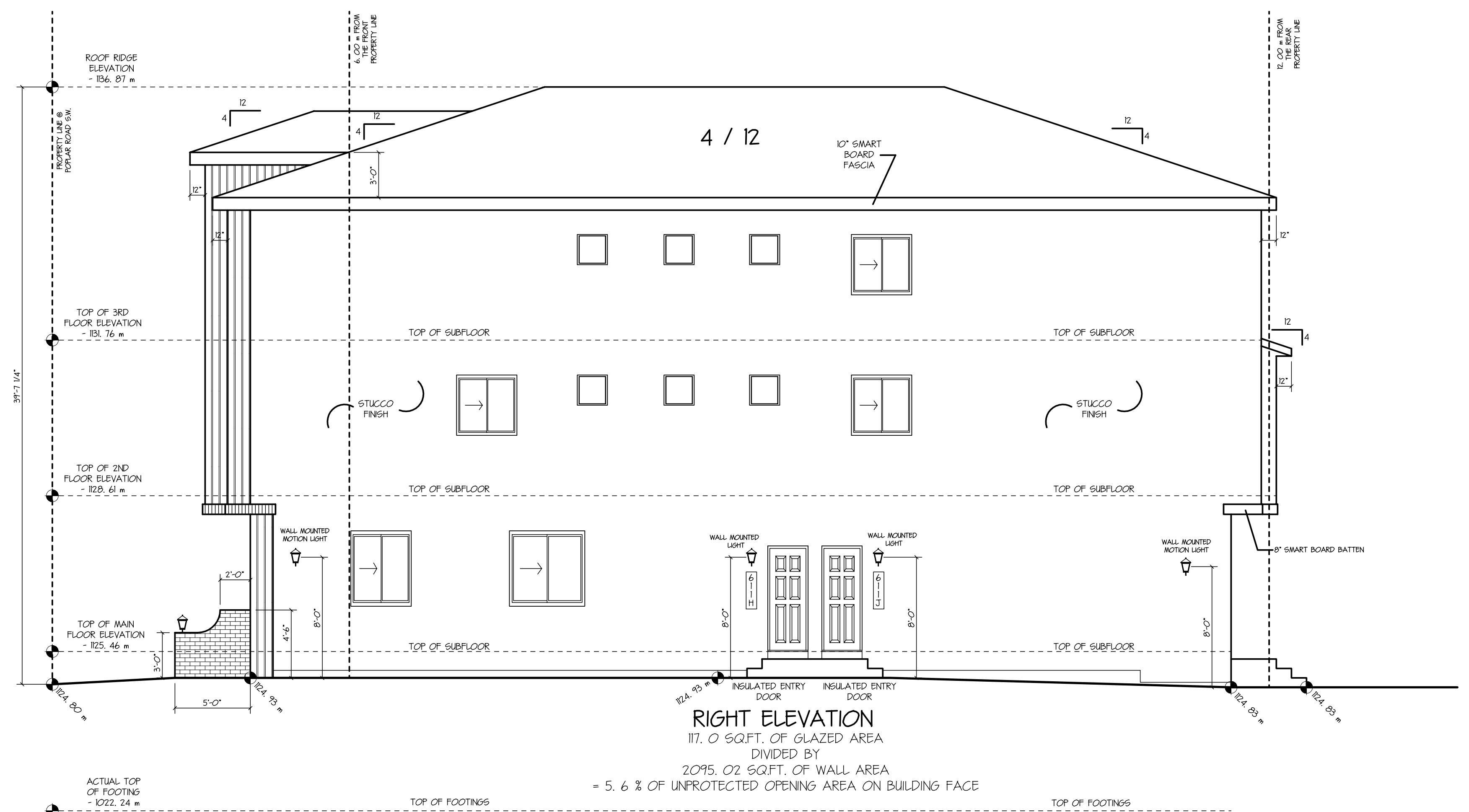
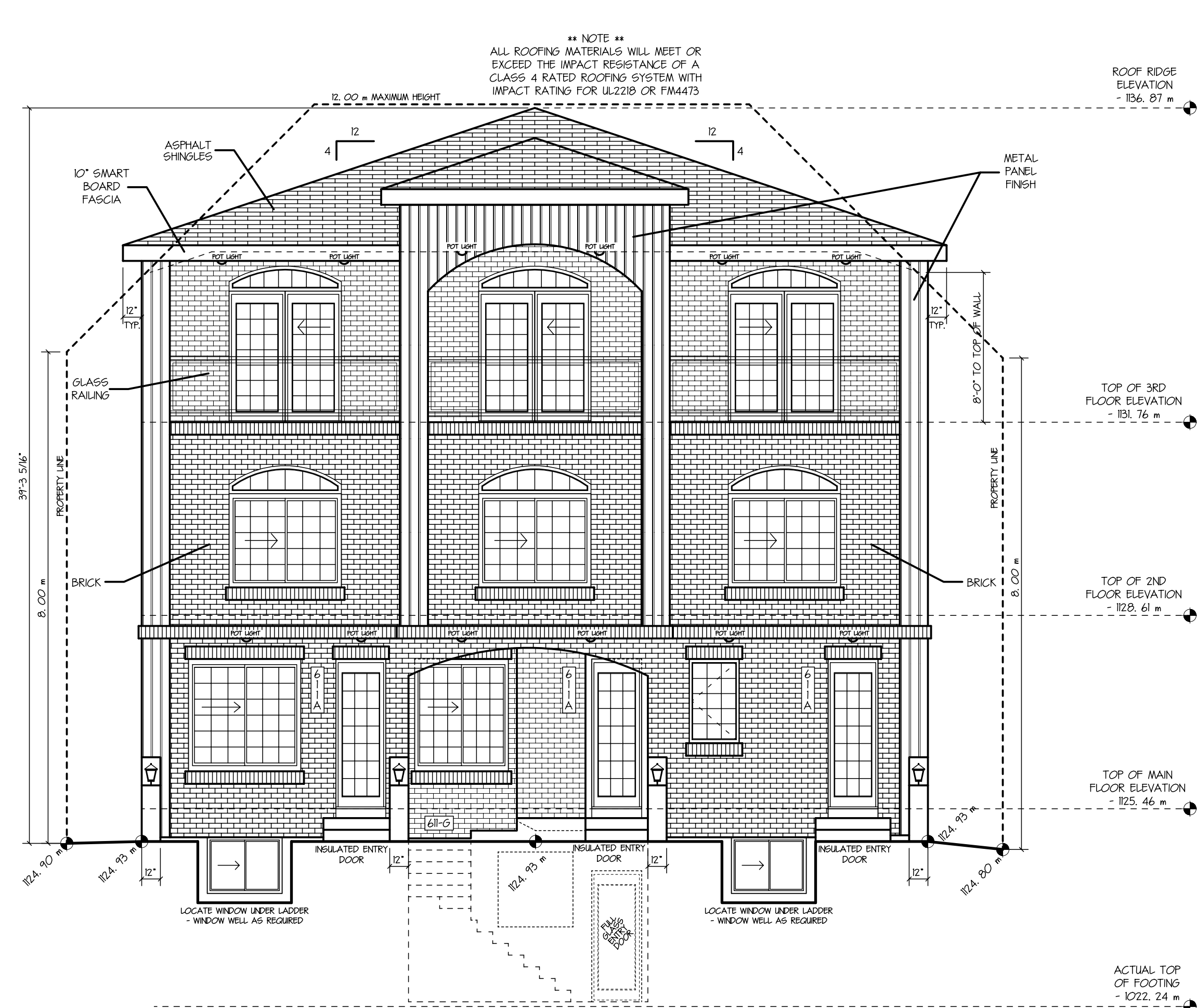
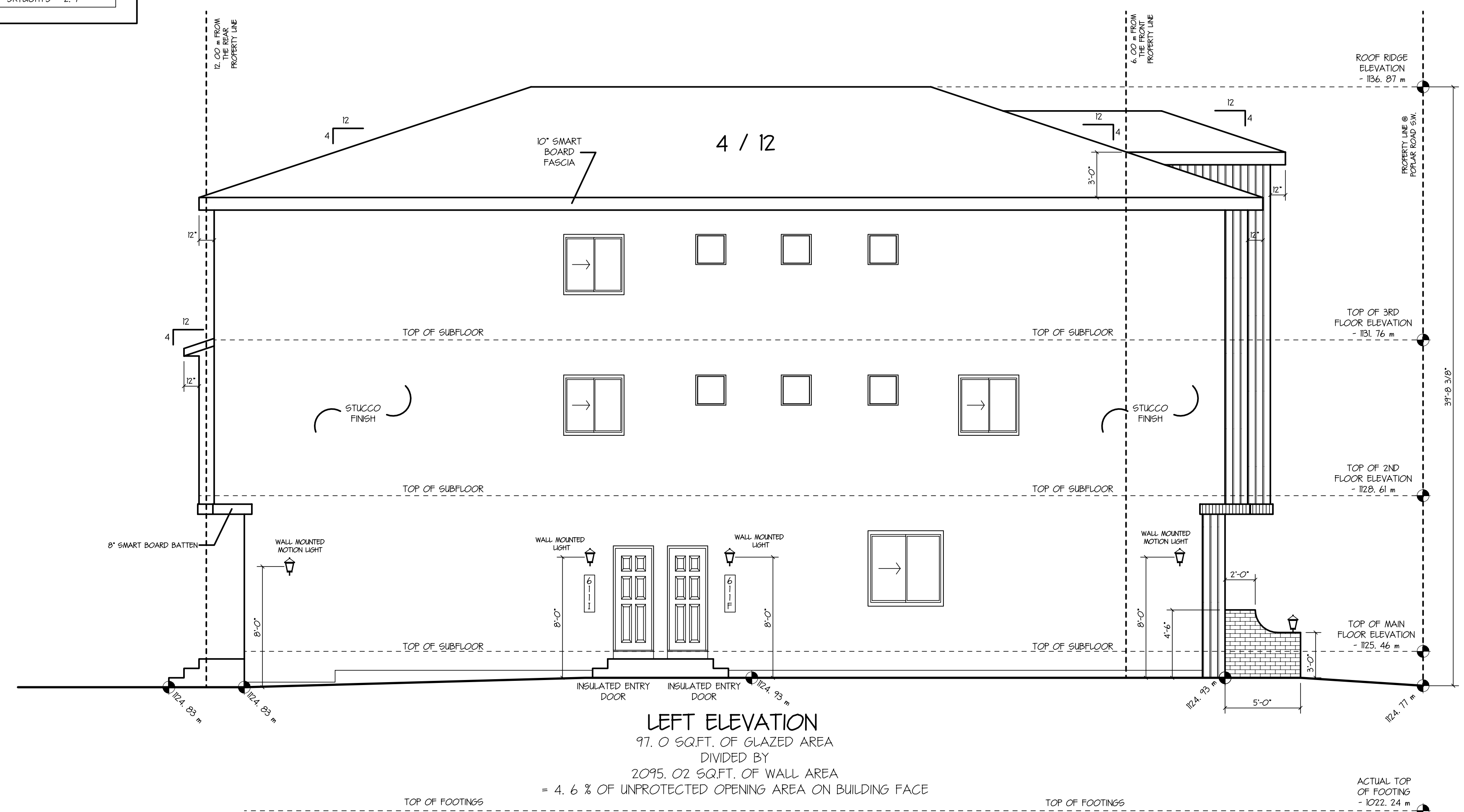
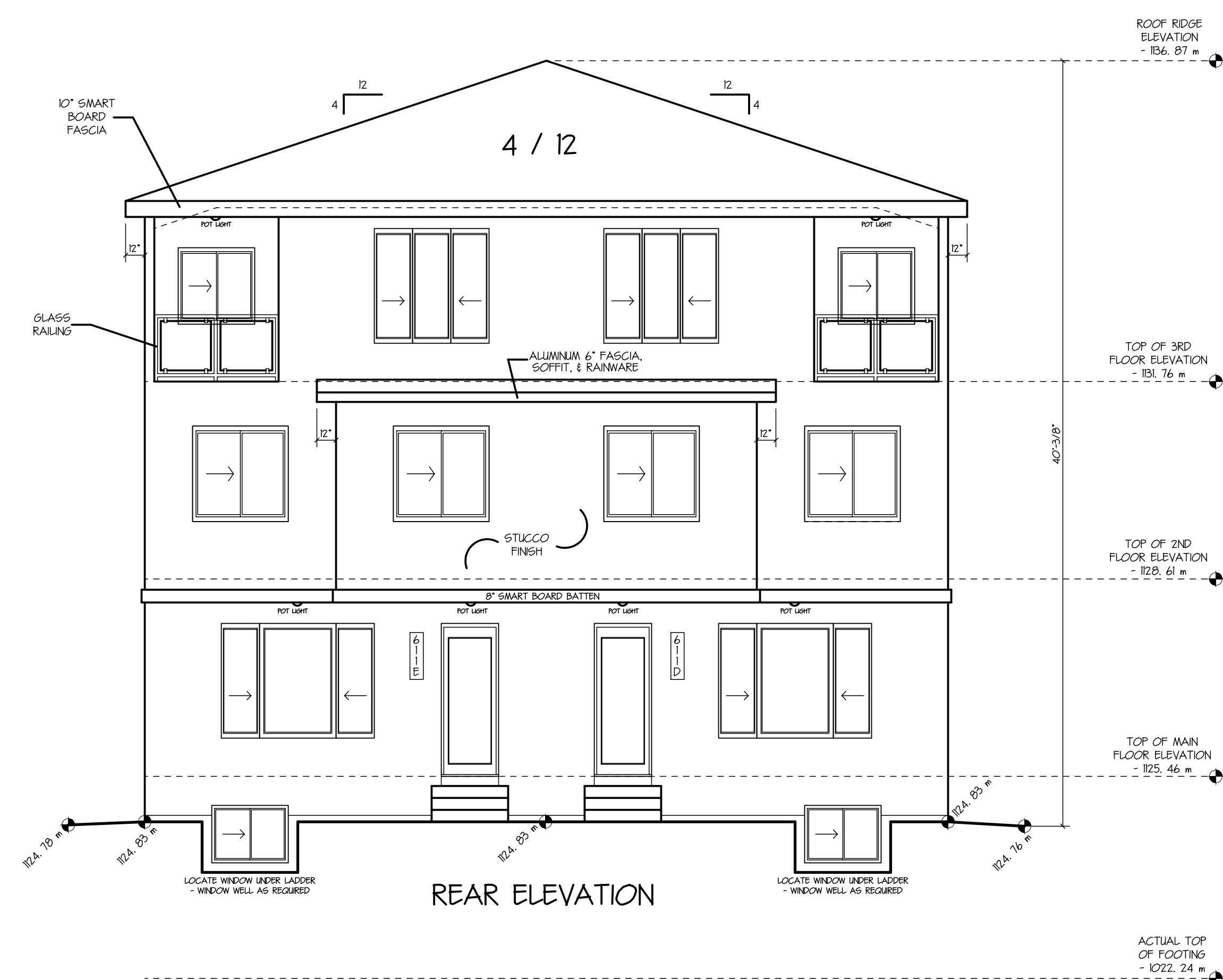


* NOTE - SOLAR PANEL READY, ROUGH-IN CONDUIT TO BE INSTALLED. *



WINDOW FENESTRATION INFORMATION & U-VALUE KEY	
PRODUCT HEIGHT	10" m
TERMIN TYPE	ROUGH
PERFORMANCE CLASS	R
MINIMUM PERFORMANCE GRADE (PG)	25
MINIMUM POSITIVE DESIGN PRESSURE	1200 ps
MINIMUM NEGATIVE DESIGN PRESSURE	1200 ps
MINIMUM WATER PENETRATION RESISTANT TEST PRESSURE	260 ps
MINIMUM CANADIAN AIR INFILTRATION / EXFILTRATION	A2
* AS PER NORTH AMERICAN FENESTRATION STANDARDS (NAPS)	
MAXIMUM or BETTER U-VALUE @:	
- WINDOWS & DOORS = 1.6	
- SKYLIGHTS = 2.7	



SITE PLAN

MUNICIPAL ADDRESS:
611 POPLAR ROAD S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 3
BLOCK B
PLAN 2566 GQ

PREPARED FOR:

DATE OF SURVEY: February 21st, 2025

SCALE: 1:200

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

2F"-Second Floor
BC"-Back of Curve
BW"-Back of Walkway
Cont"-Continer
Cona"-Concrete
Elev"-Elevation
2nd"-Second Floor
L"-Length of Arc
LG"-Up of Gutter
MFL"-Main Floor
MFE"-Main Floor Elevation
R"-Radius
R/W"-Right of Way
Ret"-Retaining
RPE"-Roof Peak Elevation
WB"-Bottom of Wall
WT"-Top of Wall

NOTE:

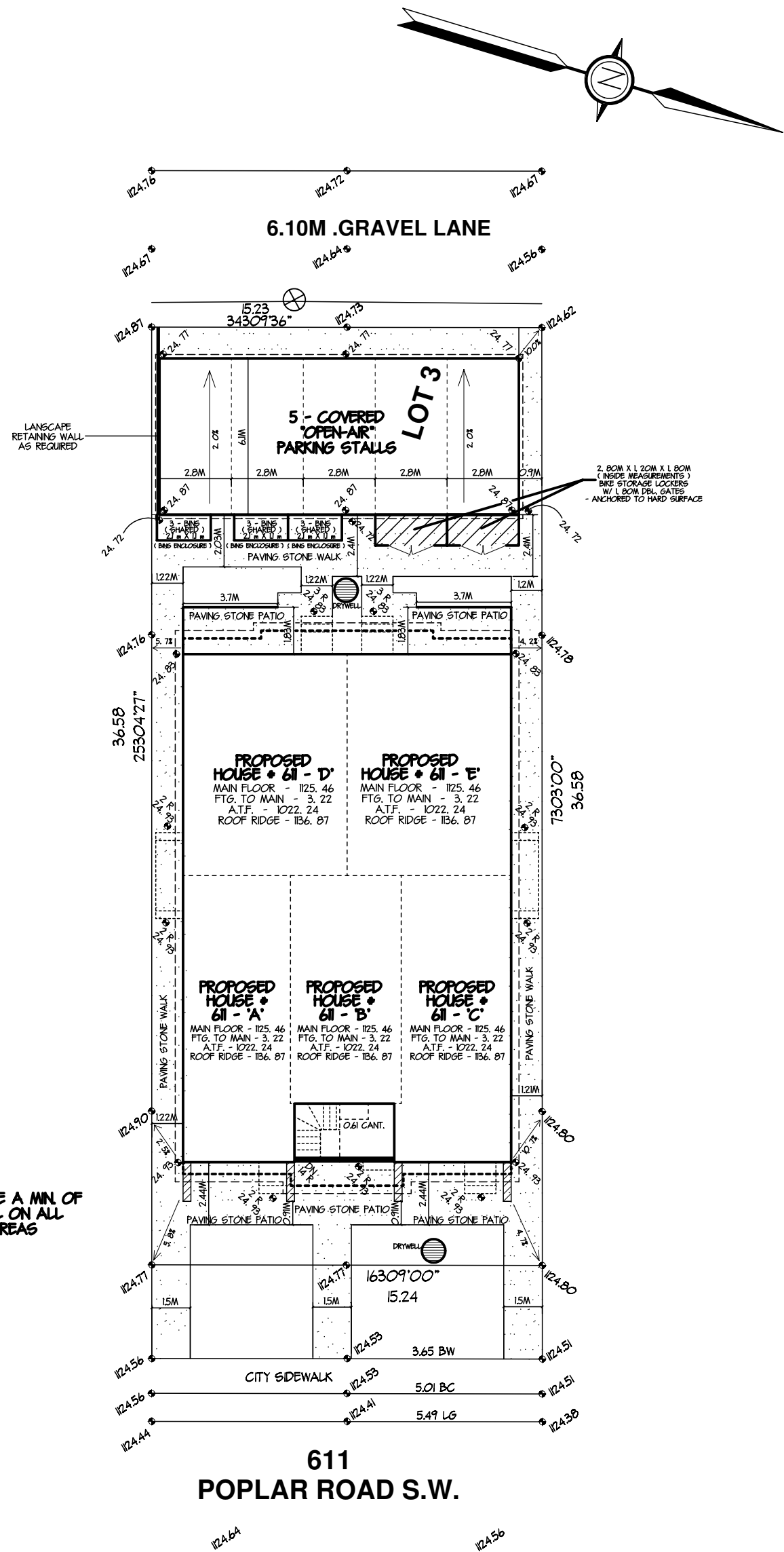
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3d Transverse Mercator
Reference Meridian: 114d west longitude
Combined Scale Factor: 0.999721
 - Distances are in ground and are shown in metres and decimals thereof.
 - Distances along curves are arc distances.
 - Elevations are derived from ASGM 44622
 - Existing spot elevations are shown thus: 44622
 - The Certificate of Title 241 056 Bish was Searched on the 14th day of February, 2025 and includes the following instruments:
Mortgage No. 241 056 B8
 - The utilities information is acquired from The City of Calgary Engineering Department Drawing No. 73, 121, 122 & 124 in Series-Top24-Rgn-HSH.
- Horizon Land Surveys Inc. accepts no responsibility for its drawings, it is the responsibility of the developer and owner to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.

TREE SCHEDULE:

Tree No.	Variety	Trunk (DAB)	Canopy (DAB)	Height	Location	Status
T1	Deciduous	0.30	3.00	3.00	In Adjacent Property	Trimmed
T2	Deciduous	0.30	3.00	3.00	In Adjacent Property	Trimmed
T3	Deciduous	0.30	3.00	3.00	In Adjacent Property	Trimmed
T4	Deciduous	0.30	3.00	3.00	In Adjacent Property	Trimmed
T5	Deciduous	0.30	3.00	3.00	In Adjacent Property	Trimmed
T6	Deciduous	0.30	3.00	3.00	In Adjacent Property	Trimmed
T7	Deciduous	0.30	3.00	3.00	In Adjacent Property	Trimmed
T8	Bush	0.10	1.00	1.00	In City Property	Remove
T9	Deciduous	0.30	3.00	3.00	In Subject Property	Remove
T10	Deciduous	0.30	3.00	3.00	In City Property	Remove
T11	Deciduous	0.30	3.00	3.00	In Adjacent Property	Remove
T12	Deciduous	0.30	3.00	3.00	In Adjacent Property	Remove
T13	Coniferous	0.30	3.00	3.00	In Subject Property	Remove

GRADE
PLAN

ADDRESS 611 POPLAR ROAD S.W.
LOT 3 BLOCK 13 PLAN 2566 GQ



GRADE ELEVATIONS
SCALE 1:200

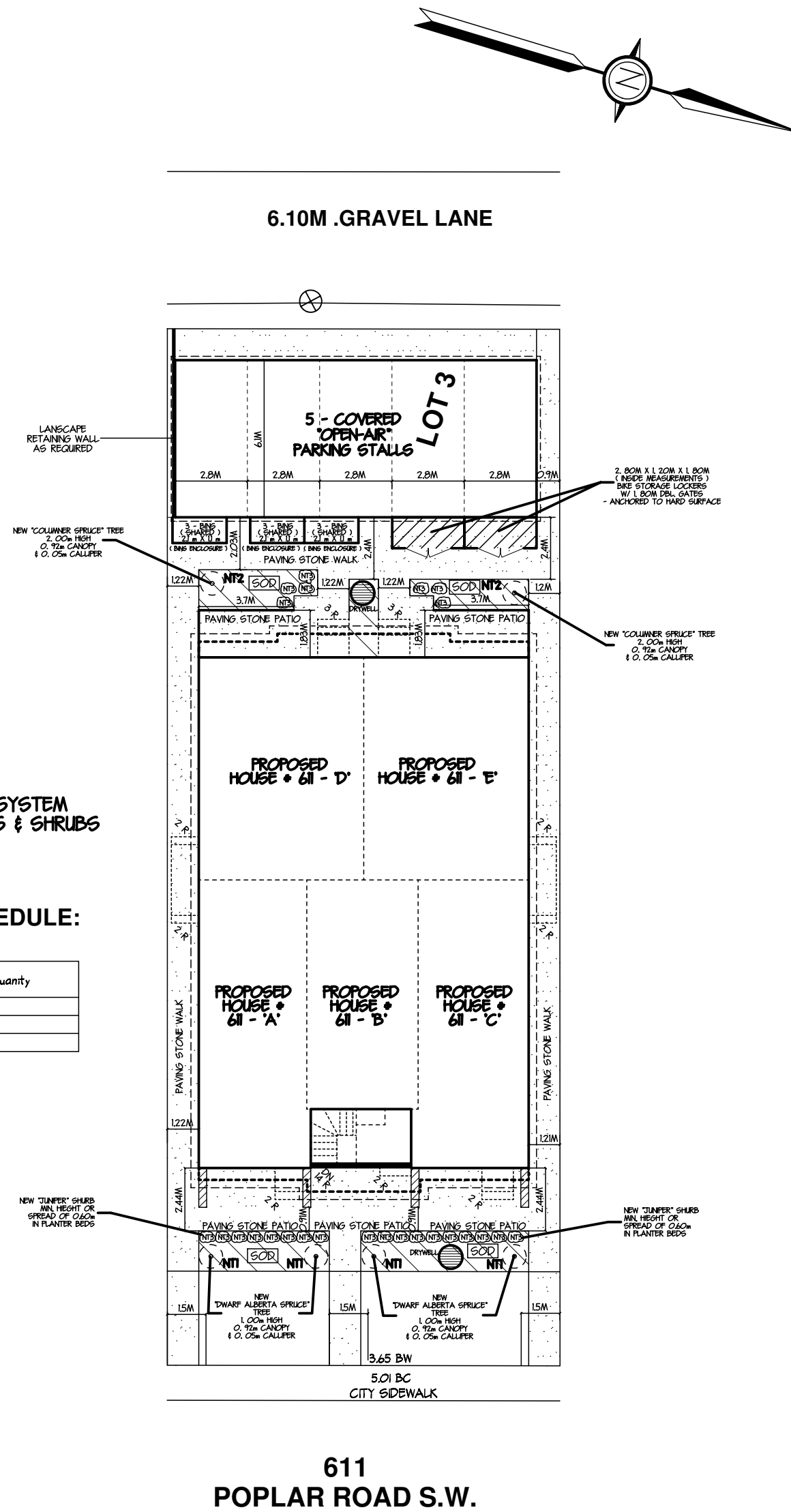
LOT INFO FOR PROPOSED DEVELOPEMENT (+ 611)	
ACTUAL TOP OF FOOTING	1022.24
FINISHED GRADE	24.93 / 24.83
TOTAL LOT	556.81 SQ. M.
TOTAL HOUSE	249.06 SQ. M.
TOTAL PARKING	84.47 SQ. M.
% LOT COVERED	60.0 %

** NOTE **
DEVELOPER TO ENSURE A MIN. OF 300mm OF TOPSOIL ON ALL LANDSCAPING AREAS

PLAN CUSTOM PLAN SCALE 1:200
CUSTOMER 611 POPLAR ROAD S.W.
DATE MARCH 15, 2026 JOB *

LANDSCAPE
PLAN

ADDRESS 611 POPLAR ROAD S.W.
LOT 3 BLOCK 13 PLAN 2566 GQ



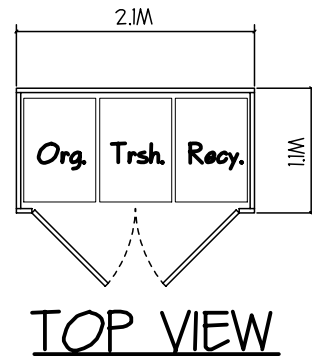
LANDSCAPE PLAN
** NOTE **
DEVELOPER TO PROVIDE UNDERGROUND SPRINKLER SYSTEM FOR SOG AREAS & LOW WATER IRRIGATION FOR TREES & SHRUBS

LANDSCAPE TREES & SHRUBS SCHEDULE:

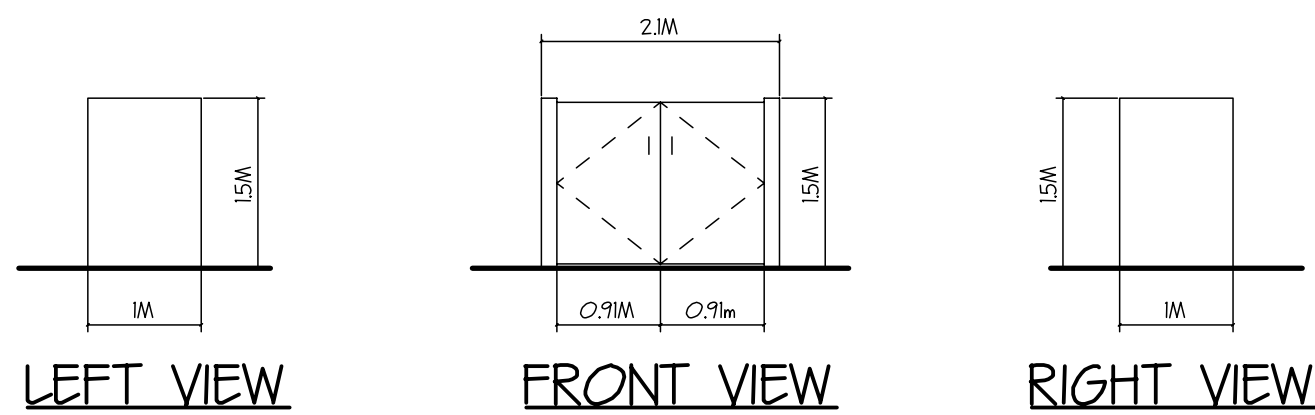
Tree No.	Variety	Caliper	Canopy	Height	Quantity
NT1	OWAMP ALBERTA SPRUCE	0.05	0.92	1.00	4
NT2	Coniferous Tree	0.05	0.92	2.00	2
NT3	Shrub	---	---	0.60	25

** NOTE **
DEVELOPER TO ENSURE A MIN. OF 300mm OF TOPSOIL ON ALL LANDSCAPING AREAS

PLAN CUSTOM PLAN SCALE 1:200
CUSTOMER 611 POPLAR ROAD S.W.
DATE MARCH 15, 2026 JOB *

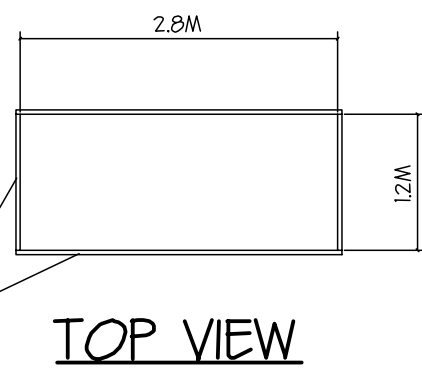


TOP VIEW

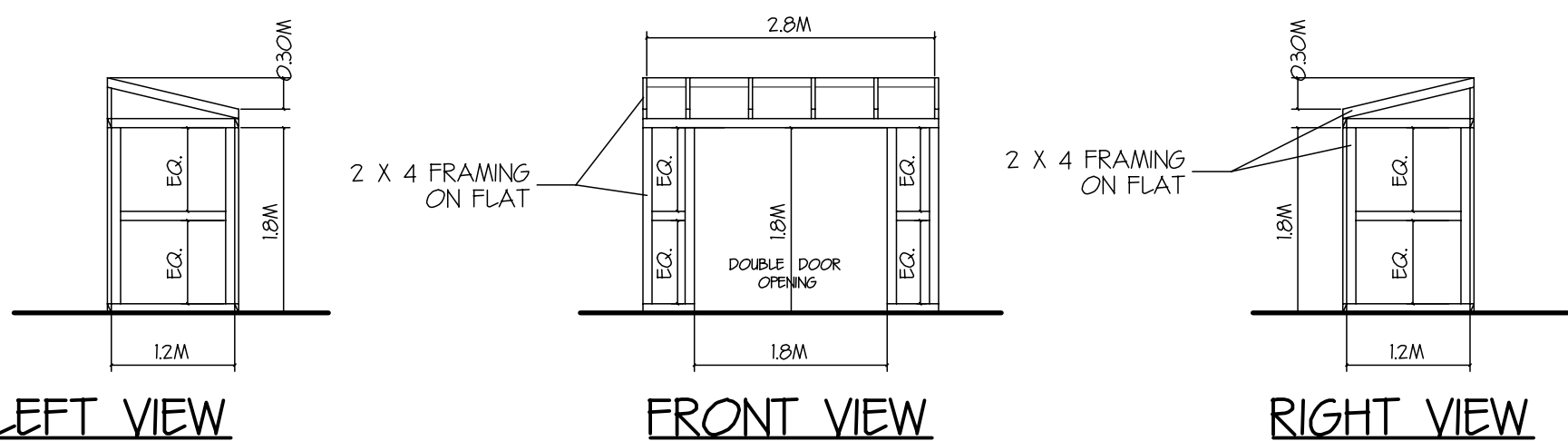


BIN ENCLOSURE DETAIL
SCALE : N.T.S.

* NOTE *
2 X 4 FRAMED OPEN TOP ENCLOSURE
C/W HEAVY DUTY HINGES FOR DOORS
& PAINTED PANELS ON TOP OF FRAMING



TOP VIEW



BIKE STORAGE LOCKER - FRAMING DETAILS
SCALE : N.T.S.

** NOTE **
ENSURE INTERIOR DIMENSIONS OF
BIKE STORAGE LOCKER IS
2.80M X 1.20M X 1.80M