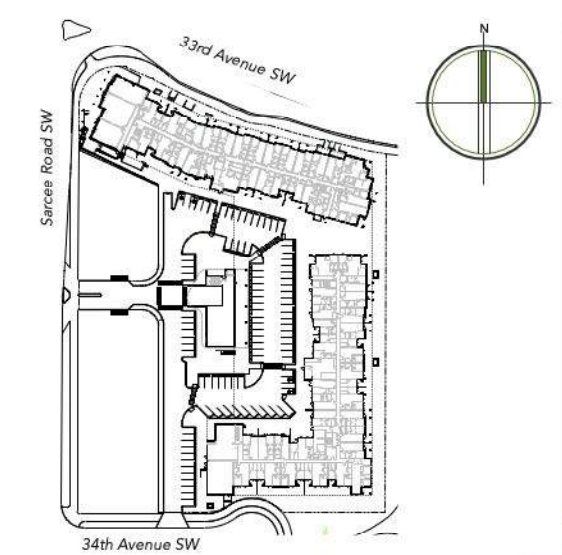
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- Any variations and design changes to the information shown on these drawings must not be carried out without written authorization from Arquecos Group Ltd. the Project Owner or the Owner's Representative.
- Any references made to the location of all existing and proposed utilities, including URW must be verified on site prior to commencing work. Report any and all conflicts identified immediately.
- Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards. Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

Irrigation Notes

- All landscape areas shall be watered by an automatic underground irrigation system as per municipal standards.
- Water delivery to be limited to trees and shrub beds. Spray heads only within areas with sod.
- Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. Ensure power and water meters are properly installed and operating prior to utilization of the system.

Key Plan



AMENDED DRAWINGS
DP No DP2026-00472 Date Received MAY 14 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

3	development permit DR	26.05.01
2	development permit	26.01.19
1	review and coordination	26.01.13
Issued for:		Date: (yy.mm.dd)

Project No. 30-003

Project Title:

Richmond Green
Mixed Use
Building 3000
Calgary, A.B.

Drawing Title:

Overall Plan

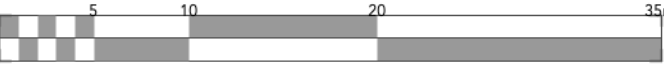
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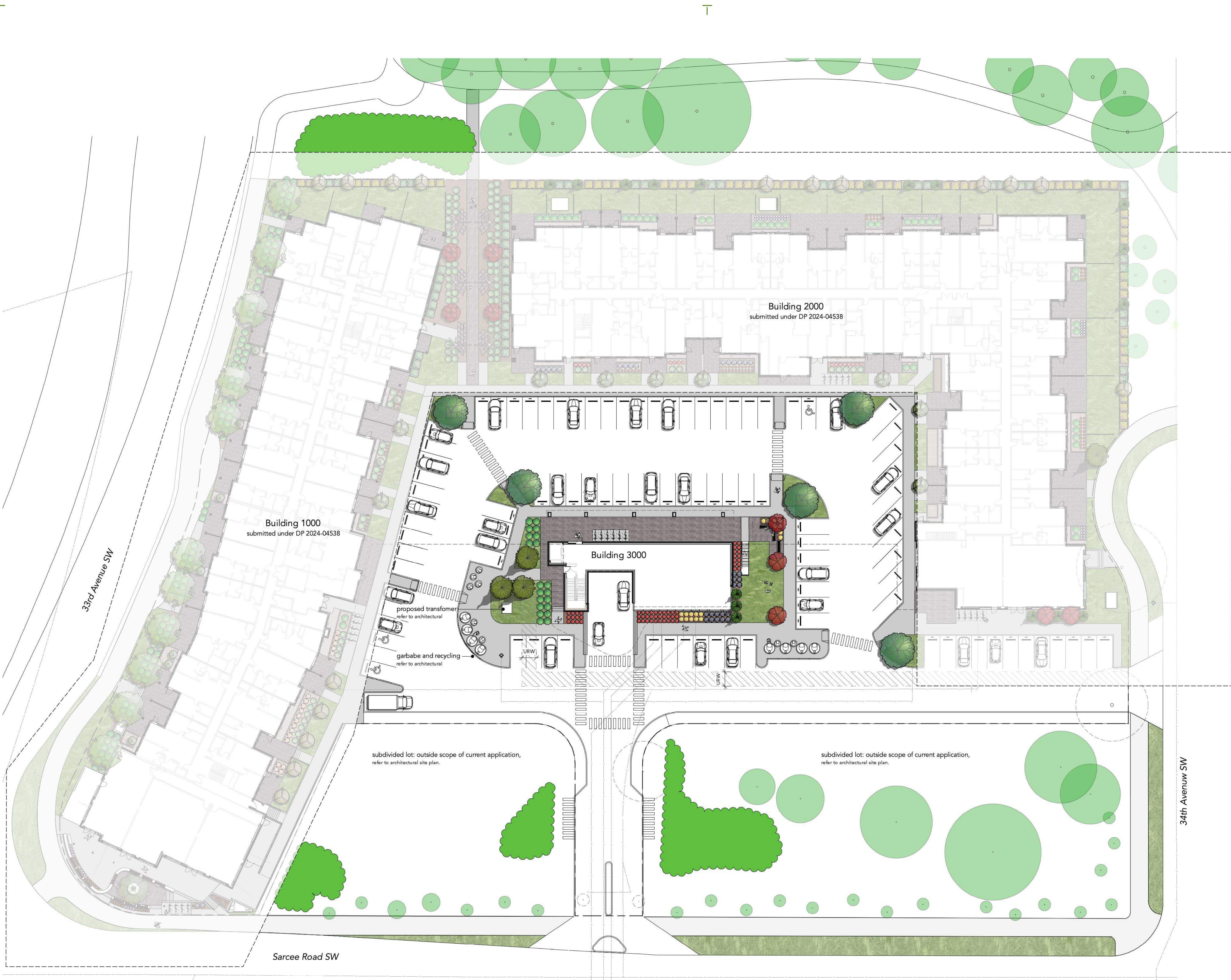
Drawing No.

Checked by: cmp

L-01

Scale: 1:400





- Trees**
- Green Ash
 - Ivory Silk Japanese Tree Lilac
 - Lone Star Linden
 - Red Rocket Red Maple
 - Lodgepole Pine
 - Weeping White Spruce

- Shrubs**
- Oso Easy Paprika Rose
 - Alpine Currant
 - Amber Jubilee Ninebark
 - Red Garden Astilbe
 - Dwarf Mugo Pine
 - Anise Hyssop
 - Little Devil Ninebark
 - Double play candy corn spirea
 - Wild Rose
 - Dwarf Balsam Fir
 - Russian Sage
 - Globe Blue Spruce (tree form)

- Softscape**
- Wood Mulch
 - Rock Mulch
 - Dought tolerant sod

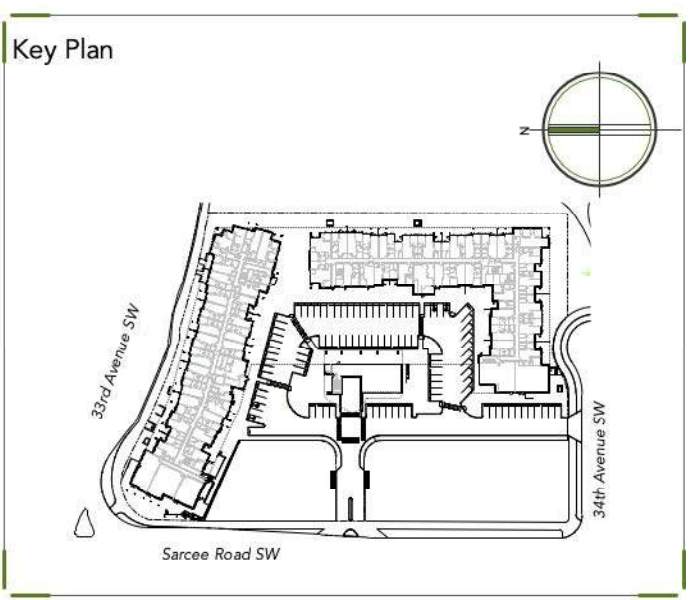
- Hardscape**
- plain grey concrete
 - accent colour concrete
 - feature paving
 - pavers or stamped concrete
 - private patios
 - refer to achitectoral for finishes



Arqueicos Group Ltd.
Design and Development Consultants
8-121 Village Heights SW
Calgary, Alberta T3H 2L2
p. 403.618.44.27
e. info@arqueicos.com

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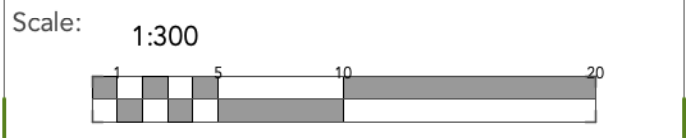
AMENDED DRAWINGS
DP No DP2026-00472 Date Received MAY 14 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

3	development permit DR	26.05.01
2	development permit	26.01.19
1	review and coordination	26.01.13
Issued for:		Date, (yy.mm.dd)

Project No. 30-003
Project Title.
**Richmond Green
Mixed Use
Building 3000
Calgary, A.B.**

Drawing Title:
Landscape Plan

Drawn by: cmp	Drawing No. L-02
Checked by: cmp	





- Trees**
- Lone Star Linden
 - Red Rocket Red Maple
 - Lodgepole Pine
 - Weeping White Spruce
- Shrubs**
- Oso Easy Paprika Rose
 - Dwarf Mugo Pine
 - Little Devil Ninebark
 - Double play candy corn spirea
 - Dwarf Balsam Fir
- Softscape**
- Wood Mulch
 - Rock Mulch
 - Dought tolerant sod
- Hardscape**
- plain grey concrete
 - accent colour concrete
 - feature paving
pavers or stamped concrete

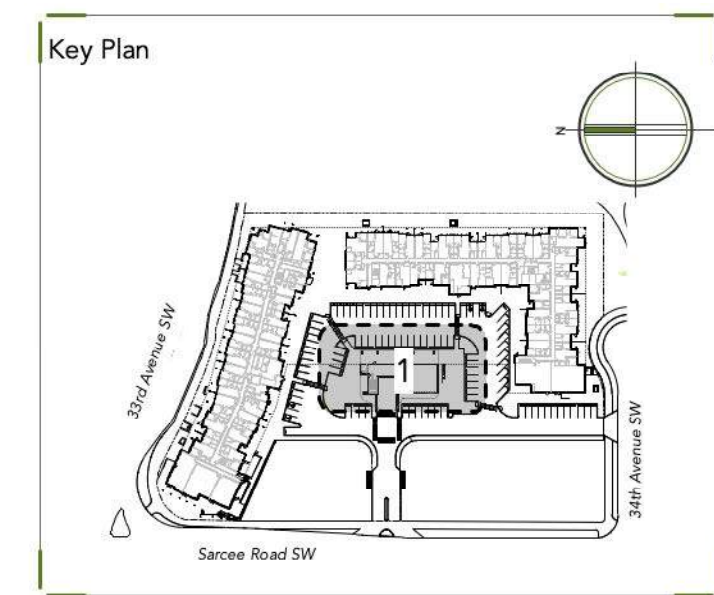
Arquecos Group Ltd.
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AMENDED DRAWINGS
DP No. Date Received
DP2026-00472 MAY 14 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

1 central amenity space
Scale: 1:100



2 typical proposed site furnishings
Scale: n.t.s.

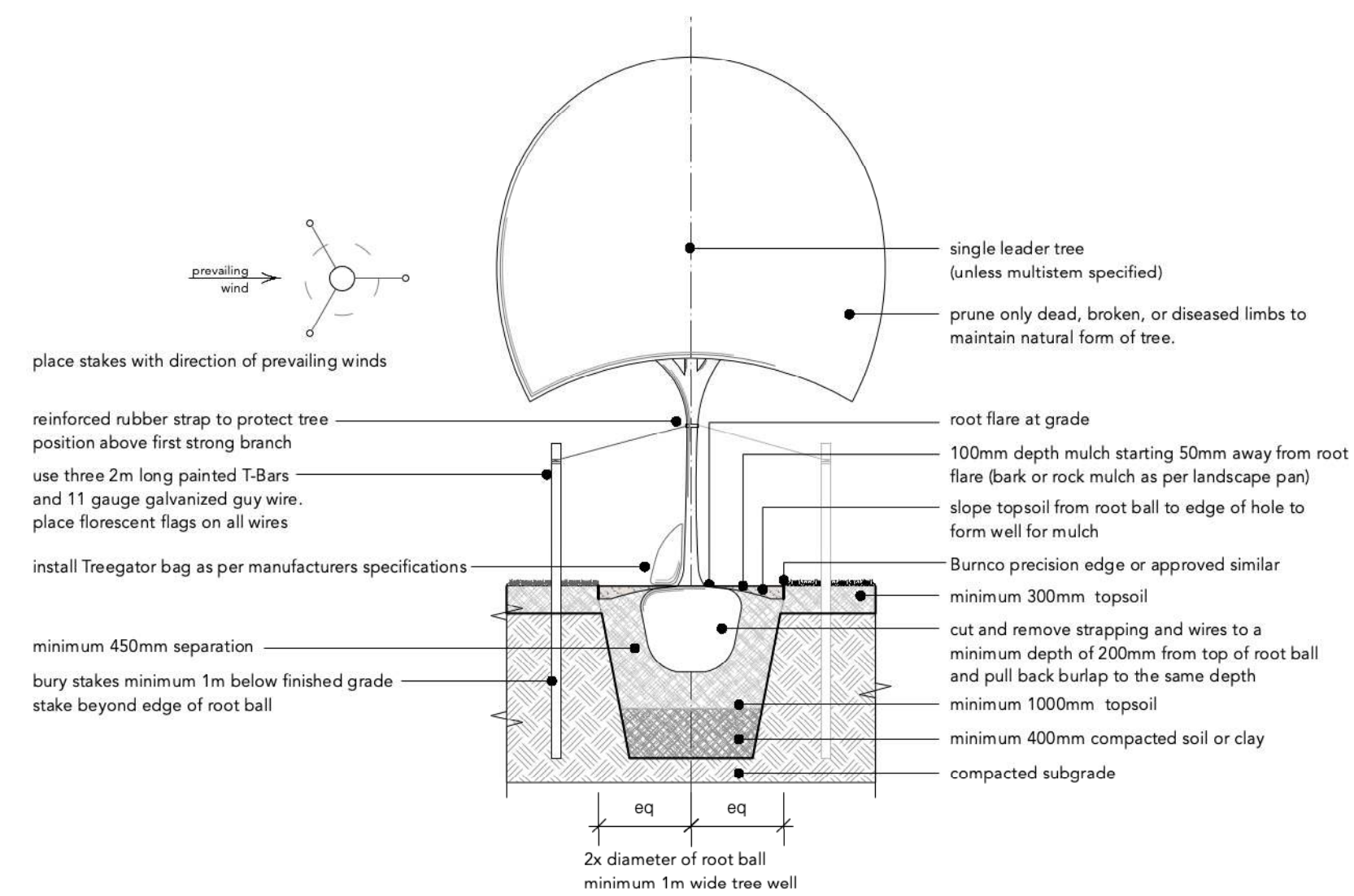
3 development permit DR 26.05.01
2 development permit 26.01.19
1 review and coordination 26.01.13
Issued for: Date: (yy.mm.dd)

Project No. 30-003
Project Title:
**Richmond Green
Mixed Use
Building 3000
Calgary, A.B.**

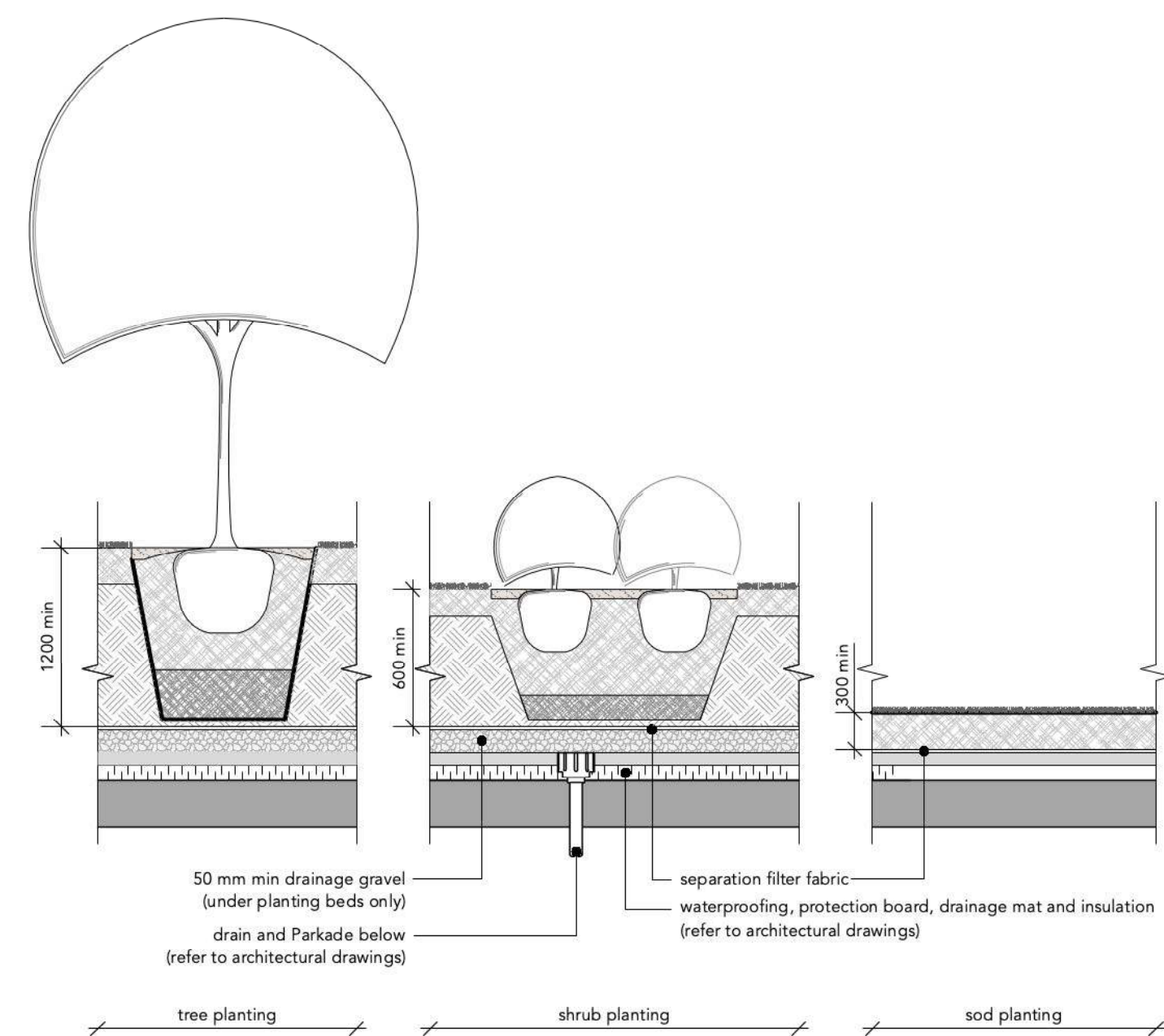
Drawing Title:
Landscape Details

Drawn by: cmp
Checked by: cmp
Drawing No. **L-03**

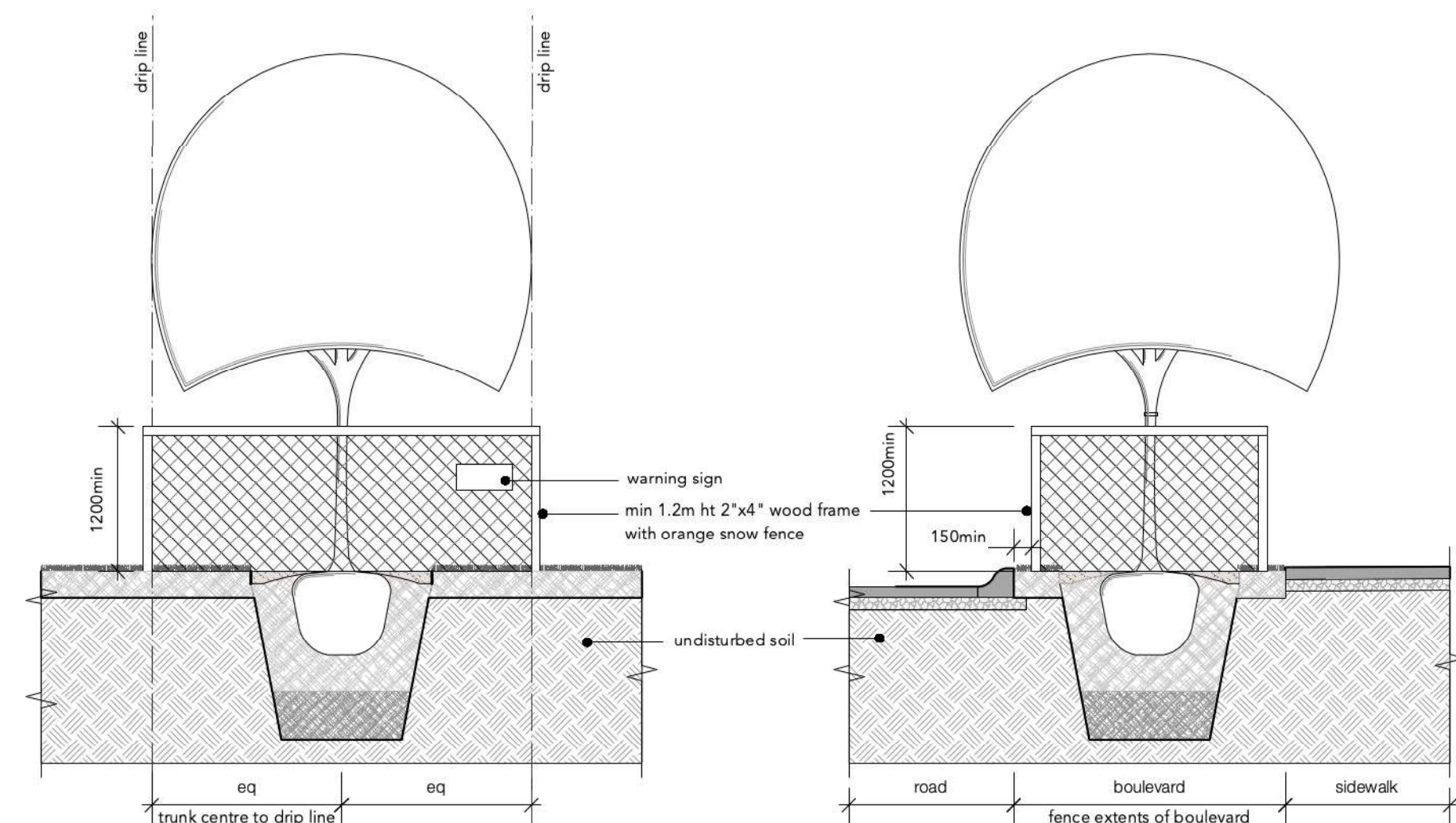
Scale: 1:100
0.5 1 2.5 5 7.5m



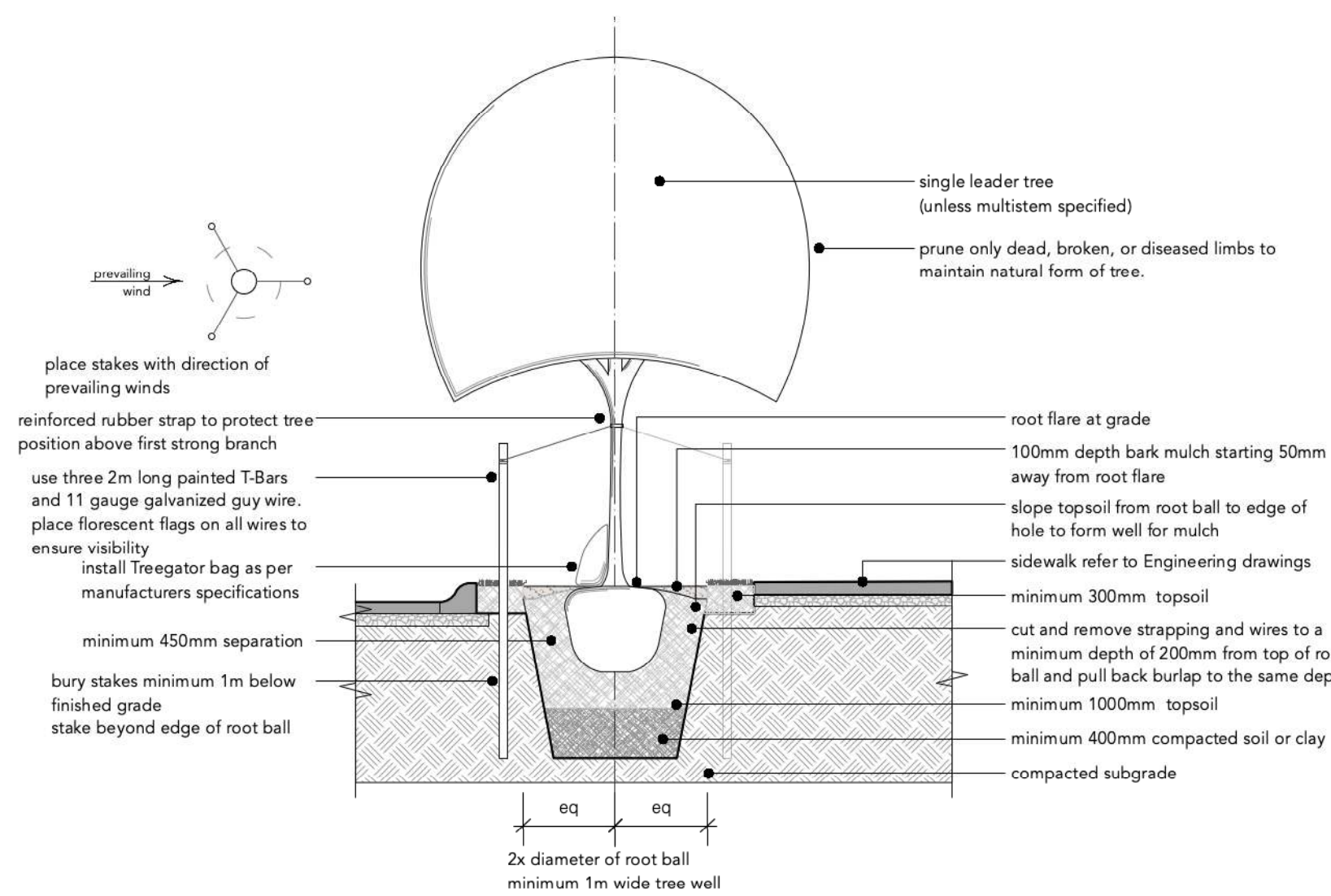
1 typical tree planting
Scale: n.t.s



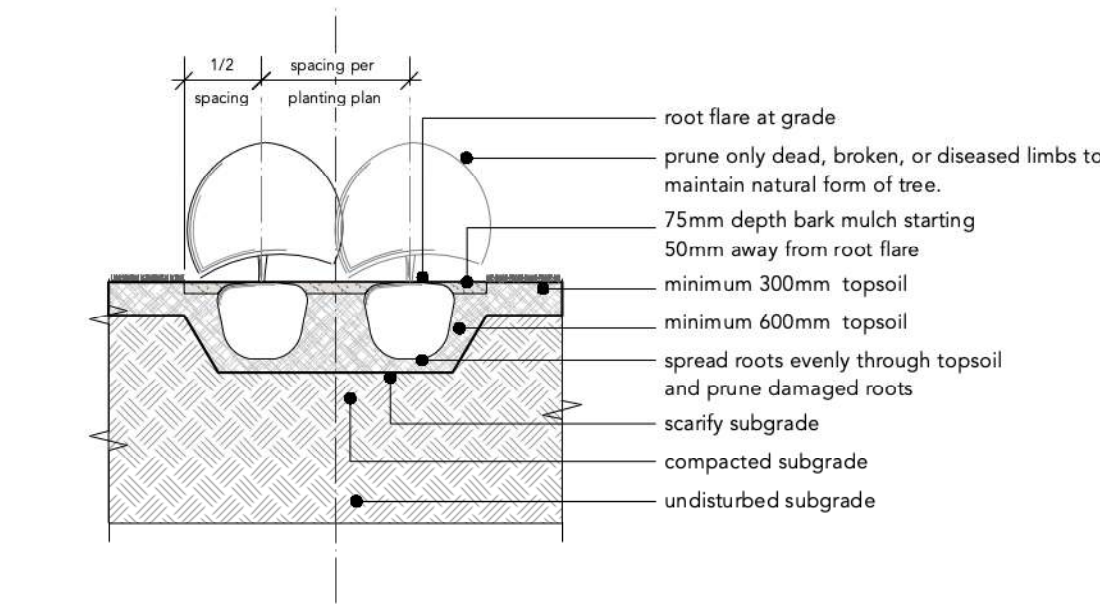
4 minimum planting depths over parkade
Scale: n.t.s.



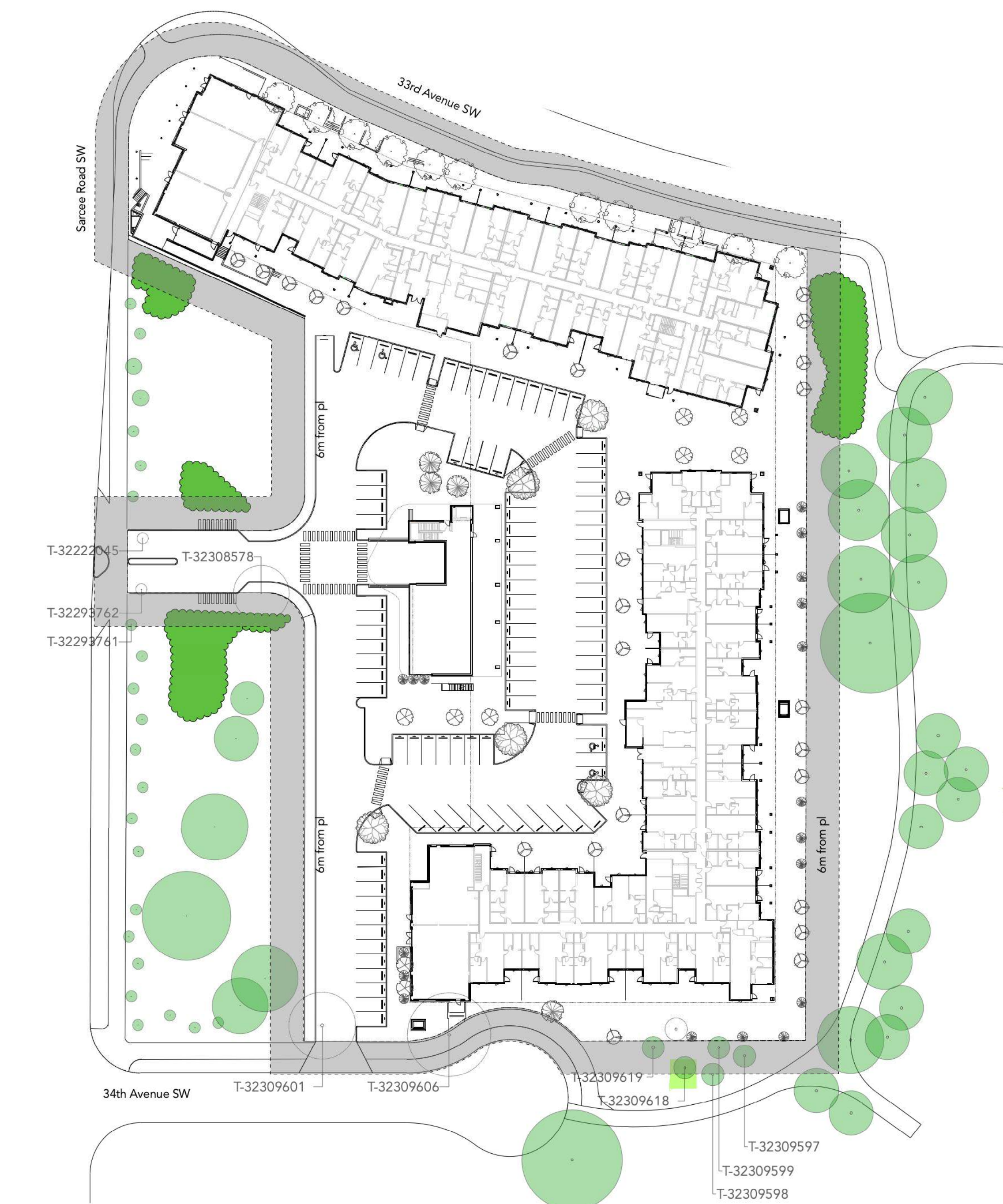
5 typical tree protection
Scale: n.t.s.



2 typical tree planting at sidewalk
Scale: n.t.s



3 typical shrub planting
Scale: n.t.s



6 existing trees
Scale: n.t.s.

Existing Trees Within 6m of property line				
Calgary Tree Number	Common Name	Botanical Name	Action	Comments
T-32309597	Blue Spruce	Picea pungens	Retain	
T-32309597	Blue Spruce	Picea pungens	Retain	
T-32309598	Blue Spruce	Picea pungens	Retain	
T-32309598	Blue Spruce	Picea pungens	Retain	
T-32309599	Blue Spruce	Picea pungens	Retain	
T-32309599	Blue Spruce	Picea pungens	Retain	
T-32309618	Blue Spruce	Picea pungens	Retain	
T-32309618	Blue Spruce	Picea pungens	Retain	
T-32309619	Blue Spruce	Picea pungens	Retain	
T-32309619	Blue Spruce	Picea pungens	Retain	
T-32222045	Gren Ash	Fraxinus pensylvanica	Remove	on private property
T-32222045	Gren Ash	Fraxinus pensylvanica	Retain	on private property
T-32293761	Gren Ash	Fraxinus pensylvanica	Retain	on private property
T-32293761	Gren Ash	Fraxinus pensylvanica	Retain	on private property
T-32293762	Gren Ash	Fraxinus pensylvanica	Retain	on private property
T-32293762	Gren Ash	Fraxinus pensylvanica	Remove	on private property
T-32308578	Poplar	Populus	Remove	on private property
T-32308578	Poplar	Populus	Retain	on private property
T-32309601	Poplar	Populus	Remove	on private property
T-32309601	Poplar	Populus	Remove	on private property
T-32309606	Poplar	Populus	Remove	removed by road redesign
T-32309606	Poplar	Populus	Remove	removed by road redesign

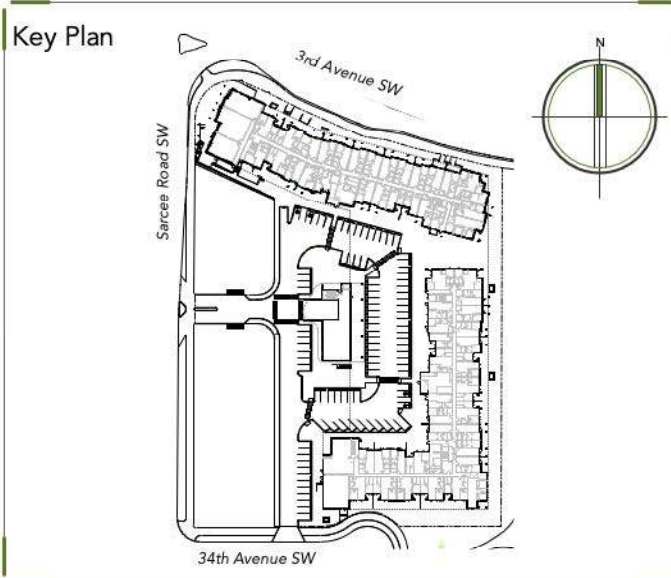
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Project No. 30-003
Project Title.
**Richmond Green
Mixed Use
Building 3000
Calgary, A.B.**

Drawing Title:
Details - Tree protection

Drawn by: cmp
Checked by: cmp
Scale: as noted
Drawing No. **L-04**