



FLOOR AREA - UNIT #1B
BASEMENT = 1048.54 SQ. FT.

FLOOR AREA - UNIT #1
MAIN = 1048.54 SQ. FT.
UPPER = 1147.46 SQ. FT.
TOTAL = 2196.00 SQ. FT.

FLOOR AREA - UNIT #2B
BASEMENT = 1048.54 SQ. FT.

FLOOR AREA - UNIT #2
MAIN = 1048.54 SQ. FT.
UPPER = 1147.46 SQ. FT.
TOTAL = 2196.00 SQ. FT.

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section
A-3.4	Garage Foundation

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
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AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/01/2026	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-01-23 9:56:20 AM

PROJECT NAME:
1126 8 St SE
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 60-26
-----------------	-----------------

SCALE: AS SHOWN	SHEET: A-0.0
--------------------	-----------------



EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

6" ALUMINUM FASCIA
- 3

SMOOTH STUCCO FINISH - WHITE
- 4

LIMESTONE FINISH
- 5

BOARD & BATTEN FINISH - DARK GREY / BLACK
- 6

HARDIE BOARD SIDING - WHITE
- 7

ALUMINUM ROOF FINISH
- 8

CONC. PARGING
- 9

CAST IN PLACE CONCRETE

NOTE*
-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED
TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

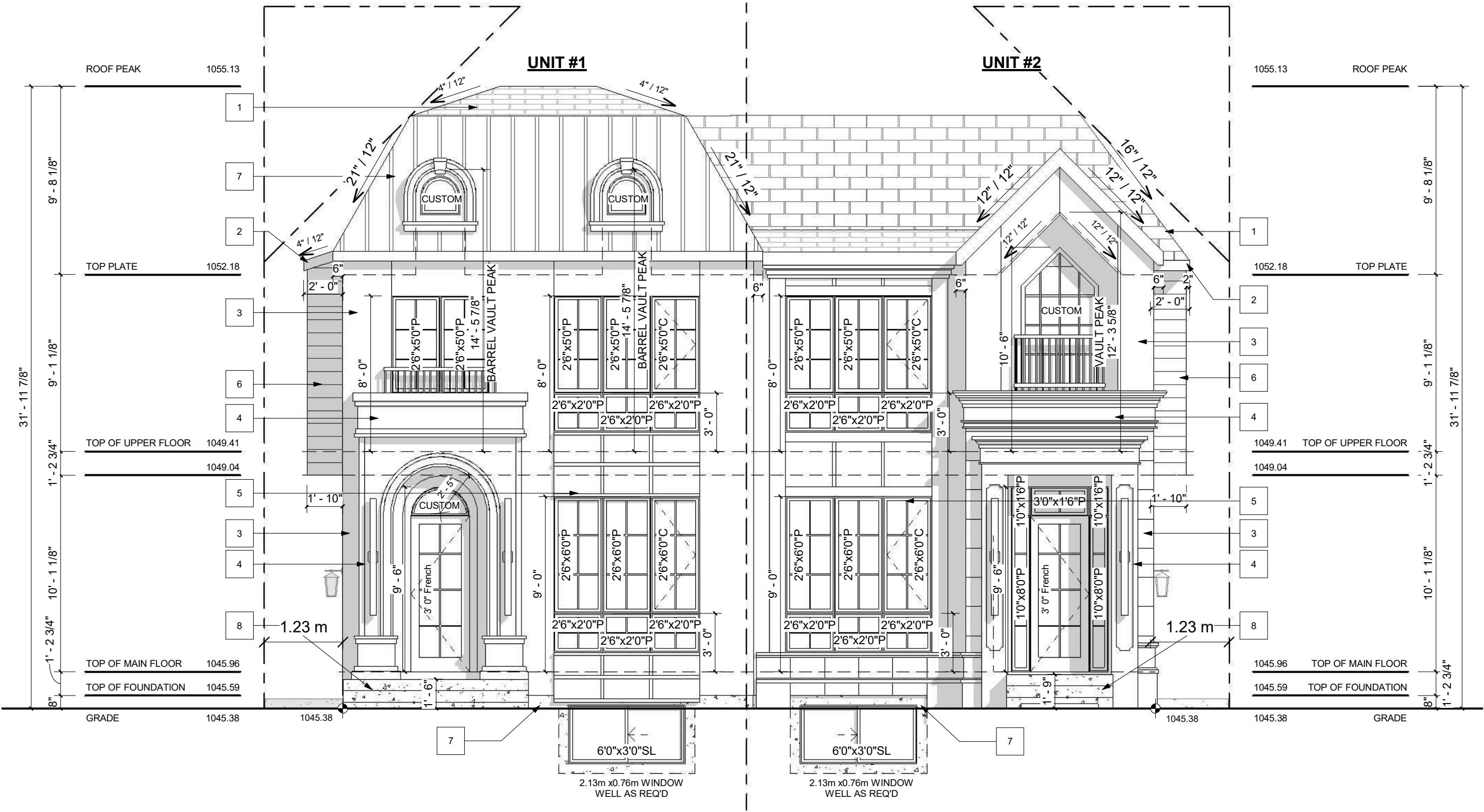
PRINTED: 2026-01-23 9:56:25 AM

PROJECT NAME:
1126 8 St SE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 60-26

SCALE: AS SHOWN SHEET: A-2.0

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

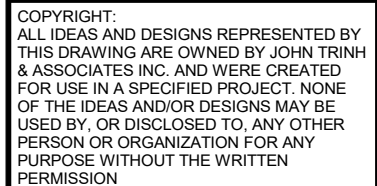


1	ASPHALT SHINGLES	5	BOARD & BATTEN FINISH - DARK GREY / BLACK	9	CAST IN PLACE CONCRETE
2	6" ALUMINUM FASCIA	6	HARDIE BOARD SIDING - WHITE		
3	SMOOTH STUCCO FINISH - WHITE	7	ALUMINUM ROOF FINISH		
4	LIMESTONE FINISH	8	CONC. PAVING		

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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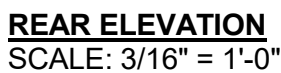
NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/01/2026	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



SIGNATURES:

X _____

SCALE:	SHEET:
AS SHOWN	A-2.1



EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

6" ALUMINUM FASCIA
- 3

SMOOTH STUCCO FINISH - WHITE
- 4

LIMESTONE FINISH
- 5

BOARD & BATTEN FINISH - DARK GREY / BLACK
- 6

HARDIE BOARD SIDING - WHITE
- 7

ALUMINUM ROOF FINISH
- 8

CONC. PARGING
- 9

CAST IN PLACE CONCRETE

WINDOW CALCULATION
WALL AREA = 1045.34 SQ. FT.
WINDOW AREA = 54.98 SQ. FT.
TOTAL: 54.98 / 1045.34 = 5.26%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/01/2026	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-01-23 9:56:27 AM

PROJECT NAME:
1126 8 St SE
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 60-26
SCALE: AS SHOWN	SHEET: A-2.2

UNIT #1



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

6" ALUMINUM FASCIA
- 3

SMOOTH STUCCO FINISH - WHITE
- 4

LIMESTONE FINISH
- 5

BOARD & BATTEN FINISH - DARK GREY / BLACK
- 6

HARDIE BOARD SIDING - WHITE
- 7

ALUMINUM ROOF FINISH
- 8

CONC. PARGING
- 9

CAST IN PLACE CONCRETE

WINDOW CALCULATION
WALL AREA = 1034.91 SQ. FT.
WINDOW AREA = 44.44 SQ. FT.
TOTAL: 44.44 / 1034.91 = 4.29%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/01/2026	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

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PROJECT NAME:
1126 8 St SE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 60-26

SCALE: AS SHOWN SHEET: A-2.3

UNIT #2



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

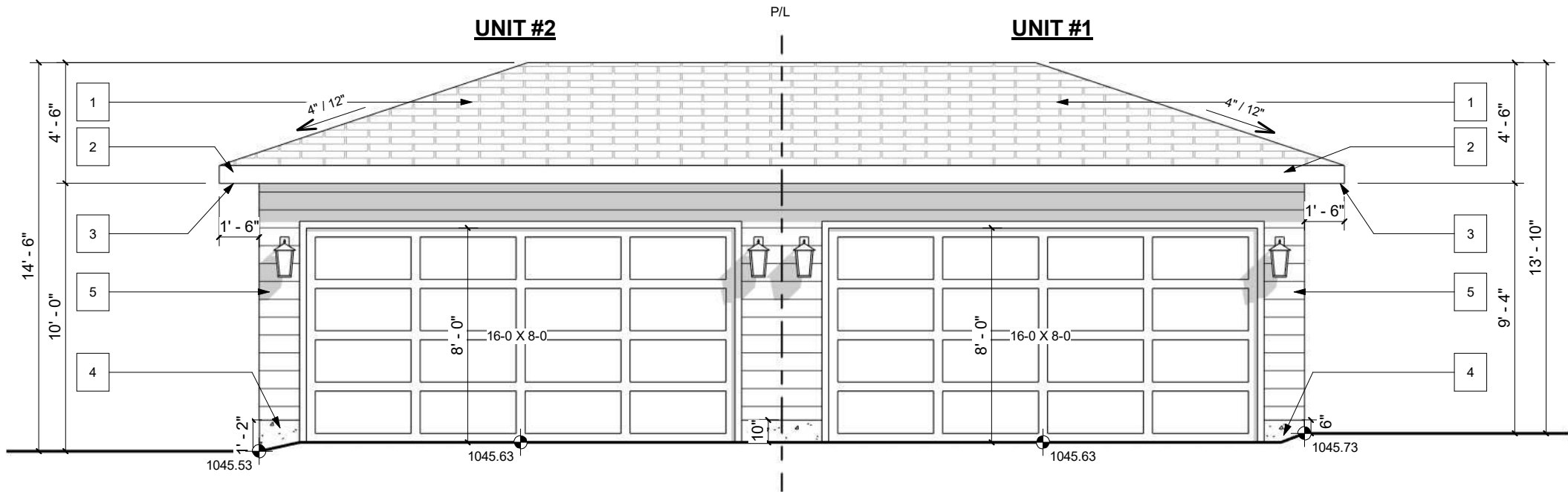
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

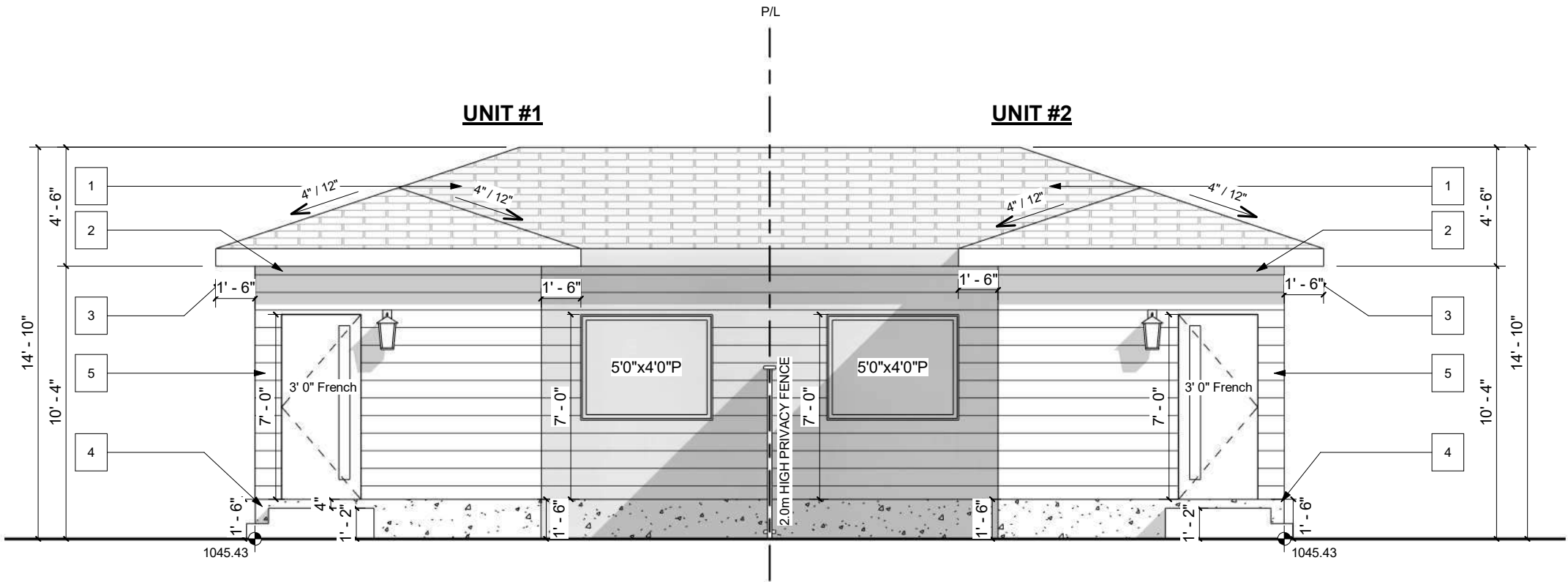
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

HARDIE FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/01/2026	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-01-23 9:56:29 AM

PROJECT NAME:
1126 8 St SE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 60-26

SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

- 1

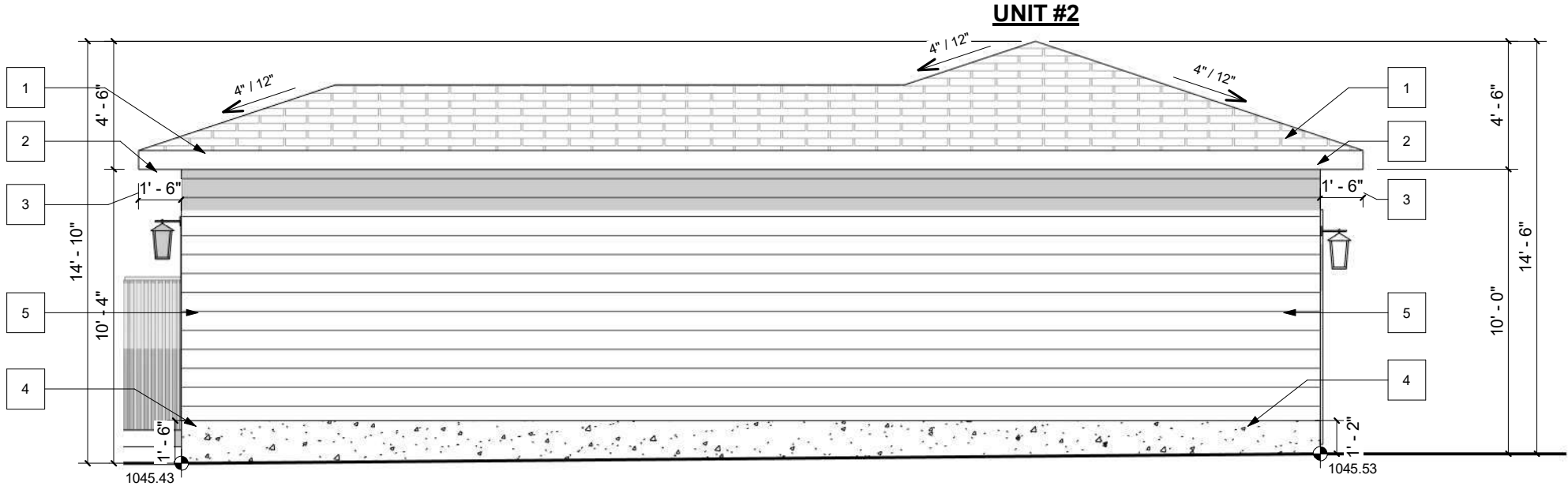
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

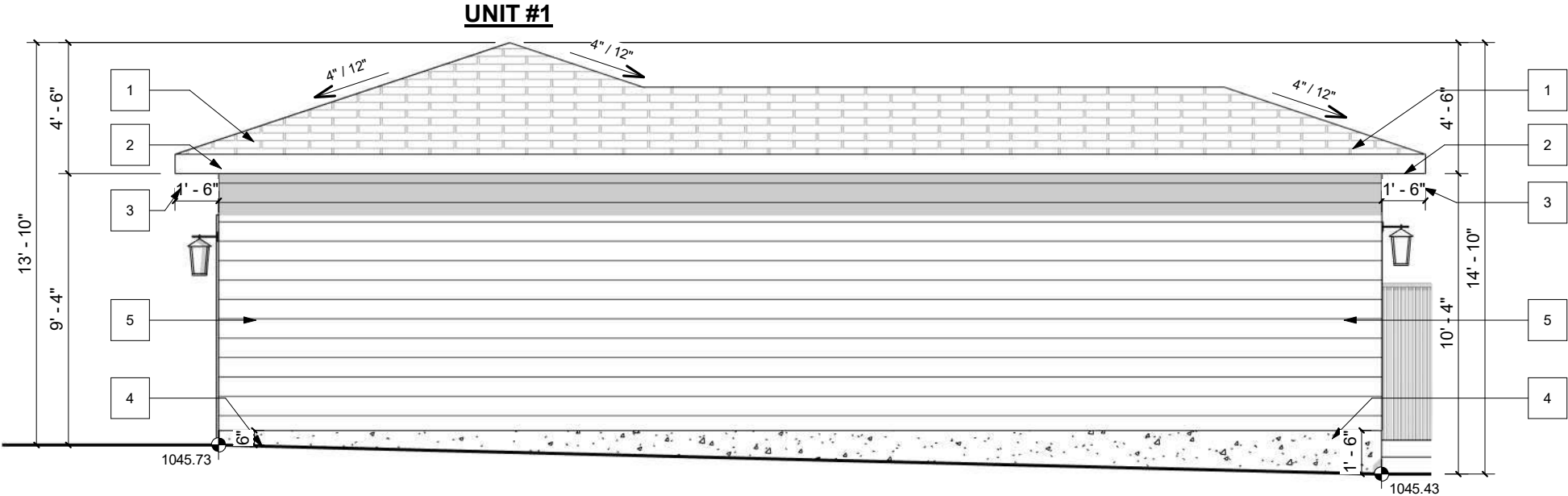
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

HARDIE FINISH



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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ISSUES:

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01.	20/01/2026	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: **SEMI DETACHED**

STATUS: -

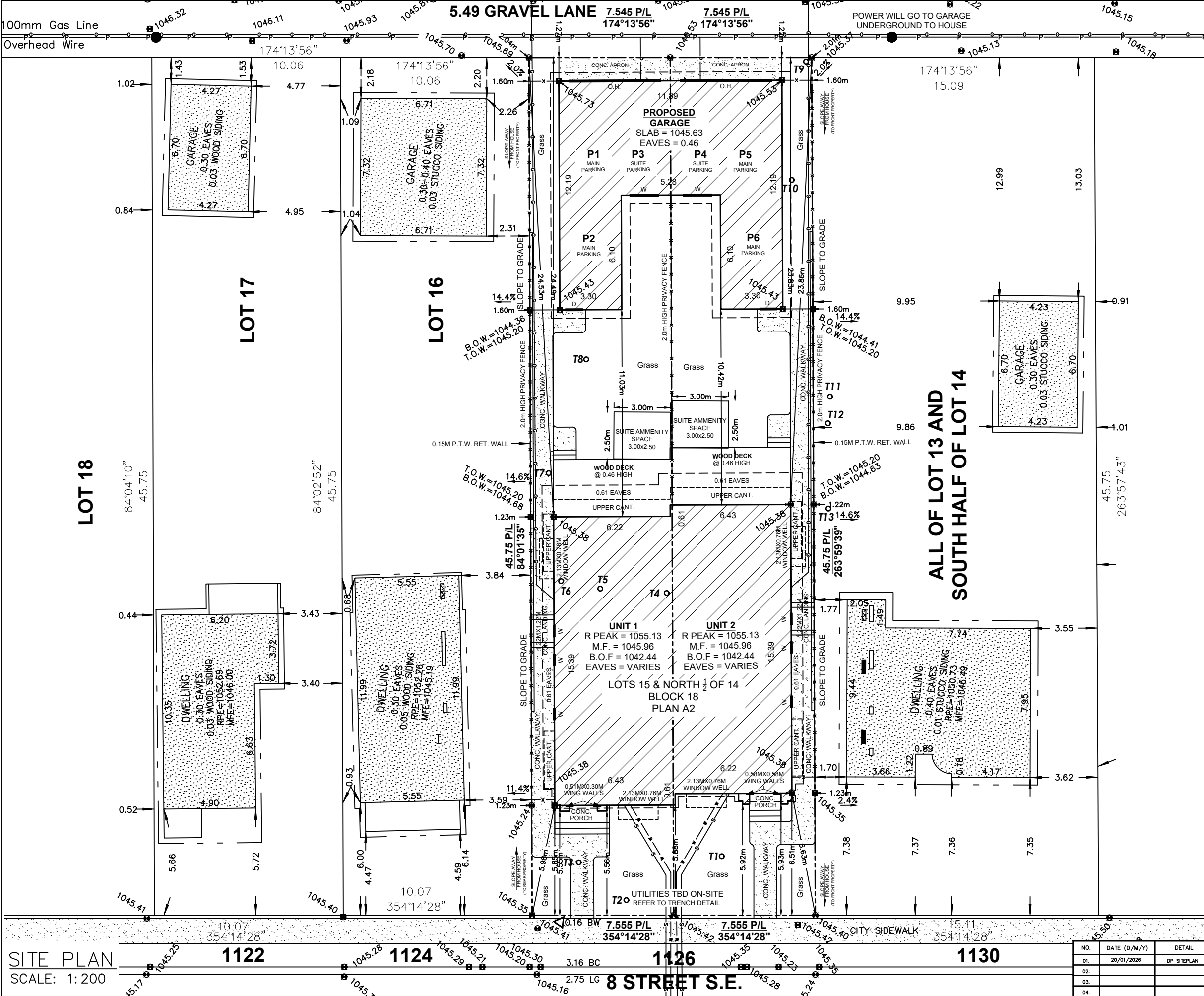
SIGNATURES:
X _____

PRINTED: 2026-01-23 9:56:29 AM

PROJECT NAME:
1126 8 St SE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 60-26

SCALE: AS SHOWN SHEET: A-3.2



SITE PLAN

- LEGEND**
- ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- $\square$ ----- denotes Calculation points
 - $\boxtimes$ ----- denotes Water Valve
 - $\blacklozenge$ ----- denotes Gas Valve
 - $\odot$ ----- denotes Manhole
 - $\odot$ ----- denotes Tree
 - $\bullet$ ----- denotes Power Pole
 - $\triangle$ ----- denotes Sign
 - $\odot$ ----- denotes Light Standard
 - $-X-X-$ ----- denotes Fence
 - $-S-$ ----- denotes Sanitary Line
 - $-ST-$ ----- denotes Storm Line
 - $-W-$ ----- denotes Water Line
 - $-G-$ ----- denotes Gas Line
 - $-E-$ ----- denotes Electrical Line
 - $-A.G.T-$ ----- denotes A.G.T Line
 - $---$ ----- denotes Utility Right of Way Line
 - $---$ ----- denotes Property Line
 - $---$ ----- denotes Door
 - $---$ ----- denotes Main Floor Windows
 - $---$ ----- denotes Second Floor Windows
 - $---$ ----- denotes Basement Floor Windows
 - $\square$ ----- denotes Shed Hatch
 - $\square$ ----- denotes Detached Garage Hatch
 - $\square$ ----- denotes Main Building Hatch
 - $\square$ ----- denotes Concrete and Asphalt Hatch
 - $\square$ ----- denotes Wood Hatch
- 'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
- 'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
THE NORTH HALF OF LOT 14
AND ALL OF LOT 15
Block 18
Plan A2

MUNICIPAL ADDRESS:

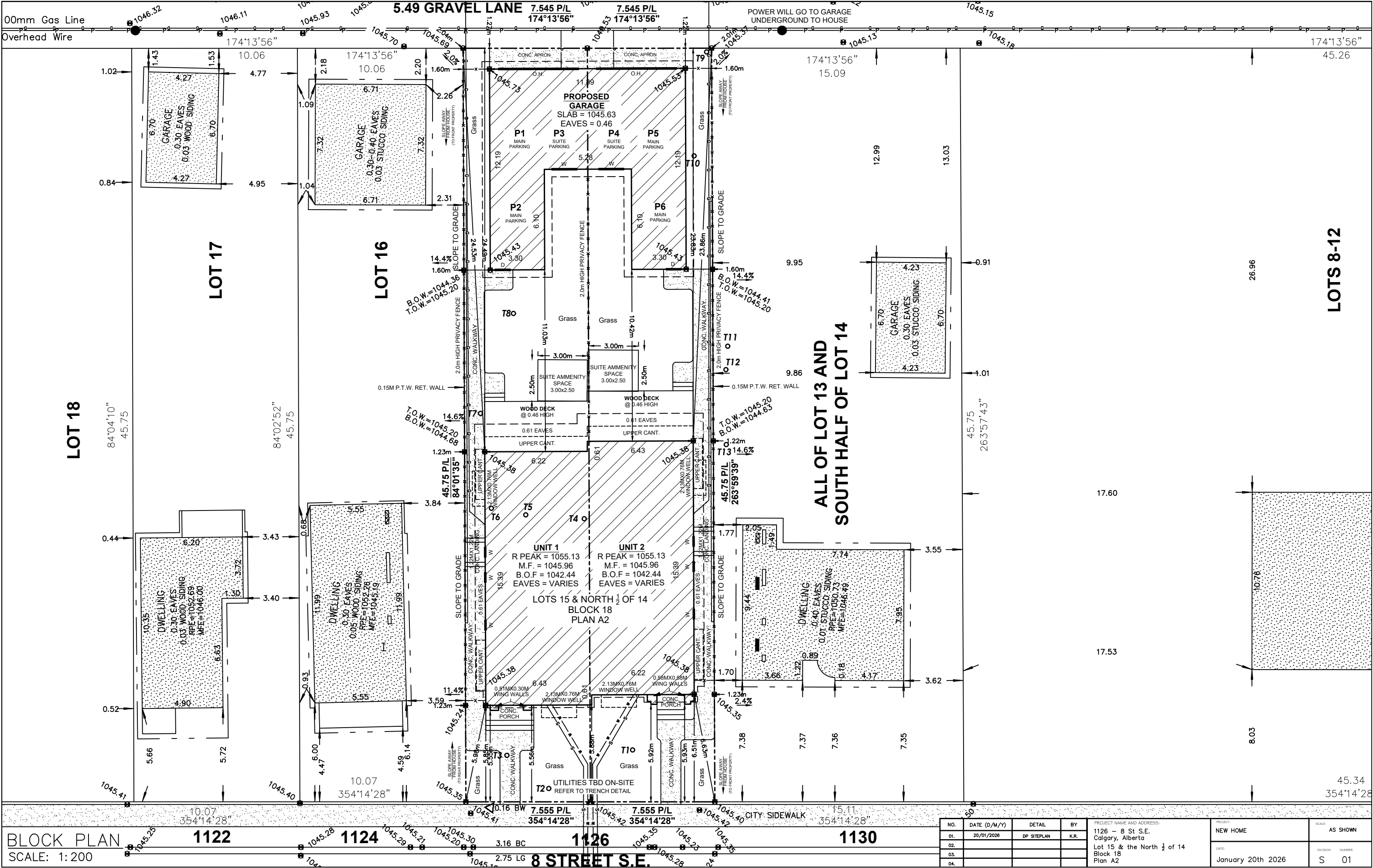
1126 - 8 St S.E.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 690.430 SQ M
HOUSE SIZE: 194.825 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 0.000 SQ M
GARAGE: 112.722 SQ M
WING WALL: 0.915 SQ M

= 308.462/690.430
= 44.68%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	20/01/2026	DP SITEPLAN	K.R.	1126 - 8 St S.E. Calgary, Alberta	NEW HOME	1: 200
02.				Lot 15 & the North 1/2 of 14		
03.				Block 18	DATE: January 20th 2026	DIVISION NUMBER: S 01
04.				Plan A2		



BLOCK PLAN
SCALE: 1: 200

1122

1124

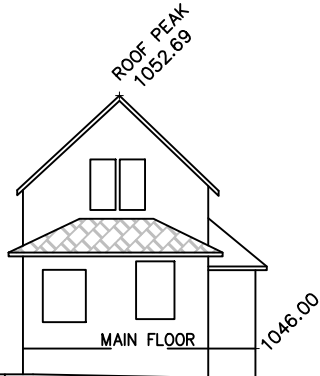
1126

1130

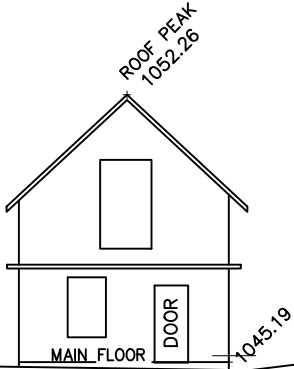
8 STREET S.E.

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	20/01/2026	DP SITEPLAN	K.R.	1126 - 8 St S.E. Calgary, Alberta	NEW HOME	AS SHOWN
02.				Lot 15 & the North 1/2 of 14		
03.				Block 18		
04.				Plan A2	January 20th 2026	S 01

LOT 18



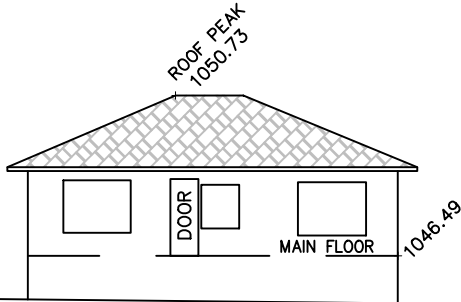
1122 8 STREET S.E.
(LOT 17, BLOCK 18, PLAN A2)
FACING 8 STREET S.E.



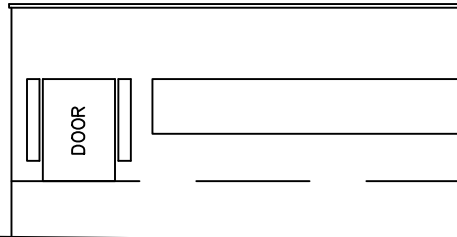
1124 8 STREET S.E.
(LOT 16, BLOCK 18, PLAN A2)
FACING 8 STREET S.E.



1126 8 STREET S.E.
(THE NORTH HALF OF LOT 14 AND ALL OF
LOT 15, BLOCK 18, PLAN A2)
FACING 8 STREET S.E.



1130 8 STREET S.E.
(ALL OF LOT 13 AND SOUTH HALF OF
LOT 14, BLOCK 18, PLAN A2)
FACING 8 STREET S.E.



1140 8 STREET S.E.
(LOTS 8-12, BLOCK 18, PLAN A2)
FACING 8 STREET S.E.

NEW HOME SQFT.

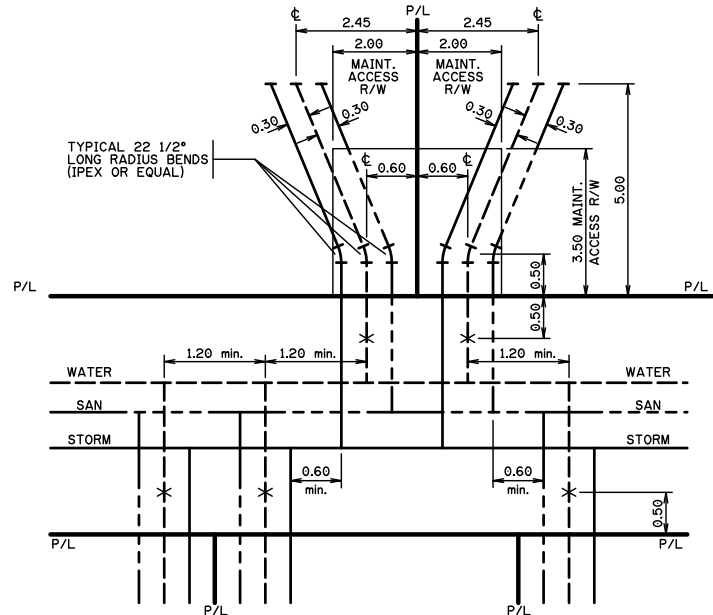
	UNIT 1	UNIT 2
GARAGES	606.67 SQ FT	606.67 SQ FT
BASEMENT	1048.54 SQ FT	1048.54 SQ FT
MAIN FLOOR	1048.54 SQ FT	1048.54 SQ FT
UPPER FLOOR	1147.46 SQ FT	1147.46 SQ FT
TOTAL	2196.00 SQ FT	2196.00 SQ FT

TREE SCHEDULE:

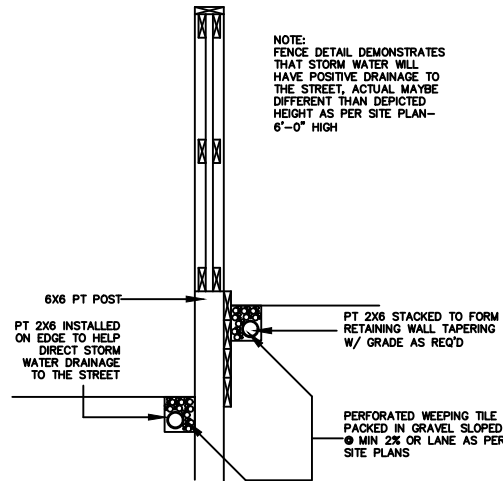
Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Coniferous	0.54	3.50	4.00	In Subject Property	To Be Removed
T2	Bush	—	1.50	1.50	In Subject Property	To Be Removed
T3	Deciduous	0.40	7.00	7.00	In Subject Property	To Be Removed
T4	Deciduous	0.29	7.00	4.50	In Subject Property	To Be Removed
T5	Bush	—	3.00	3.00	In Subject Property	To Be Removed
T6	Bush	—	2.50	3.00	In Subject Property	To Be Removed
T7	Bush	—	3.00	2.00	In Subject Property	To Be Removed
T8	Coniferous	0.74	7.00	17.00	In Subject Property	To Be Removed
T9	Deciduous	0.13	4.00	4.50	In Subject Property	To Be Removed
T10	Bush	—	2.50	2.50	In Subject Property	To Be Removed
T11	Deciduous	0.20	4.00	6.00	In Adjacent Property	To Stay
T12	Deciduous	0.20	4.00	6.00	In Adjacent Property	To Stay
T13	Deciduous	0.37	7.00	7.00	In Adjacent Property	To Stay

NOTES-

- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
- DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
- SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
- THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
- DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
- WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL
SCALE: NTS



FENCE SECTION DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	20/01/2026	DP SITEPLAN	K.R.	1126 - 8 St S.E. Calgary, Alberta	NEW HOME	AS SHOWN
02.				Lot 15 & the North ½ of 14		
03.				Block 18		
04.				Plan A2	January 20th 2026	S 02