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NORR

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A Partnership of Corporations
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HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

DEVELOPMENT PERMIT:DP2026-00376
NORR PROJECT NUMBER:C01125-0122

ISSUED FOR DR2 - June 10, 2026

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	JUBILEE ENGINEERING ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	NORR ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
TLJ ENGINEERING ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	TLJ ENGINEERING ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	GROUND CUBED ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER

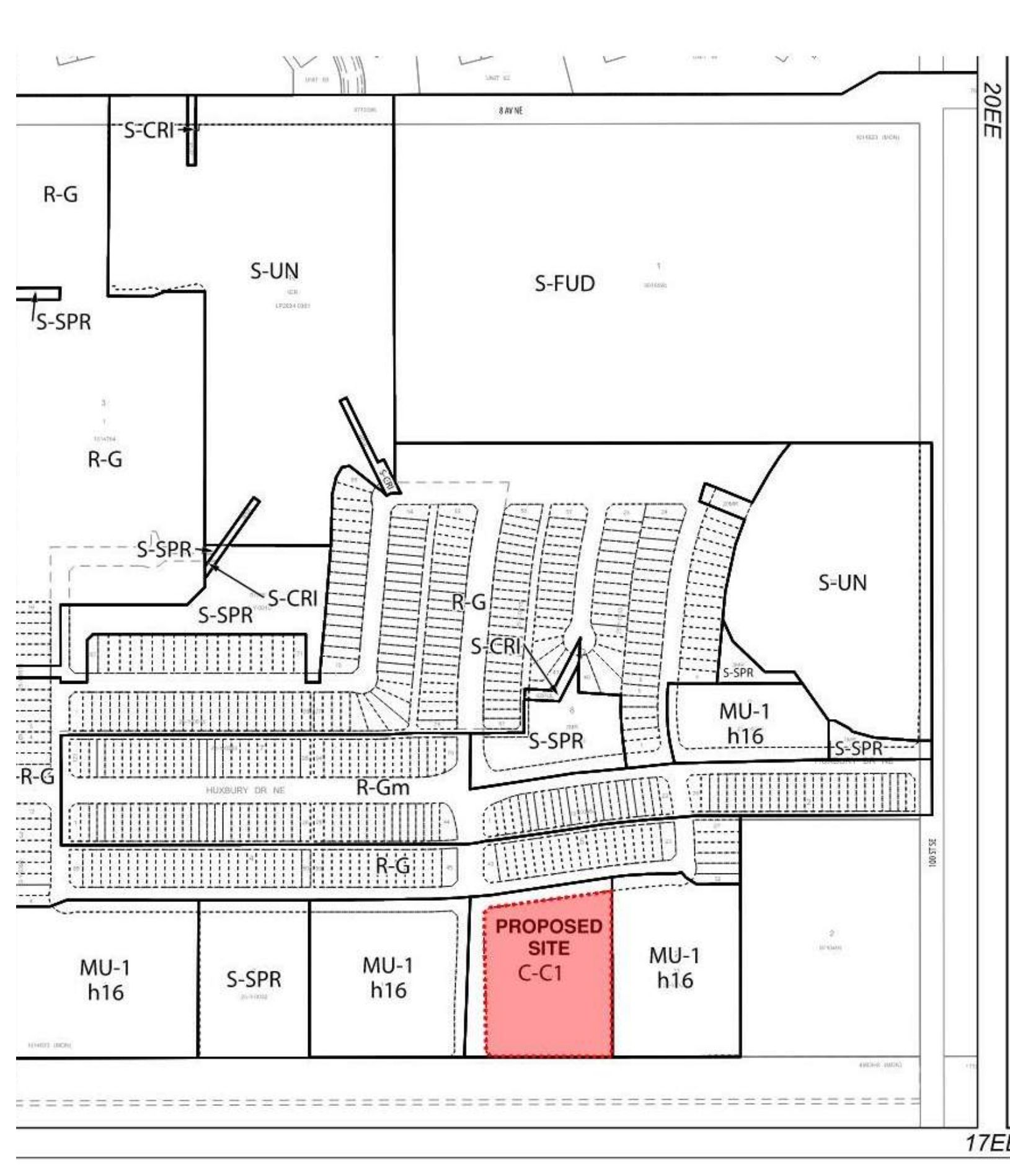
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

OUTLINE PLAN



3 LANDUSE MAP
DP10-00-01 SCALE: 1 : 4000

2 ZONING MAP
DP10-00-01 SCALE: 1 : 4000



Site Information

LAND USE DISTRICT	C-C 1 (Commercial - Community 1)	
LEGAL DESCRIPTION	LOT 1 BLOCK 3 PLAN 101 4764	
MUNICIPAL ADDRESS	655 100 ST NE, CALGARY, AB	
COMMUNITY	HUXLEY	
SITE AREA	14,401.1 SM	155,011.6 SF
	3.56 AC	1.44 HA

The site area includes the future gas station parcel (developed by others) that is within the site

Development Statistics

PROPOSED USE	4 Commercial buildings, single storey wood frame structure. The Future gas station parcel is out of scope but within the site.	
FAR		
Maximum	1.00	
Proposed F.A.R	0.17	
Total GFA	2,460 SM	
BUILDING HEIGHT		
Maximum	10.0M	
SET BACK		
Front	3.0M	At P.L shared with Street
Rear/Side	3.0M	At P.L shared with Street
Rear/Side	3.0M	At P.L shared with Residential district

PARKING ALLOCATION

BUILDING 1		
2.6M PARKING	16	
	16	
BUILDING 2		
2.6M PARKING	27	
B.F PARKING	2	
	29	
BUILDING 3		
2.6M PARKING	11	
	11	
BUILDING 4		
2.6M PARKING	26	
B.F PARKING	2	
	28	
TOTAL PARKING: 84	84	

Vehicle Parking

	USE	GROSS USABLE FLOOR AREA		BY LAW	REQUIRED	PROVIDED
		SM	SF		STALLS	STALLS
BUILDING 1	CRU (Commercial Retail)	706	7599	4 stalls/100 SM G.U.F.A.	29	29
BUILDING 2	CRU (Commercial Retail)	701	7545	4 stalls/100 SM G.U.F.A.	29	29
BUILDING 3	Child Care Service	414	4456	1 stalls/10 students	9	11
BUILDING 4	Restaurant (Drive Through)	303	3261	5 stalls	5	17
	CRU (Commercial Retail)	275	2960	4 stalls/100 SM G.U.F.A.	11	11
TOTAL PARKING					83	97
Bylaw Surplus						14
Barrier Free (Included with totals above)				4 stalls (0 to 100)	4 stalls	6

Bike Parking

	USE	GROSS USABLE FLOOR AREA		REQUIREMENT	REQUIRED	PROVIDED
		SM	SF		STALLS	STALLS
CLASS 1 - SECURE LOCKERS						
				N/A		
CLASS 2 - OUTDOOR U RACKS						
Building 1	CRU (Commercial Retail)			5 % of Parking Stalls	2	6
Building 2	CRU (Commercial Retail)			5 % of Parking Stalls	2	4
Building 3	Child Care Service			5 % of Parking Stalls	1	4
Building 4	Restaurant (Drive Through)			5 % of Parking Stalls	1	4
	CRU (Commercial Retail)			5% of Parking Stalls	1	4
TOTAL BIKE PARKING					7	22

ARCHITECTURE SHEET LIST

DRAWING NUMBER	TITLE
DP00-00-00	COVER SHEET
DP10-00-01	SITE STATISTICS, VICINITY PLAN & PHASING
DP10-00-02	OVERALL SITE PLAN
DP10-00-03	W&R TRUCK SWEEP PATH AND DETAILS
DP10-00-04	FIRE TRUCK SWEEP PATH
DP10-00-05	SITE SECTIONS & PEDESTRIAN CONNECTIVITY PLAN
DP10-00-06	EXTERIOR RENDERINGS
DP10-00-L1	BYLAW PLAN
DP10-00-L2	LANDSCAPE PLAN
DP11-00-01	SITE DETAILS
DP11-00-02	SITE DETAILS - PYLON SIGN
DP20-01-01	BUILDING 01 - LEVEL 1 OVERALL FLOOR PLAN & ROOF PLAN
DP20-02-01	BUILDING 02 - LEVEL 1 OVERALL FLOOR PLAN & ROOF PLAN
DP20-03-01	BUILDING 03 - LEVEL 1 OVERALL FLOOR PLAN & ROOF PLAN
DP20-04-01	BUILDING 04 - LEVEL 1 OVERALL FLOOR PLAN & ROOF PLAN
DP40-01-01	BUILDING 01 - OVERALL BUILDING ELEVATIONS
DP40-02-01	BUILDING 02 - OVERALL BUILDING ELEVATIONS
DP40-03-01	BUILDING 03 - OVERALL BUILDING ELEVATIONS
DP40-04-01	BUILDING 04 - OVERALL BUILDING ELEVATIONS
DP43-01-01	OVERALL BUILDING SECTIONS

CIVIL SHEET LIST

SP1	SITE SERVICING PLAN
SP2	SITE GRADING PLAN
SP3	SECTIONS
SP4	STORM CALCULATIONS
SP5	DETAILS

ELECTRICAL SHEET LIST

E10-00-01	SITE PLAN, SITE LIGHTING LAYOUT
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LANDSCAPE SHEET LIST

DP10-00-L1	BYLAW PLAN
DP10-00-L2	LANDSCAPE PLAN

BLDG 1 GFA		
Name	AREA SM	AREA SF
COMMON		
SERVICE	14.10 m²	151.80 ft²
W&R AREA	36.00 m²	387.50 ft²
	50.10 m²	539.30 ft²
RENTABLE		
CRU1	95.69 m²	1030.00 ft²
CRU2	95.69 m²	1030.00 ft²
CRU3	95.69 m²	1030.00 ft²
CRU4	95.69 m²	1030.00 ft²
CRU5	95.69 m²	1030.00 ft²
CRU6	95.69 m²	1030.00 ft²
CRU7	81.59 m²	878.20 ft²
	655.73 m²	7058.20 ft²
TOTAL	705.83 m²	7597.50 ft²

BLDG 2 GFA		
Name	AREA SM	AREA SF
COMMON		
SERVICE	14.09 m²	151.62 ft²
	14.09 m²	151.62 ft²
RENTABLE		
CRU1	95.59 m²	1028.97 ft²
CRU2	94.02 m²	1012.00 ft²
CRU3	102.19 m²	1100.00 ft²
CRU4	102.19 m²	1100.00 ft²
CRU5	102.19 m²	1100.00 ft²
CRU6	102.19 m²	1100.00 ft²
CRU7	88.11 m²	948.38 ft²
	686.49 m²	7389.35 ft²
TOTAL	700.58 m²	7540.97 ft²

BLDG 3 GFA		
Name	AREA SM	AREA SF
COMMON		
SERVICE	14.07 m²	151.50 ft²
	14.07 m²	151.50 ft²
RENTABLE		
CRU-CHILD CARE	413.28 m²	4448.50 ft²
	413.28 m²	4448.50 ft²
TOTAL	427.35 m²	4600.00 ft²

BLDG 4 GFA		
Name	AREA SM	AREA SF
COMMON		
SERVICE	14.09 m²	151.62 ft²
W&R AREA	36.00 m²	387.50 ft²
	50.09 m²	539.12 ft²
RENTABLE		
CRU1 Drive Through	302.25 m²	3253.38 ft²
CRU2	91.51 m²	985.00 ft²
CRU3	91.51 m²	985.00 ft²
CRU4	91.51 m²	985.00 ft²
	576.78 m²	6208.38 ft²
TOTAL	626.86 m²	6747.50 ft²

BLOCK 5
(R-G)

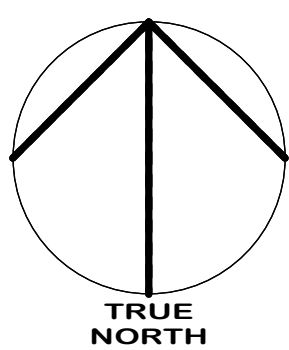
HUXBURY VIEW NE

5 - STOREY APARTMENT
(MU-1)

5 - STOREY APARTMENT
(MU-1)

PHASING	
PHASE 1	• DEEP SERVICES AND CONNECTIONS TO EXISTING SERVICES. • ROADWAYS (ASPHALT ONLY) DOES NOT INCLUDE ANY CONCRETE WORK (WALKWAYS) • SHALLOW SERVICES AS REQUIRED.
PHASE 2	• PARKING AND LANDSCAPE AROUND PARKING AS SHOWN
PHASE 3	• BUILDING 1 • WALKWAYS, SIDEWALKS INSTALLED • LANDSCAPE AROUND BUILDING 1
PHASE 4	• BUILDING 2 • WALKWAYS, SIDEWALKS INSTALLED • LANDSCAPE AROUND BUILDING 2
PHASE 5	• BUILDING 3 • WALKWAYS, SIDEWALKS INSTALLED • LANDSCAPE AROUND BUILDING 3 AND OUTDOOR PLAY AREA
PHASE 6	• BUILDING 4 • WALKWAYS, SIDEWALKS INSTALLED • WASTE & RECYCLE ENCLOSURE AND STAGING APRON • LANDSCAPE AROUND BUILDING 4 • DRIVE THROUGH

PARKING ALLOCATION	
	PARKING ALLOCATED TO BUILDING 1
	PARKING ALLOCATED TO BUILDING 2
	PARKING ALLOCATED TO BUILDING 3
	PARKING ALLOCATED TO BUILDING 4



4 PHASING PLAN
DP10-00-01 SCALE: 1 : 500

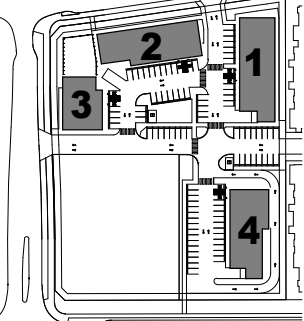
DATE	ISSUED FOR	REV
2026-01-20	ISSUED FOR DP	1
2026-03-27	ISSUED FOR DR1	2
2026-06-10	ISSUED FOR DR2	3

This drawing has been prepared solely for the use of TRUMAN and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component

Key Plan



Consultants
Survey: JUBILEE ENGINEERING
Civil: NORR
Architecture: NORR
Structural: TLJ ENGINEERING
Mechanical: TLJ ENGINEERING
Electrical: TLJ ENGINEERING
Interiors: GROUND CUBED
Landscape: GROUND CUBED

Seal(s)

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Adrian Todor, P.Eng., APEGA
Chris Pao, P.Eng., APEGA

Project Manager KH
Project Leader EJ
Client TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title
SITE STATISTICS, VICINITY
PLAN & PHASING

Scale
As indicated

Project No. C01125-0122

Drawing No. DP10-00-01

LOT 1 BLOCK 3

PLAN 101 4764

(FUTURE MULTI-FAMILY LOT)

BLOCK 4
(R-G)

BLOCK 5
(R-G)

HUXBURY VIEW NE

HUXGLEN ROAD NE

FUTURE GAS STATION
DEVELOPED BY
OTHERS

MEMORIAL DR E (Future)

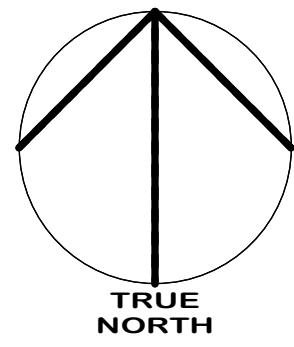
AR/W PLAN 061 4205

LOT 1 BLOCK 3

PLAN 101 4764

5 - STOREY APARTMENT
(MU-1)

5 - STOREY APARTMENT
(MU-1)



SITE KEYNOTES

- 1 PROPOSED CLASS 2 BIKE PARKING
- 2 PROPOSED FIRE HYDRANT
- 3 PROPOSED PYLON SIGN
- 4 PROPOSED DRIVE THROUGH MENU BOARD AND ORDERING STATION. LOCATION TO BE COORDINATED WITH TENANT IMPROVEMENT
- 5 6FT HIGH METAL FENCE
- 6 PROPOSED RETAINING WALL, REFER TO CIVIL DRAWINGS
- 7 PROPOSED ENTRANCE APRON
- 8 CONCRETE WALKWAY
- 9 PULLBOX, REFER TO SHALLOWS DESIGN PLAN
- 10 ROLLED CURB

NOTES

- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS, WALKWAYS AND FEATURES.
- REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING.
- NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED.
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.).
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
- ALL INFORMATION ABOUT SITE SERVICES, PEDESTALS, CONDUIT, UTILITY RIGHT OF WAY AND GRADING IS FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
- CAST-IN-PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED - REFER TO CIVIL.
- ALL BUILT ELEMENTS WITHIN THE PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE. NO PARKING ANYTIME/FIRE LINE SIGNAGE TO BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.5m.
- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT, CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lb) LOAD & NFPA 1901-POINT LOAD OF 517kPa OVER 24x24" AREA
- BUILDINGS WILL BE ROUGHED IN WITH 1" CONDUIT RUNNING FROM ELECTRICAL CLOSET TO ROOF CEILING FOR CONNECTION TO FUTURE SOLAR PANELS

LEGEND

- FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
- PROPERTY LINE - DELINEATES SCOPE OF WORK
- PROPERTY SETBACK LINE
- EXTENTS OF PARKADE WALLS BELOW GRADE
- UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL
- HEAVY DUTY ASPHALT
- PRINCIPAL ENTRANCE
- BARRIER FREE PARKING SIGNAGE/SYMBOL
- ELECTRIC METER
- ELECTRIC VEHICLE CHARGER (SERVES 2 STALLS)
- FIRE DEPARTMENT CONNECTION
- GAS METER
- LOADING ZONE
- WATER METER
- OVERHEAD DOOR
- NO PARKING
- PEDESTRIAN CROSSWALK
- PICK UP / DROP OFF PARKING STALL (CHILD CARE)
- TRANSFORMER
- FIRE HYDRANT
- BIKE RACK
- WALK RAMP
- AREA DRAIN
- CATCH BASIN
- MANHOLE
- DIRECTION OF TRAVEL
- MAIL BOXES
- EXISTING POWERPOLE
- EXISTING POWERPOLE TO BE REMOVED, SERVICE DISCONNECTED
- SITE SIGNAGE
- DO NOT ENTER SIGN

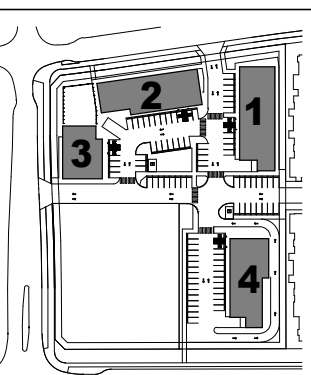
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Chris Wu, P.Eng, APEGA

Project Manager

Kh

Drawn

EJ

Project Leader

Checked

Checker

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project
HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title
OVERALL SITE PLAN

Scale

As indicated

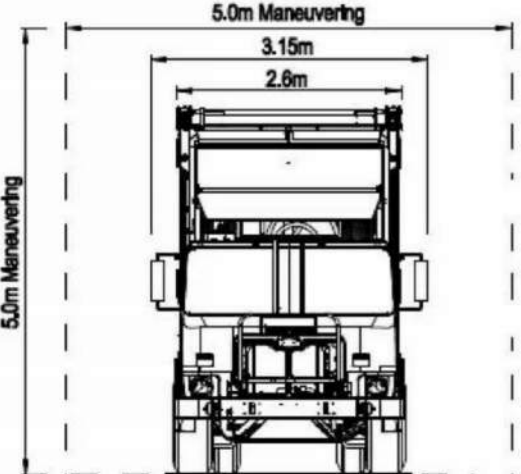
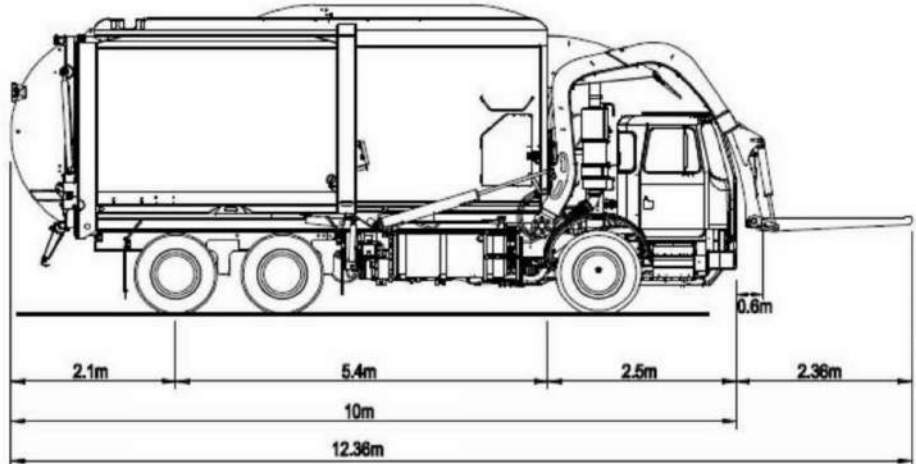
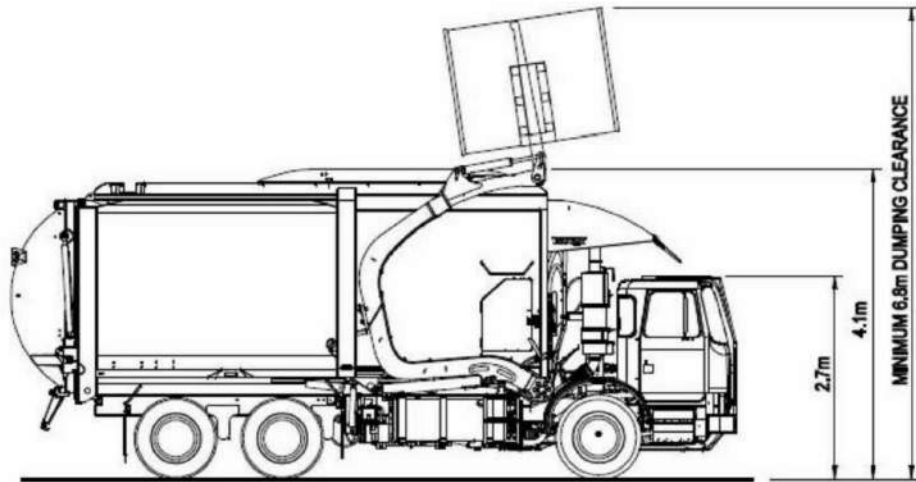
Project No.

C01125-0122

Drawing No.

DP10-00-02

COLLECTION TRUCK 312103 PETERBILT 365		
DESCRIPTION	FEET	METERS
LENGTH OF VEHICLE WHILE BEING DRIVEN	41'10"	12.44
WIDTH OF VEHICLE WHILE BEING DRIVEN - MIRROR TO MIRROR	9'9"	2.97
WIDTH OF VEHICLE WITH THE OUTRIGGERS EXTENDED	19'9"	5.94
CLEARANCE OF MINIMUM HEIGHT WHILE DRIVING	12'0"	3.65
TURNING RADIUS	LH 43'0" RH 50'3"10"	13.10 15.27
DIAMETER	LH 86'3"10" RH 100'3"10"	26.24 30.57

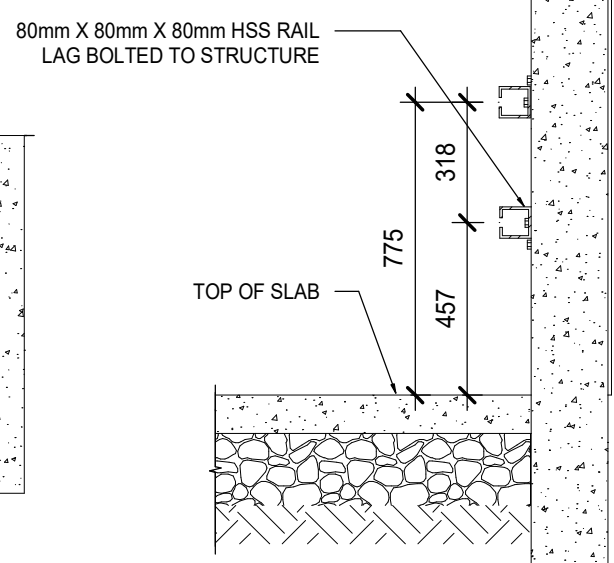


NOTE: KEEP STEEL PROTECTION AS CLOSE AS POSSIBLE TO OH DOOR TRACK USE 6mm THICKNESS STEEL FOR BOTH. USE LAG BOLTS.

BOLT ANCHORED IN CONCRETE
1830mm HIGH OH DOOR TRACK PROTECTOR BOLTED TO FRAME
OH DOOR TRACK
OH DOOR AS PER SCHEDULE



1 TRACK PROTECTION DETAIL
DP10-00-03 SCALE: 1:20



BLOCK 4
BLOCK 4
(R-G)

LOT 1 BLOCK 3
PLAN 101 4764
(FUTURE MULTI-FAMILY LOT)

3 SWEEP PATH - SU9 TRUCK
DP10-00-03 SCALE: 1:400

Waste & Recycling Storage Room Calculation

Per City of Calgary - Design Standard for Storage & Collection of Waste, Section 1.3.1
Commercial Use - Every 1000 SQM of development produces a minimum of 3 Cu. M (9.93 YD3) combine waste per week + A10

Cu.M = Cubic Meter
YD3 = Cubic Yard

BLDG 1,2, & 3	GFA	Bylaw Requirement	Total Waste Generated per week in Cu. M	Total Waste Generated per week in YD3
	1,836.0 SQM	3 Cu. M/1000SQM	5.5 Cu. M	7.2 YD3

	Waste composition %	Waste allocation in Cu. M	Waste allocation in YD3	# OF BINS (SIZE 3 YD3)	# OF BINS (SIZE 4 YD3)	# OF PICKUPS PER WEEK	Total # BINS	Total Waste Capacity Provided in YD3
TOTAL	100%	5.5 Cu. M	7.2 YD3	4	0		4	12.0 YD3
Recycling (R)	55%	3.0 Cu. M	4.0 YD3	2	0	1	2	6.0 YD3
Organics (O)	15%	0.8 Cu. M	1.1 YD3	1	0	1	1	3.0 YD3
Waste (W)	30%	1.7 Cu. M	2.2 YD3	1	0	1	1	3.0 YD3

*Note: Organics cannot be compacted

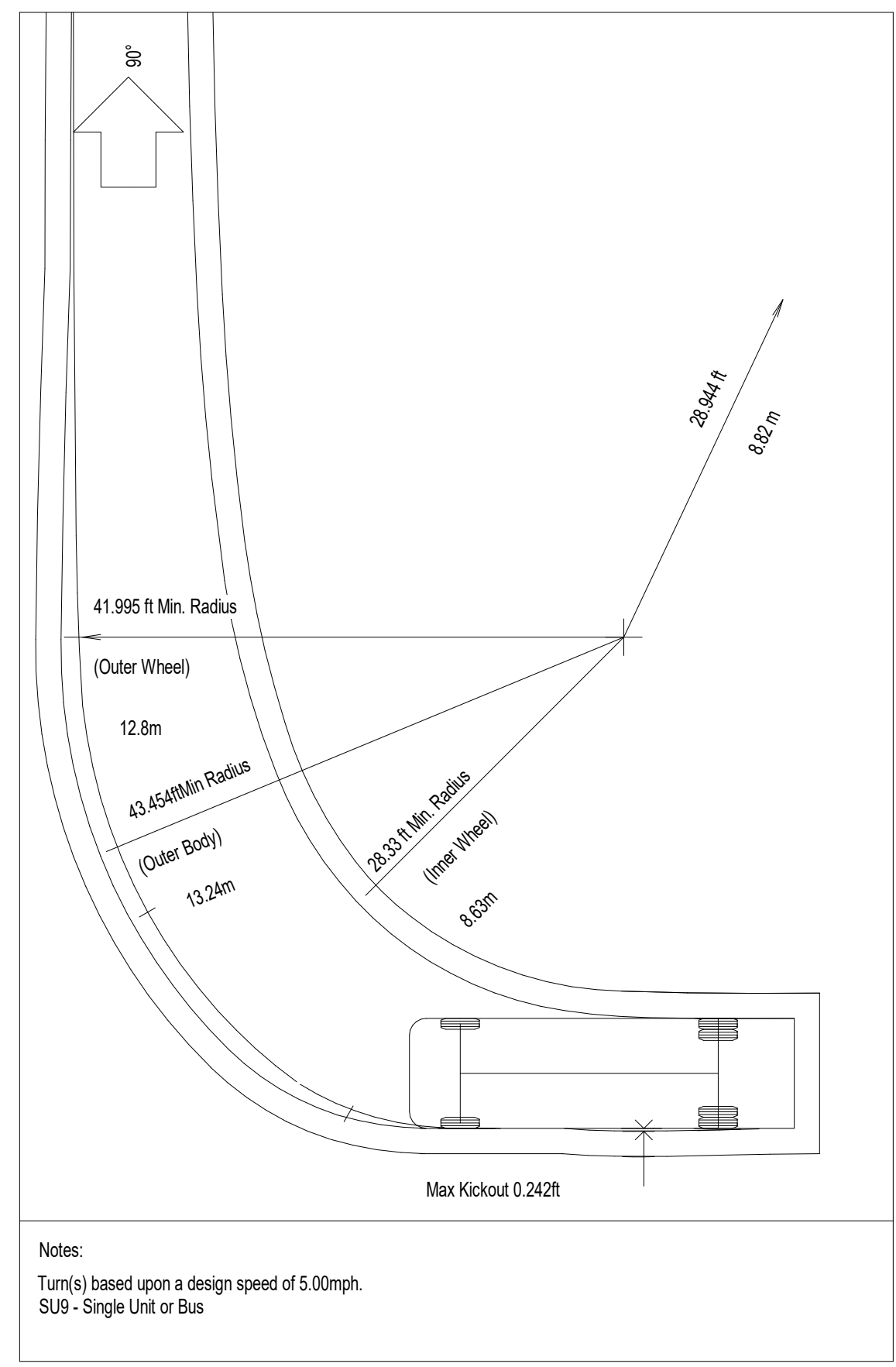
BLDG 4	GFA	Bylaw Requirement	Total Waste Generated per week in Cu. M	Total Waste Generated per week in YD3
	626.0 SQM	3 Cu. M/1000SQM	1.9 Cu. M	2.5 YD3

	Waste composition %	Waste allocation in Cu. M	Waste allocation in YD3	# OF BINS (SIZE 3 YD3)	# OF BINS (SIZE 4 YD3)	# OF PICKUPS PER WEEK	Total # BINS	Total Waste Capacity Provided in YD3
TOTAL	100%	1.9 Cu. M	2.5 YD3	3	0		3	9.0 YD3
Recycling (R)	55%	1.0 Cu. M	1.4 YD3	1	0	1	1	3.0 YD3
Organics (O)	15%	0.3 Cu. M	0.4 YD3	1	0	1	1	3.0 YD3
Waste (W)	30%	0.6 Cu. M	0.7 YD3	1	0	1	1	3.0 YD3

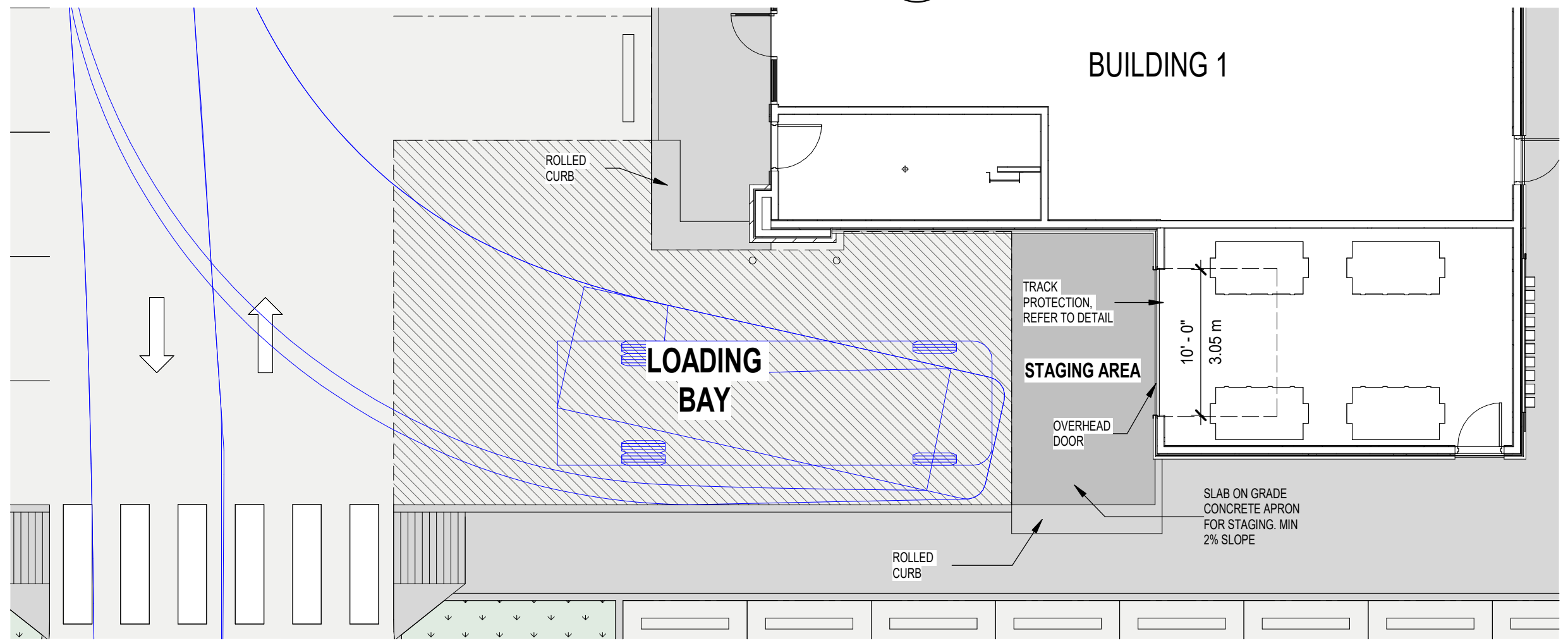
*Note: Organics cannot be compacted

General Notes

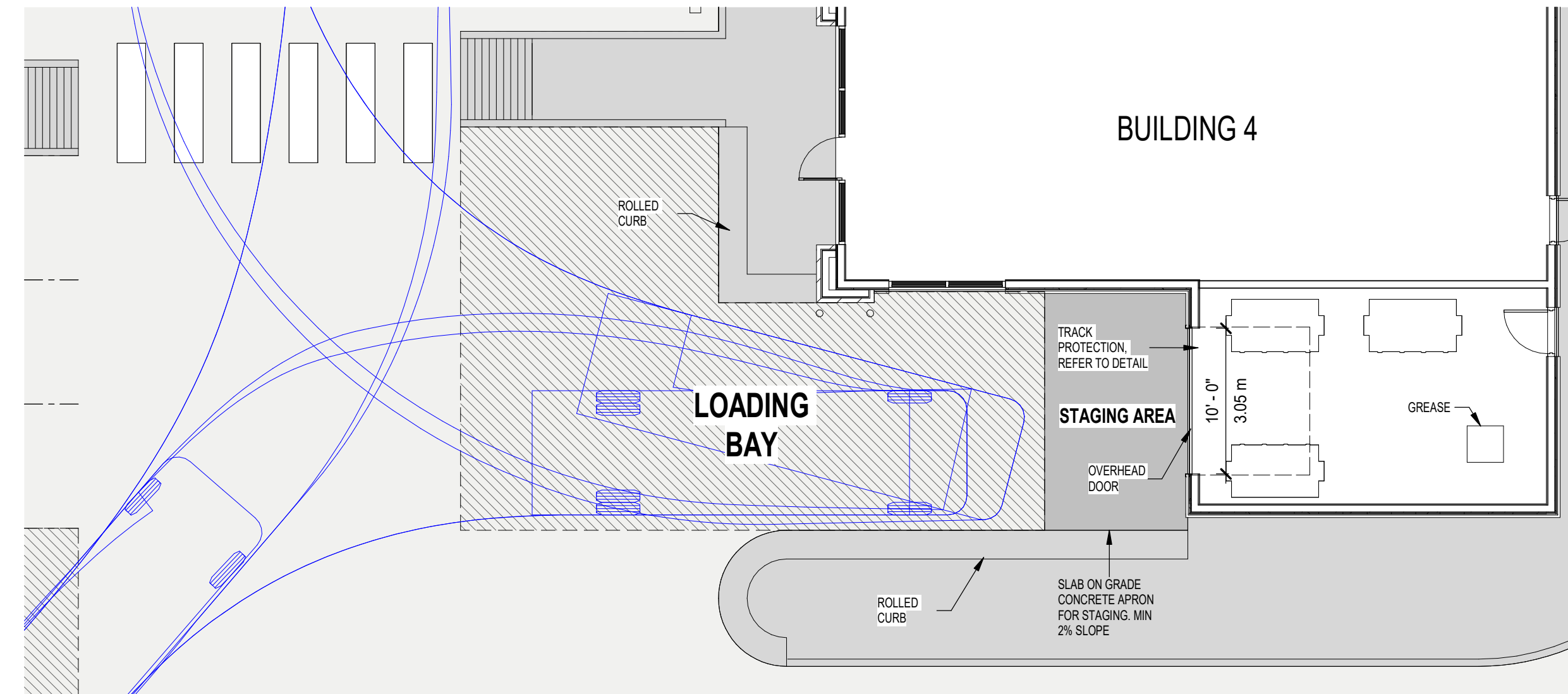
- * WASTE & RECYCLING CONTAINERS ON SURFACE, ACCESSED FROM DRIVEWAYS AND PARKING AREAS OF PROPERTY.
- * MAXIMUM CONCRETE SLOPE IN WASTE & RECYCLING STORAGE ROOM NOT TO EXCEED 2% INCLUDING EXTERIOR GARBAGE HOLDING AREA.
- * MINIMUM VERTICAL CLEARANCE REQUIRED FOR COLLECTION VEHICLE IS 5.0m.
- * MINIMUM OVERHEAD CLEARANCE REQUIRED FOR DUMPING CONTAINERS IS 6.0m.
- * WASTE & RECYCLING PICK-UP AREA TO BE CONCRETE SLAB WITH CAPACITY TO CARRY A TRUCK WITH A WEIGHT OF 55,000 lb. (25,000 kg).
- * WASTE & RECYCLING ROOM TO BE MECHANICALLY VENTED, REFER TO MECHANICAL DRAWINGS.
- * GARBAGE PICK-UP BY PRIVATE COLLECTOR.
- * HEAVY DUTY ASPHALT PROVIDED FOR ENTIRE WASTE COLLECTION VEHICLE ROUTE.



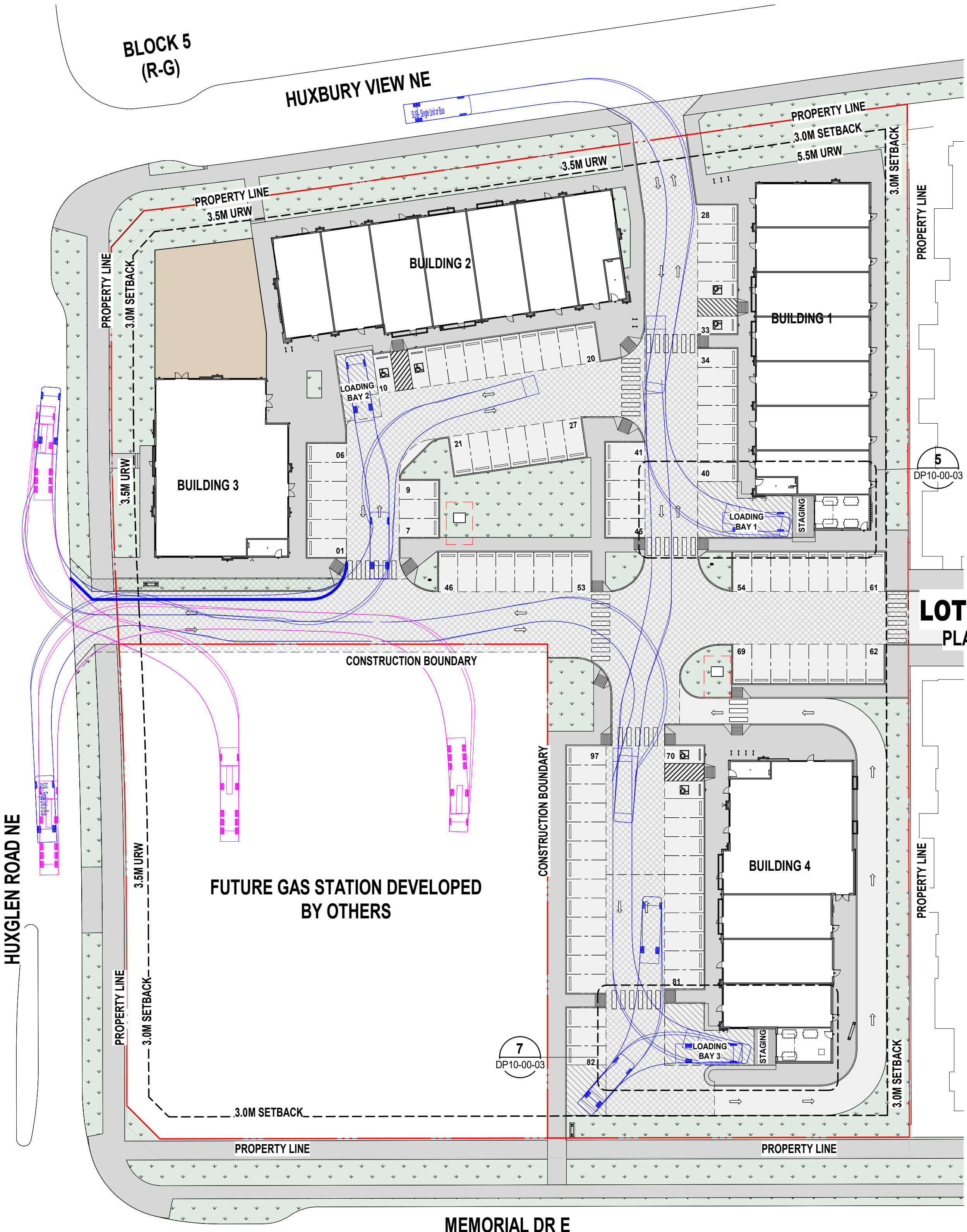
Notes:
Turn(s) based upon a design speed of 5.00mph.
SU9 - Single Unit or Bus



5 ENLARGED PLAN - BUILDING 1 LOADING BAY
DP10-00-03 SCALE: 1:100

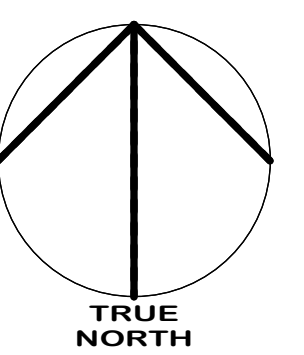


7 ENLARGED PLAN - BUILDING 4 LOADING BAY
DP10-00-03 SCALE: 1:100



LOT 1 BLOCK 3 SITE SWEEP PATH LEGEND

- PRINCIPAL ENTRY
- NO LEFT TURN
- NO PARKING ANY TIME / FIRELANE
- STOP SIGN
- LOADING BAY
- GAS METER
- DIRECTION OF TRAVEL
- WHEELCHAIR RAMP
- FIRE HYDRANT
- EXISTING (E.) & PROPOSED (P.)
- FIRE ACCESS ROUTE
 - FIRE ACCESS ROUTE TO BE MINIMUM 6.0M WIDE
 - MADE OF HEAVY DUTY ASPHALT (CAPABLE TO SUPPORT A MIN. OF 85,000 LB OR 38,556 KG & NFPA 1901, POINT LOAD OF 517KPA OVER 24" X 24" AREA)
- HEAVY DUTY ASPHALT
- LOADING ZONE
 - WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55,000 LBS (25,000 KG)
- FIRE ROUTE DISTANCE
- PROPERTY LINE
- SETBACK LINE
- FIRE TRUCK SWEEP PATH
- DELIVERY TRUCK SWEEP PATH
- FUEL TRUCK SWEEP PATH
- GARBAGE TRUCK SWEEP PATH
- 0.60m CLEARANCE



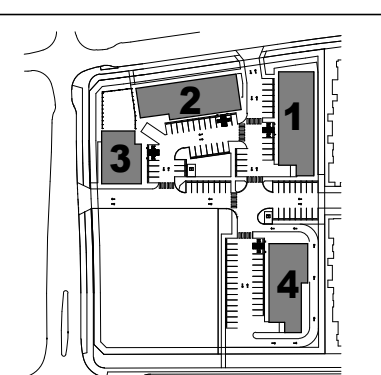
DATE	ISSUED FOR	REV
2026-01-20	ISSUED FOR DP	1
2026-03-27	ISSUED FOR DR1	2
2026-06-10	ISSUED FOR DR2	3

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Project Component

Key Plan



Consultants

Survey: JUBILEE ENGINEERING
Civil: NORR
Architecture: NORR
Structural: TLJ ENGINEERING
Mechanical: TLJ ENGINEERING
Electrical: TLJ ENGINEERING
Interiors: GROUND CUBED
Landscape: GROUND CUBED

Seal(s)

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Jonathan Hughes, Architect, AAA, OAA, ABC, MAA, AANB, AAPE
Adrian Todor, P.Eng., APEGA
Chris Pao, P.Eng., APEGA

Project Manager: KH
Project Leader: EJ
Client: TRUMAN
Project: HUXLEY COMMERCIAL

2236, 10 ASPEN STONE BLVD SW

Project: HUXLEY COMMERCIAL

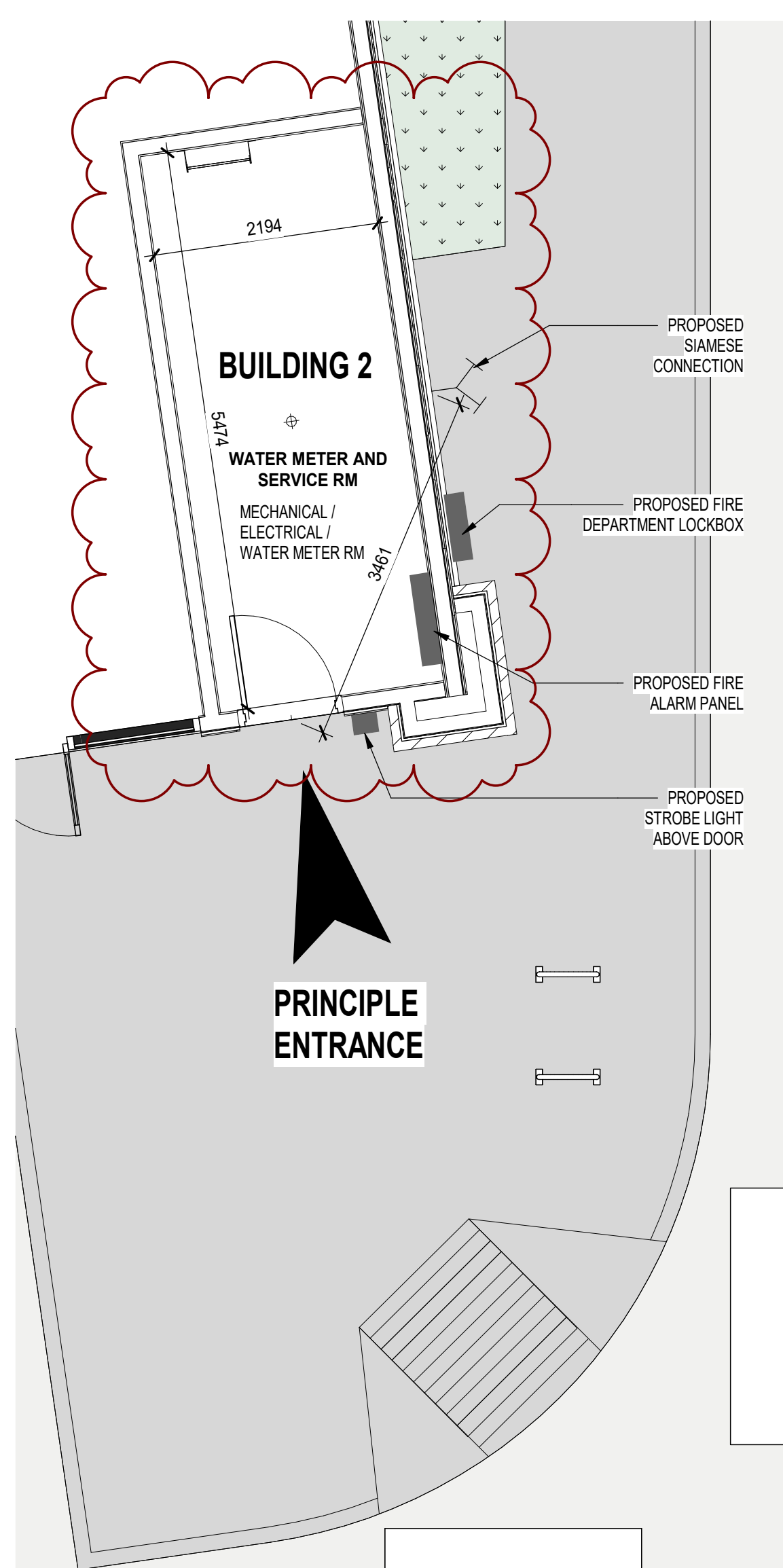
1 CALGARY, ALBERTA, CANADA

Drawing Title: W&R TRUCK SWEEP PATH AND DETAILS

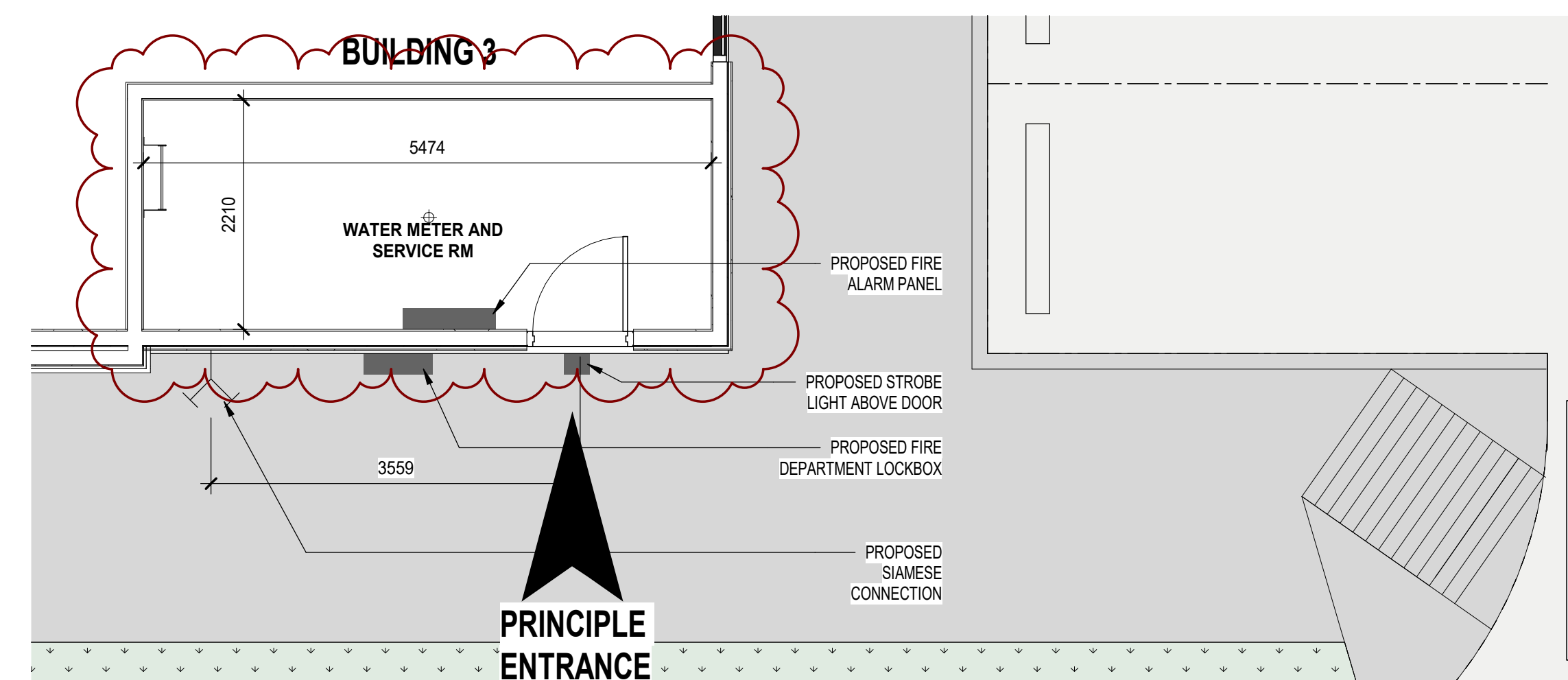
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Project No: C01125-0122

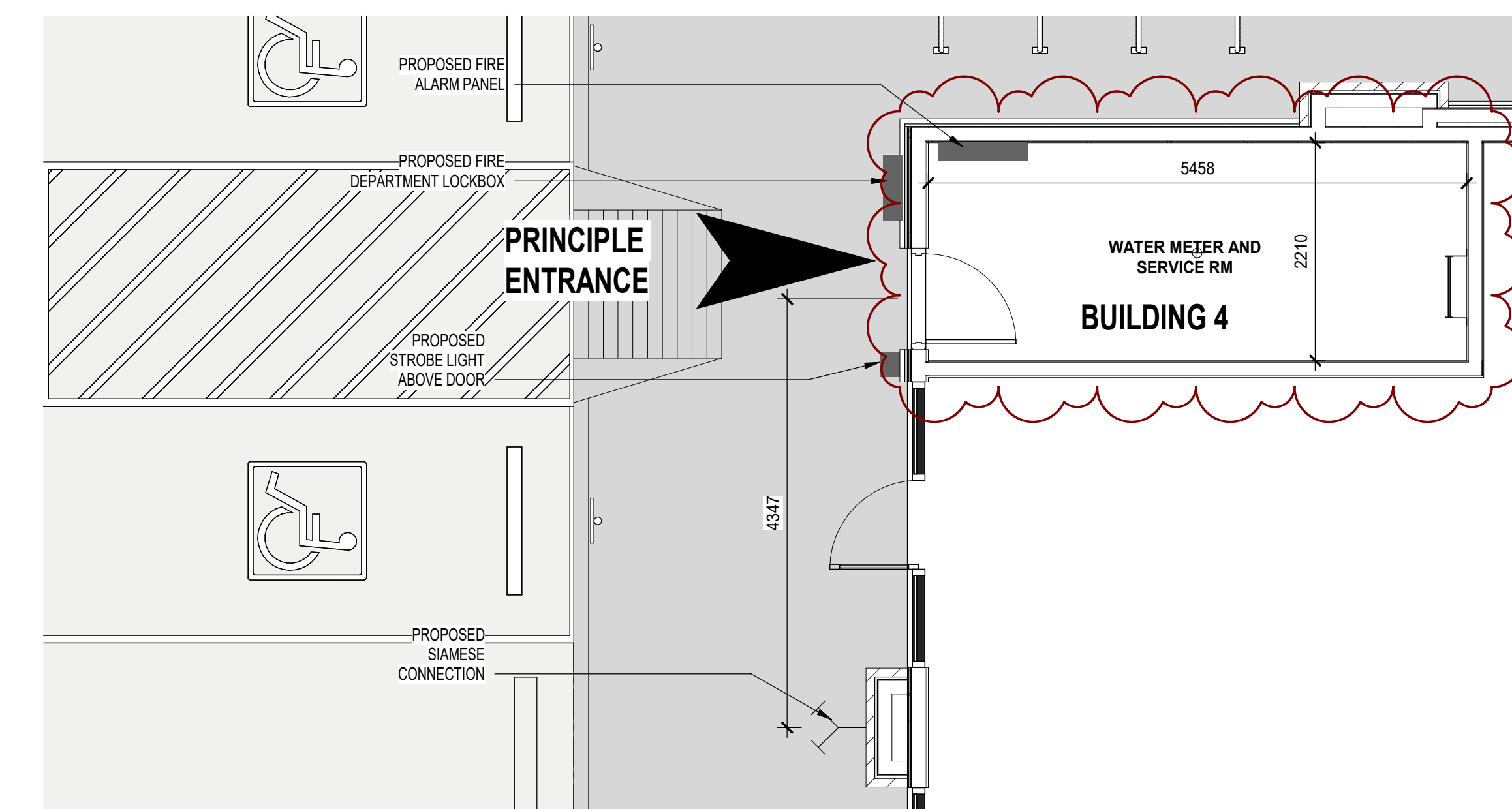
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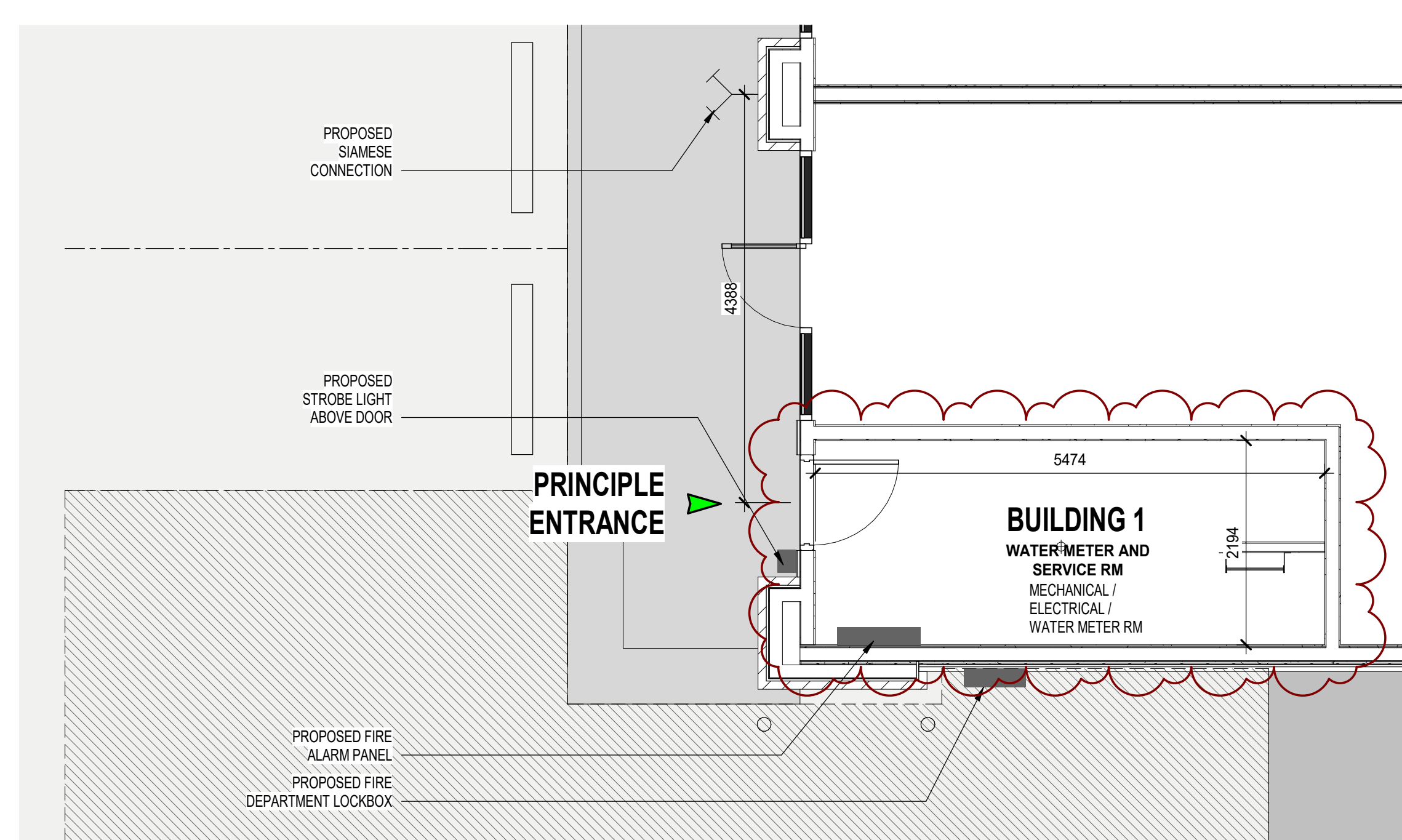
4 ENLARGED PLAN - BUILDING 02
DP10-00-04 SCALE: 1:50



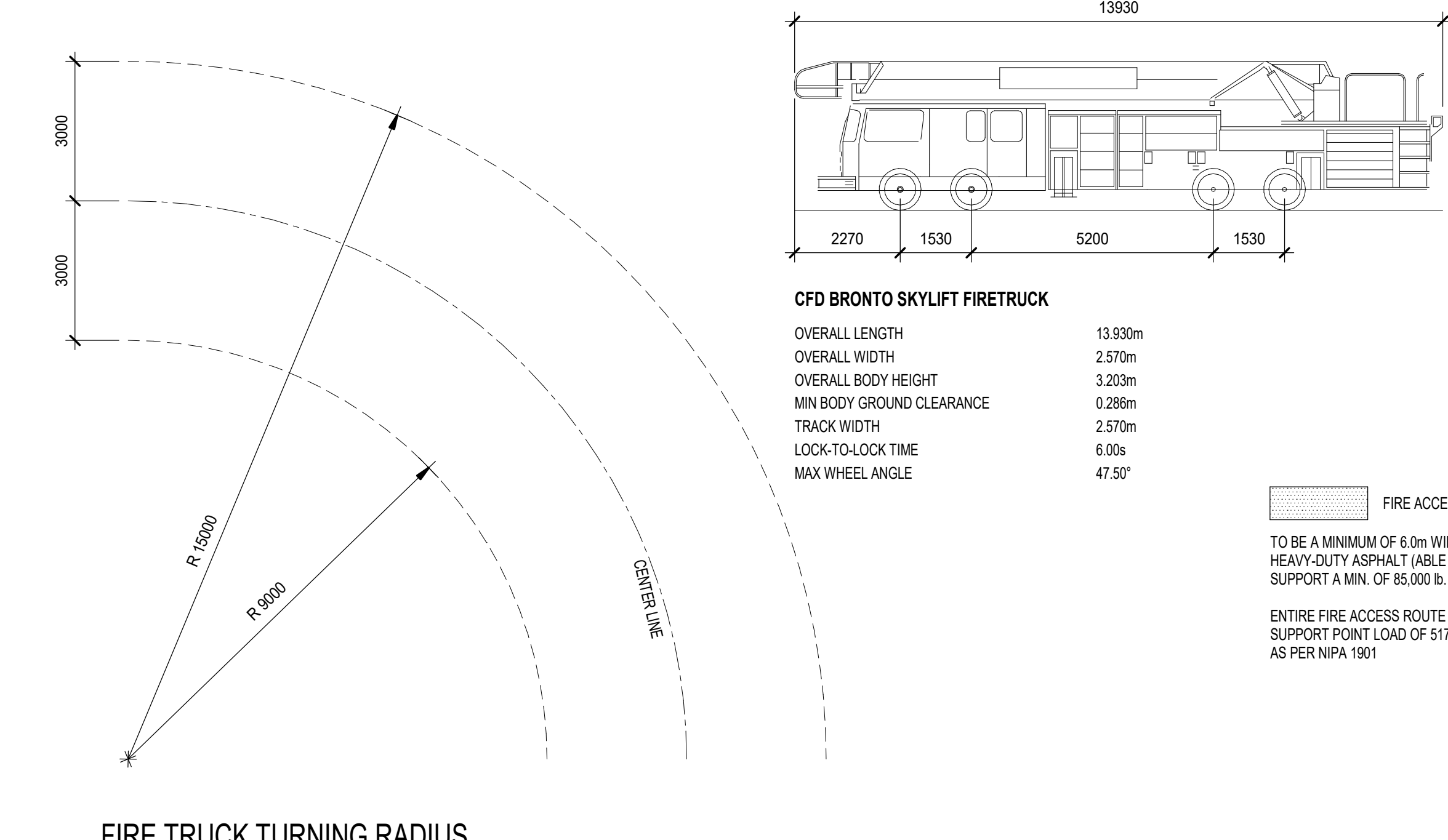
3 ENLARGED PLAN - BUILDING 03
DP10-00-04 SCALE: 1:50



5 ENLARGED PLAN - BUILDING 04
DP10-00-04 SCALE: 1:50



2 ENLARGED PLAN - BUILDING 01
DP10-00-04 SCALE: 1:50



6 VEHICLE PROFILES FIRE TRUCK & TURNING RADIUS
DP10-00-04 SCALE: 1:100

BLOCK 4
BLOCK 4
(R-G)

BLOCK 5
(R-G)

HUXBURY VIEW NE

LOT 1 BLOCK 3
PLAN 101 4764
(FUTURE MULTI-FAMILY LOT)

LOT 1 BLOCK 3

(FUTURE MULTI-FAMILY LOT)

HUXGLEN ROAD NE

FUTURE GAS STATION DEVELOPED BY OTHERS

MEMORIAL DR E

LOT 1 BLOCK 3
PLAN 101 4764

SITE SWEEP PATH LEGEND

▲	PRINCIPAL ENTRY
⊙	NO LEFT TURN
⊙	NO PARKING ANY TIME / FIRELANE
⊙	STOP SIGN
⊙	LOADING BAY
⊙	GAS METER
↓ ↑	DIRECTION OF TRAVEL
♿	WHEELCHAIR RAMP
⚡	FIRE HYDRANT
⚡	EXISTING (E.) & PROPOSED (P.)
■	FIRE ACCESS ROUTE • FIRE ACCESS ROUTE TO BE MINIMUM 6.0m WIDE • MADE OF HEAVY DUTY ASPHALT (CAPABLE TO SUPPORT A MIN. OF 85,000 LB OR 38,556 KG & NIPPA 1901, POINT LOAD OF 517kPA OVER 24' X 24' AREA)
■	HEAVY DUTY ASPHALT
■	LOADING ZONE • WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55,000 LBS (25,000 KG)
—(XXX)m—	FIRE ROUTE DISTANCE
—	PROPERTY LINE
—	SETBACK LINE
---	FIRE TRUCK SWEEP PATH
---	DELIVERY TRUCK SWEEP PATH
---	FUEL TRUCK SWEEP PATH
---	GARBAGE TRUCK SWEEP PATH
■	0.60m CLEARANCE

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2026-03-27	ISSUED FOR DR1	2
2026-06-10	ISSUED FOR DR2	3

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Project Component

Key Plan



Consultants

Survey: JUBILEE ENGINEERING
Civil: NORR
Architecture: NORR
Structural: TLJ ENGINEERING
Electrical: TLJ ENGINEERING
Interiors: TLJ ENGINEERING
Landscape: GROUND CUBED

Seal(s)

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

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Adrian Todor, P.Eng., APEGA
Chris Piel, P.Eng., APEGA

Project Manager

Drawn

Project Leader

Checked

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project
HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title
FIRE TRUCK SWEEP PATH

Scale

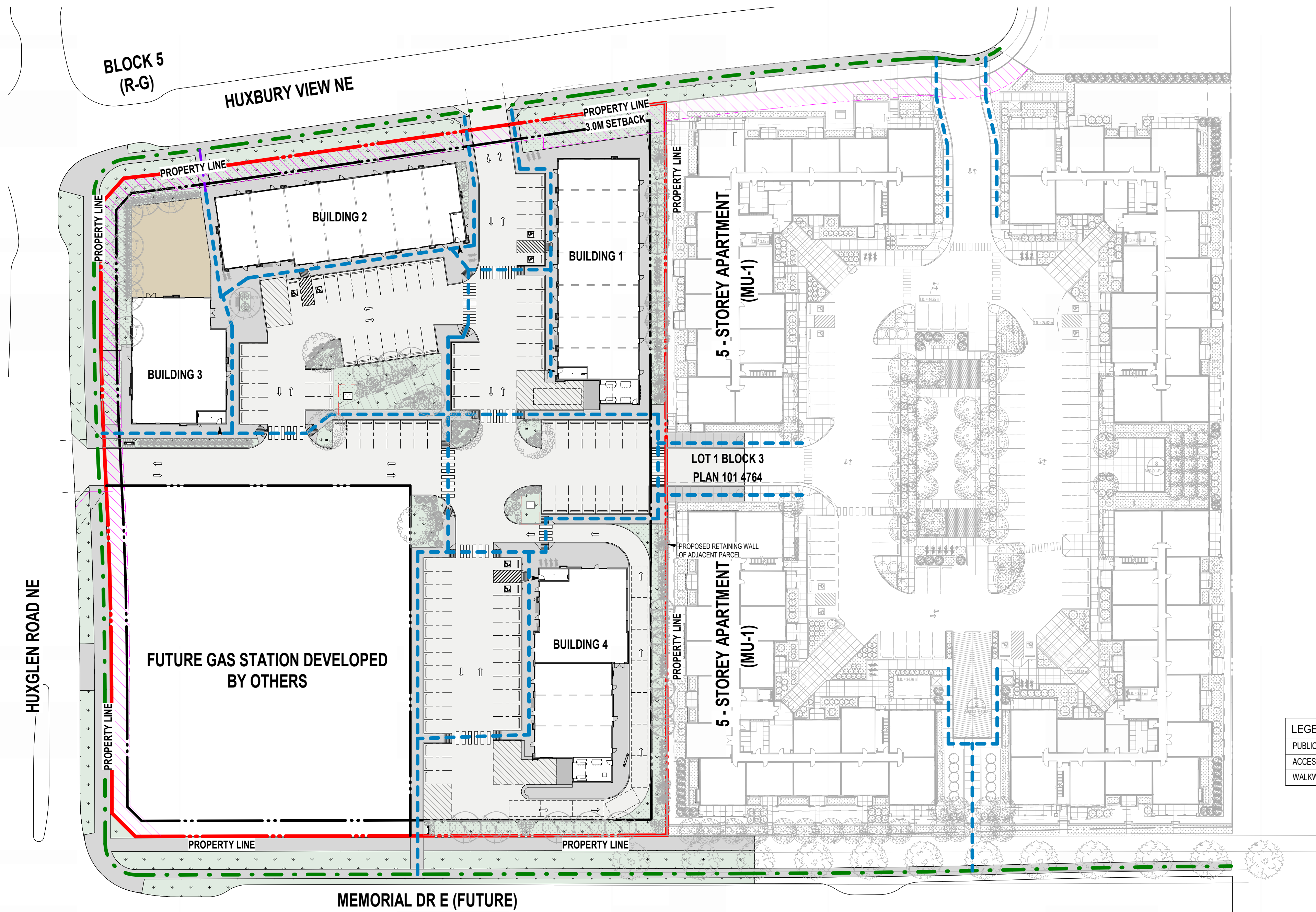
As indicated

Project No.

C01125-0122

Drawing No.

DP10-00-04



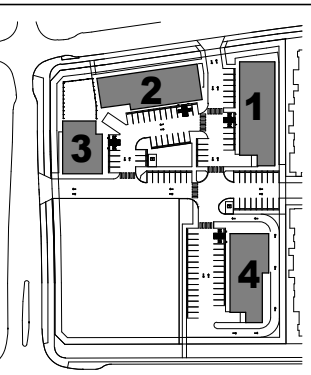
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Mechanical: TLJ ENGINEERING
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Landscape: GROUND CUBED

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Chris Pao, P.Eng, APEGA

Project Manager

KH

Project Leader

EJ

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title

**SITE SECTIONS &
PEDESTRIAN
CONNECTIVITY PLAN**

Scale

As indicated

Project No.

C01125-0122

Drawing No.

DP10-00-05



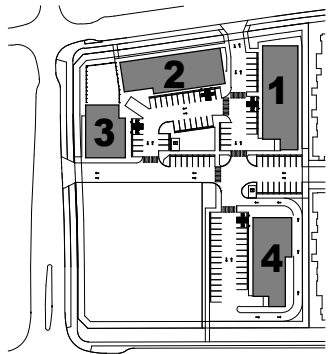
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Key Plan



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Landscape: GROUND CUBED

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Project Manager

KH

Drawn

EJ

Project Leader

Checked

Checker

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title

EXTERIOR RENDERINGS

Scale

Project No.

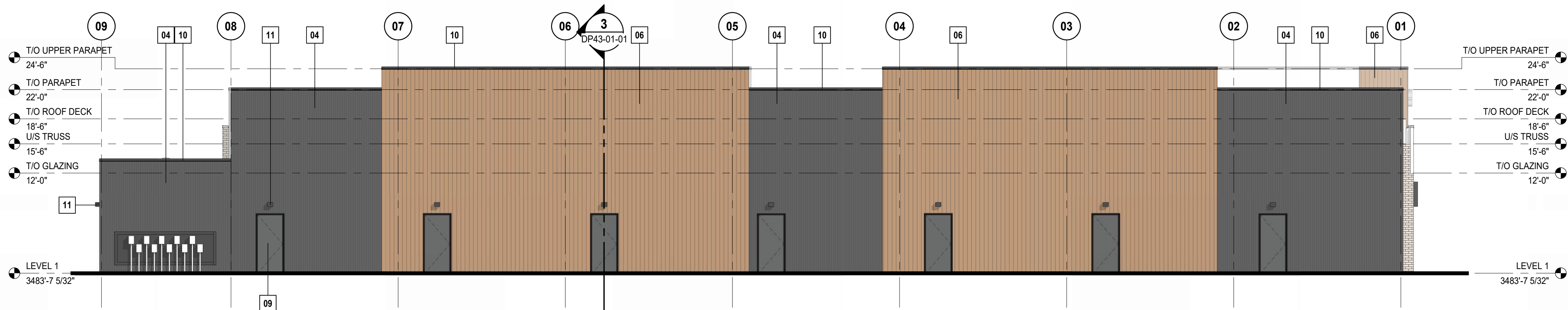
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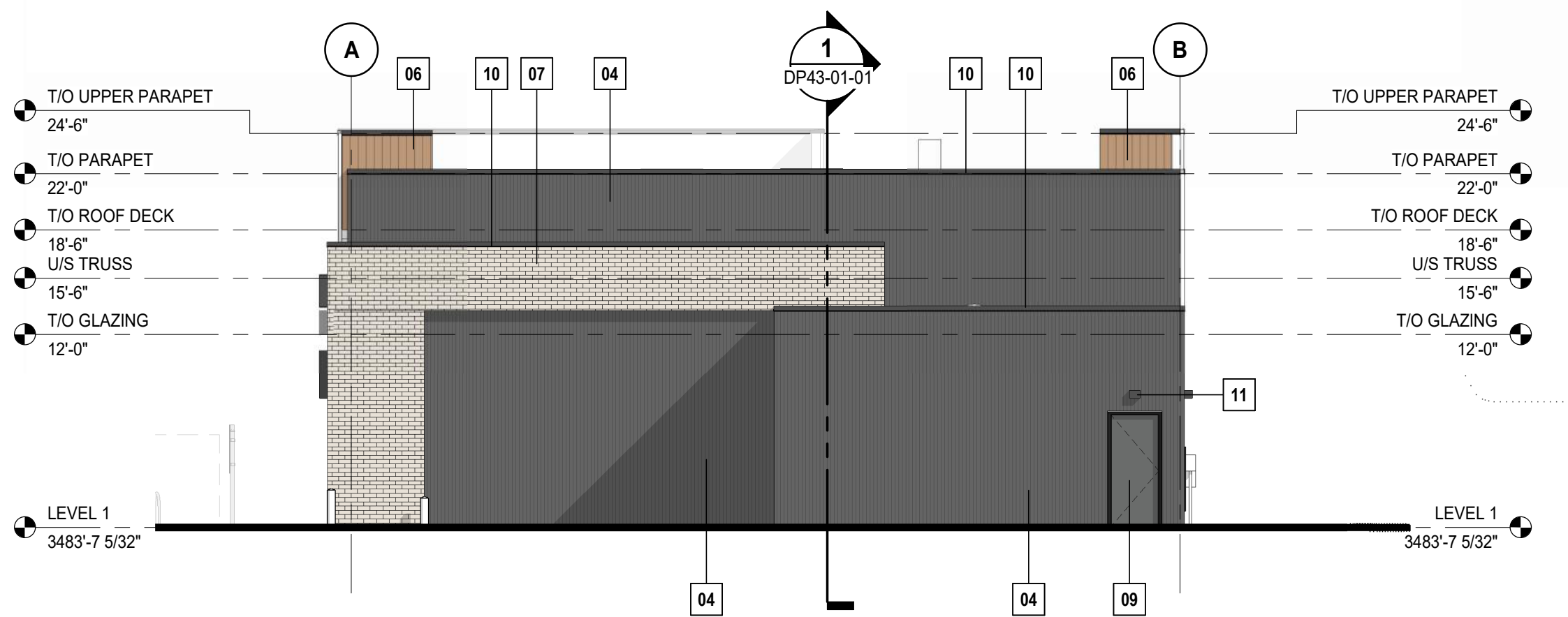
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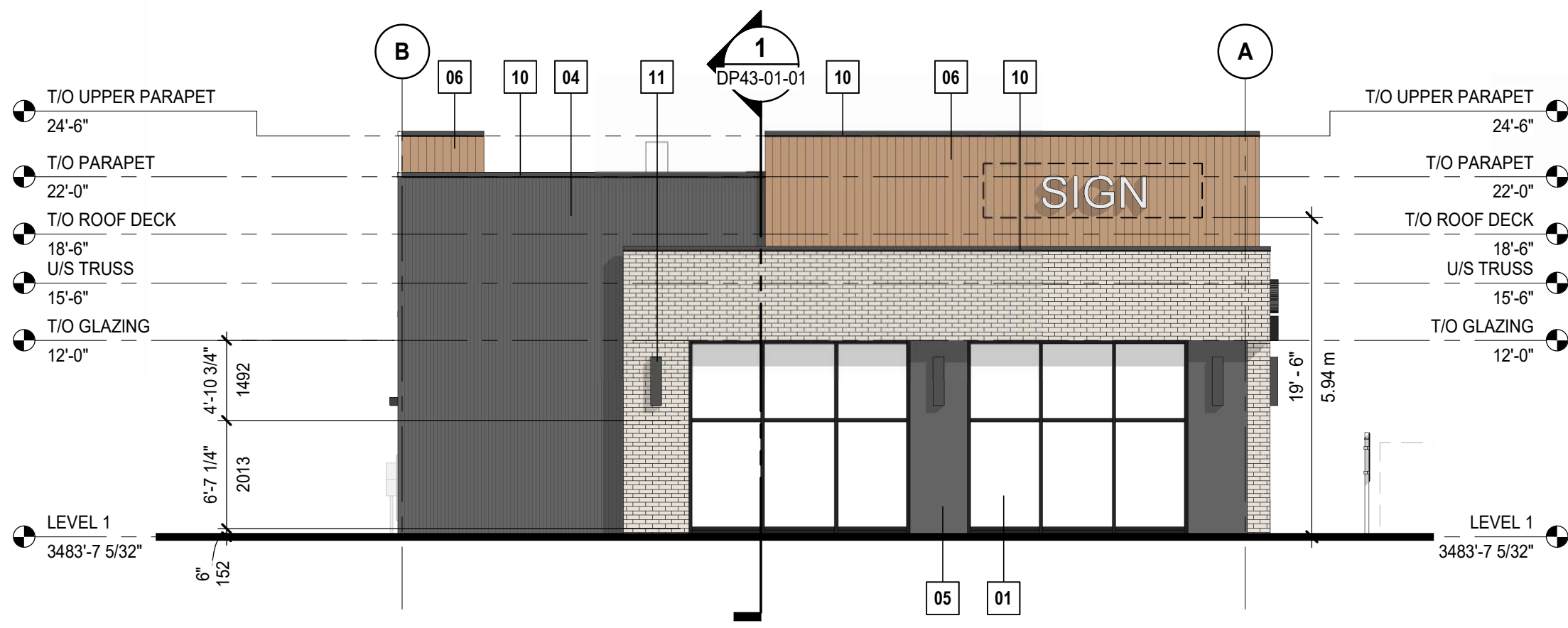
1 BUILDING 01 - OVERALL BUILDING ELEVATION - WEST
DP40-01-01 SCALE: 1:100



2 BUILDING 01 - OVERALL BUILDING ELEVATION - EAST
DP40-01-01 SCALE: 1:100



4 BUILDING 01 - OVERALL BUILDING ELEVATION - SOUTH
DP40-01-01 SCALE: 1:100



3 BUILDING 01 - OVERALL BUILDING ELEVATION - NORTH
DP40-01-01 SCALE: 1:100

GENERAL NOTES

- SEE SITE PLAN FOR ELECTRICAL, WATER AND GAS CONNECTIONS. CONFIRM WITH CIVIL MECHANICAL AND ELECTRICAL DRAWINGS.
- COLORS AND MATERIALS SELECTED ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY.
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- PROVIDE PREFINISHED METAL FLASHING ABOVE ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. COLOR TO MATCH ADJACENT MATERIAL.
- PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED BY MATERIAL MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR NUMBER OF EXTERIOR RISERS.

MATERIALS LEGEND

- | | |
|----|--|
| 01 | ANODIZED ALUMINUM STOREFRONT SYSTEM
MANUFACTURER: T.B.D.
COLOR: BLACK FRAME, CLEAR GLASS |
| 02 | PREFINISHED ALUMINUM FRAME ENTRY DOORS
COLOR: BLACK FRAME, CLEAR GLASS |
| 03 | PREFINISHED METAL TRELLIS CANOPY
MANUFACTURER: T.B.D.
COLOR: BLACK |
| 04 | PREFINISHED VERTICAL RIBBED METAL SIDING
MANUFACTURER: LUX - FOLDED WALL
COLOR: SLATE GREY |
| 05 | SMOOTH FIBER CEMENT PANEL
MANUFACTURER: HARDE
COLOR: MIDNIGHT BLACK |
| 06 | PREFINISHED WOOD-LOOK VERTICAL PLANK METAL SIDING
MANUFACTURER: LUX - RANDOM PLANK PANEL (5.5" WIDTH)
COLOR: KNOTTY DESERT OAK |
| 07 | MODULAR BRICK, RUNNING BOND
MANUFACTURER: CANADA BRICK
COLOR: SUSSEX |

- | | |
|----|---|
| 08 | PREFINISHED WOOD-LOOK OVERHEAD DOOR
MANUFACTURER: T.B.D.
COLOR: KNOTTY DESERT OAK |
| 09 | EXTERIOR METAL DOOR
COLOR: GENERIC BLACK |
| 10 | PREFINISHED METAL FLASHING
COLOR: GENERIC BLACK |
| 11 | WALL MOUNTED EXTERIOR LIGHTING PER ELECTRICAL DRAWING
COLOR: BLACK |
| 12 | PROPOSED FIRE DEPARTMENT CONNECTION |
| 13 | EMERGENCY OVERFLOW SCUPPER. COLOR TO MATCH ADJACENT MATERIAL |

MATERIALS BOARD

- | | |
|--|---|
| | PREFINISHED VERTICAL METAL SIDING
COLOR/FINISH: SLATE GREY |
| | SMOOTH FIBER CEMENT PANEL
COLOR/FINISH: MIDNIGHT BLACK |
| | PREFINISHED WOOD-LOOK
HORIZONTAL PLANK METAL SIDING
COLOR/FINISH: HEMLOCK |
| | MODULAR BRICK, RUNNING BOND
COLOR/FINISH: SUSSEX
GROUT COLOUR: GREY |
| | MULLION / DOOR FRAME
COLOR/FINISH: BLACK |

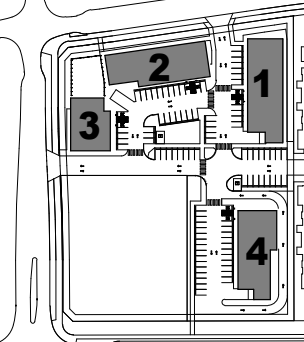
DATE	ISSUED FOR	REV
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Project Component

Key Plan



Consultants

Survey: JUBILEE ENGINEERING
Civil: NORR
Architecture: NORR
Structural: TLJ ENGINEERING
Mechanical: TLJ ENGINEERING
Electrical: TLJ ENGINEERING
Interiors: GROUND CUBED
Landscape: GROUND CUBED

Seal(s)

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations

Jonathan Hughes, Architect, AAA, OAA, ASBC, MAA, AANB, AAPE
Adrian Todor, P.Eng., APEGA
Chris Pao, P.Eng., APEGA

Project Manager

KH

Drawn

Author

Project Leader

Checked

Checker

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title

**BUILDING 01 - OVERALL
BUILDING ELEVATIONS**

Scale

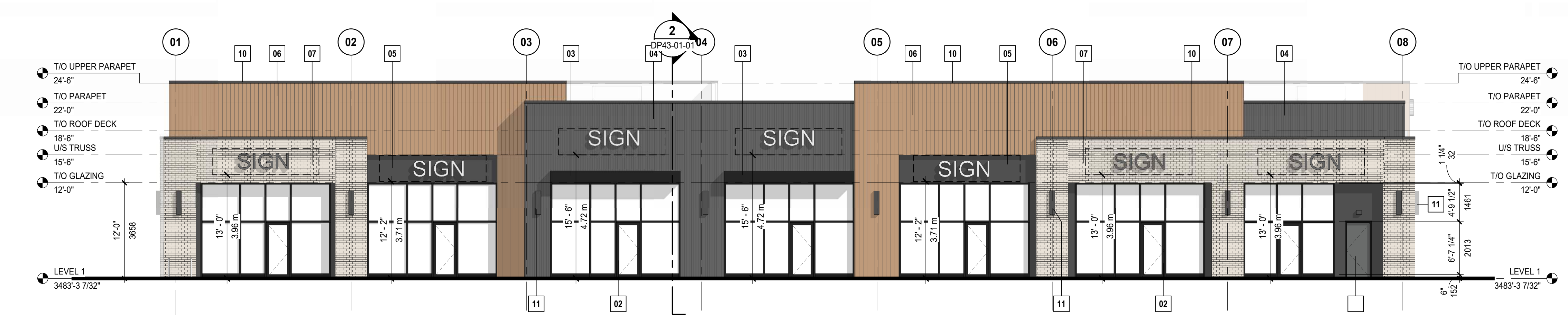
As indicated

Project No.

C01125-0122

Drawing No.

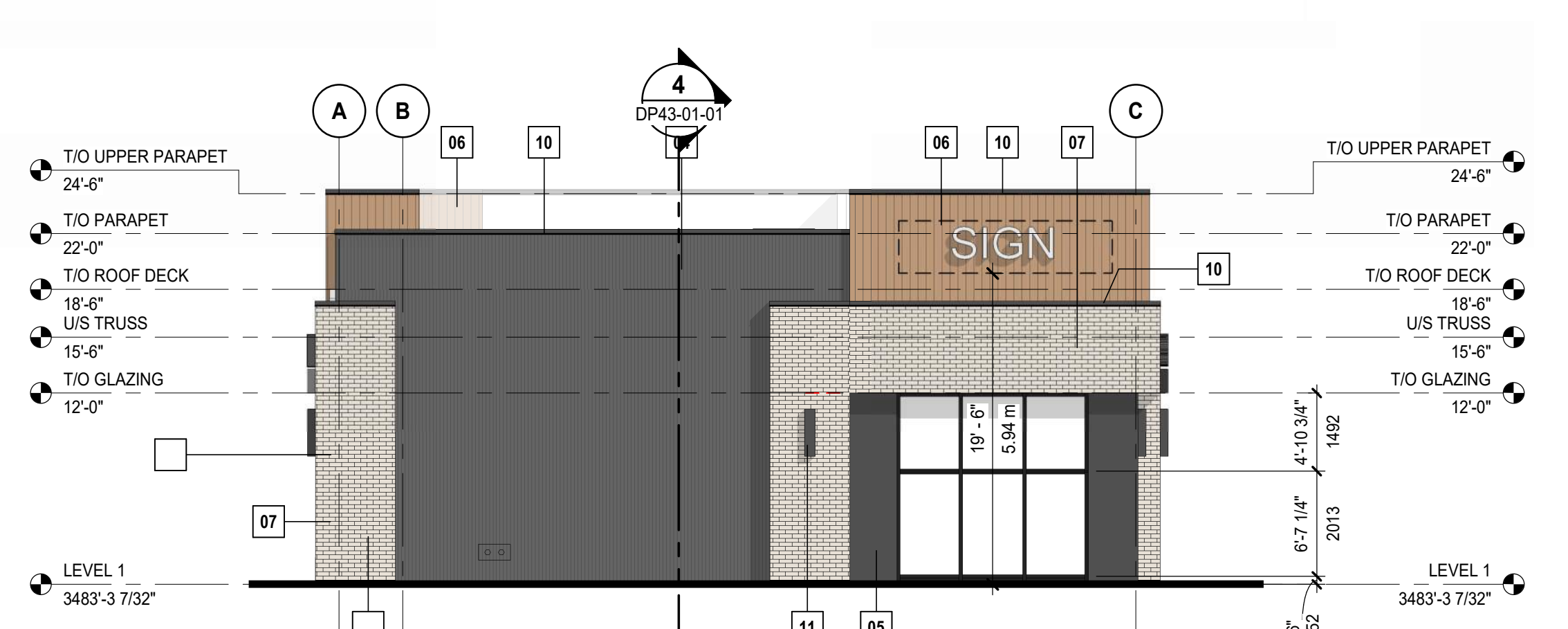
DP40-01-01



1 BUILDING 02 - OVERALL BUILDING ELEVATION - SOUTH
DP40-02-01 SCALE: 1:100



2 BUILDING 02 - OVERALL BUILDING ELEVATION - NORTH
DP40-02-01 SCALE: 1:100



4 BUILDING 02 - OVERALL BUILDING ELEVATION - EAST
DP40-02-01 SCALE: 1:100



3 BUILDING 02 - OVERALL BUILDING ELEVATION - WEST
DP40-02-01 SCALE: 1:100

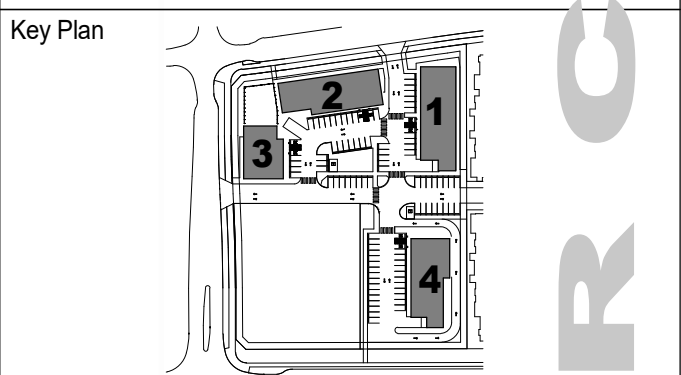
GENERAL NOTES	MATERIALS LEGEND	MATERIALS BOARD
- SEE SITE PLAN FOR ELECTRICAL, WATER AND GAS CONNECTIONS. CONFIRM WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS. - COLORS AND MATERIALS SELECTED ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. - MATCHING ALTERNATE MANUFACTURER MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. - ALL INFORMATION ABOUT SITE GRADING IS PROVIDED BY CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS. - PROVIDE PREFINISHED METAL FLASHING ABOVE ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. COLOUR TO MATCH ADJACENT MATERIAL. - PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED BY MATERIAL MANUFACTURER. - REFER TO CIVIL DRAWINGS FOR NUMBER OF EXTERIOR RISERS.	01 ANODIZED ALUMINUM STOREFRONT SYSTEM MANUFACTURER: T.B.D. COLOR: BLACK FRAME, CLEAR GLASS 02 PREFINISHED ALUMINUM FRAME ENTRY DOORS COLOR: BLACK FRAME, CLEAR GLASS 03 PREFINISHED METAL TRELLIS CANOPY MANUFACTURER: T.B.D. COLOR: BLACK 04 PREFINISHED VERTICAL RIBBED METAL SIDING MANUFACTURER: LUX - FOLDED WALL COLOR: SLATE GREY 05 SMOOTH FIBER CEMENT PANEL MANUFACTURER: HARJIE COLOR: MIDNIGHT BLACK 06 PREFINISHED WOOD-LOOK VERTICAL PLANK METAL SIDING MANUFACTURER: LUX - RANDOM PLANK PANEL (5.5" WIDTH) COLOR: KNOTTY DESERT OAK 07 MODULAR BRICK, RUNNING BOND MANUFACTURER: CANADA BRICK COLOR: SUSSEX 08 PREFINISHED WOOD-LOOK OVERHEAD DOOR MANUFACTURER: T.B.D. COLOR: KNOTTY DESERT OAK 09 EXTERIOR METAL DOOR COLOR: GENERIC BLACK 10 PREFINISHED METAL FLASHING COLOR: GENERIC BLACK 11 WALL MOUNTED EXTERIOR LIGHTING PER ELECTRICAL DRAWING COLOR: BLACK 12 PROPOSED FIRE DEPARTMENT CONNECTION 13 EMERGENCY OVERFLOW SCUPPER. COLOR TO MATCH ADJACENT MATERIAL	- PREFINISHED VERTICAL METAL SIDING COLOR/FINISH: SLATE GREY - SMOOTH FIBER CEMENT PANEL COLOR/FINISH: MIDNIGHT BLACK - PREFINISHED WOOD-LOOK HORIZONTAL PLANK METAL SIDING COLOR/FINISH: HEMLOCK - MODULAR BRICK, RUNNING BOND COLOR/FINISH: SUSSEX GROUT COLOUR: GREY - MULLION / DOOR FRAME COLOR/FINISH: BLACK

DATE	ISSUED FOR	REV
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Project Component



Consultants	
Survey:	JUBILEE ENGINEERING
Civil:	NORR
Architecture:	NORR
Structural:	TLJ ENGINEERING
Mechanical:	TLJ ENGINEERING
Electrical:	TLJ ENGINEERING
Interiors:	TLJ ENGINEERING
Landscape:	GROUND CUBED

Seal(s)

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations

From Molokai Architects (Molokai) Inc. From Molokai Holdings Inc.

Jonathan Hughes, Architect, AIA, OAA, ASBC, MAA, AANB, AAPE
Adrian Tobolski, P.Eng., APEGA
Chris Piel, P.Eng., APEGA

Project Manager	Drawn
KH	Author
Project Leader	Checked
	Checker

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

1 CALGARY, ALBERTA, CANADA

Drawing Title

BUILDING 02 - OVERALL BUILDING ELEVATIONS

Scale

As indicated

Project No.

C01125-0122

Drawing No.

DP40-02-01



4 BUILDING 03 - OVERALL BUILDING ELEVATION - SOUTH
DP40-03-01 SCALE: 1:100



1 BUILDING 03 - OVERALL BUILDING ELEVATION - EAST
DP40-03-01 SCALE: 1:100



3 BUILDING 03 - OVERALL BUILDING ELEVATION - WEST
DP40-03-01 SCALE: 1:100



2 BUILDING 03 - OVERALL BUILDING ELEVATION - NORTH
DP40-03-01 SCALE: 1:100

GENERAL NOTES

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- REFER TO CIVIL DRAWINGS FOR NUMBER OF EXTERIOR RISERS.

MATERIALS LEGEND

- | | | | |
|----|--|----|---|
| 01 | ANODIZED ALUMINUM STOREFRONT SYSTEM
MANUFACTURER: T.B.D.
COLOR: BLACK FRAME, CLEAR GLASS | 08 | PREFINISHED WOOD-LOOK OVERHEAD DOOR
MANUFACTURER: T.B.D.
COLOR: KNOTTY DESERT OAK |
| 02 | PREFINISHED ALUMINUM FRAME ENTRY DOORS
COLOR: BLACK FRAME, CLEAR GLASS | 09 | EXTERIOR METAL DOOR
COLOR: GENERIC BLACK |
| 03 | PREFINISHED METAL TRELLIS CANOPY
MANUFACTURER: T.B.D.
COLOR: BLACK | 10 | PREFINISHED METAL FLASHING
COLOR: GENERIC BLACK |
| 04 | PREFINISHED VERTICAL RIBBED METAL SIDING
MANUFACTURER: LUX - FOLDED WALL
COLOR: SLATE GREY | 11 | WALL MOUNTED EXTERIOR LIGHTING PER ELECTRICAL DRAWING
COLOR: BLACK |
| 05 | SMOOTH FIBER CEMENT PANEL
MANUFACTURER: HARDE
COLOR: MIDNIGHT BLACK | 12 | PROPOSED FIRE DEPARTMENT CONNECTION |
| 06 | PREFINISHED WOOD-LOOK VERTICAL PLANK METAL SIDING
MANUFACTURER: LUX - RANDOM PLANK PANEL (5.5" WIDTH)
COLOR: KNOTTY DESERT OAK | 13 | EMERGENCY OVERFLOW SCUPPER. COLOR TO MATCH ADJACENT MATERIAL |
| 07 | MODULAR BRICK, RUNNING BOND
MANUFACTURER: CANADA BRICK
COLOR: SUSSEX | | |

MATERIALS BOARD

- | | |
|--|---|
| | PREFINISHED VERTICAL METAL SIDING
COLOR/FINISH: SLATE GREY |
| | SMOOTH FIBER CEMENT PANEL
COLOR/FINISH: MIDNIGHT BLACK |
| | PREFINISHED WOOD-LOOK
HORIZONTAL PLANK METAL SIDING
COLOR/FINISH: HEMLOCK |
| | MODULAR BRICK, RUNNING BOND
COLOR/FINISH: SUSSEX
GROUT COLOUR: GREY |
| | MULLION / DOOR FRAME
COLOR/FINISH: BLACK |

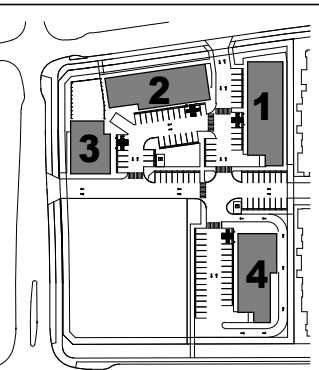
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2026-03-27	ISSUED FOR DR1	2

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Project Component

Key Plan



Consultants

Survey: JUBILEE ENGINEERING
Civil: NORR
Architecture: NORR
Structural: TLJ ENGINEERING
Mechanical: TLJ ENGINEERING
Electrical: TLJ ENGINEERING
Interiors: TLJ ENGINEERING
Landscape: GROUND CUBED

Seal(s)

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations

From Midway Architects (Atlanta) Inc. From Midway Holdings Inc.

Jonathan Hughes, Architect, AIA, OAA, AIBC, AIAA, AIAAE, AIAPE
Adrian Todor, P.Eng., APEGA
Chris Piel, P.Eng., APEGA

Project Manager

KH

Drawn

Author

Project Leader

Checked

Checker

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title

**BUILDING 03 - OVERALL
BUILDING ELEVATIONS**

Scale

As indicated

Project No.

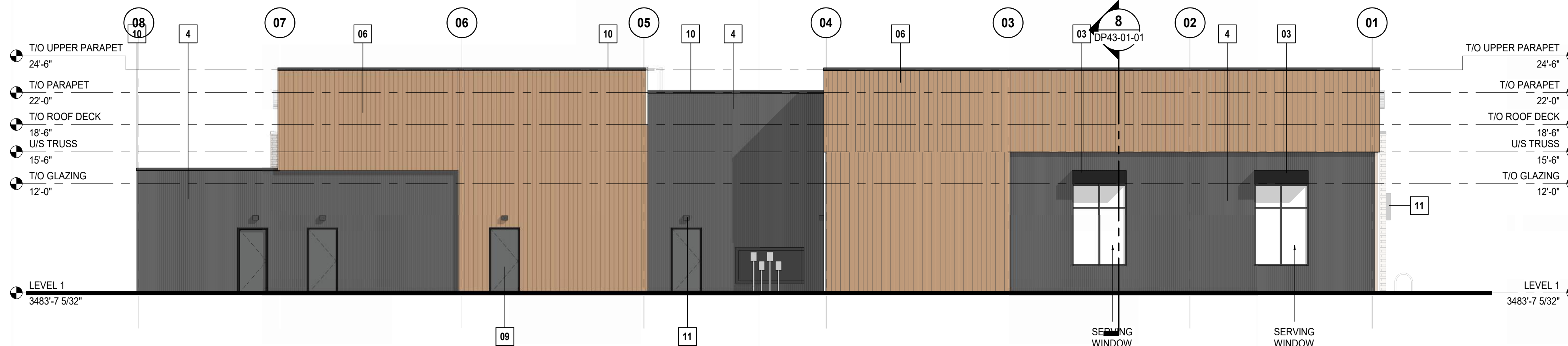
C01125-0122

Drawing No.

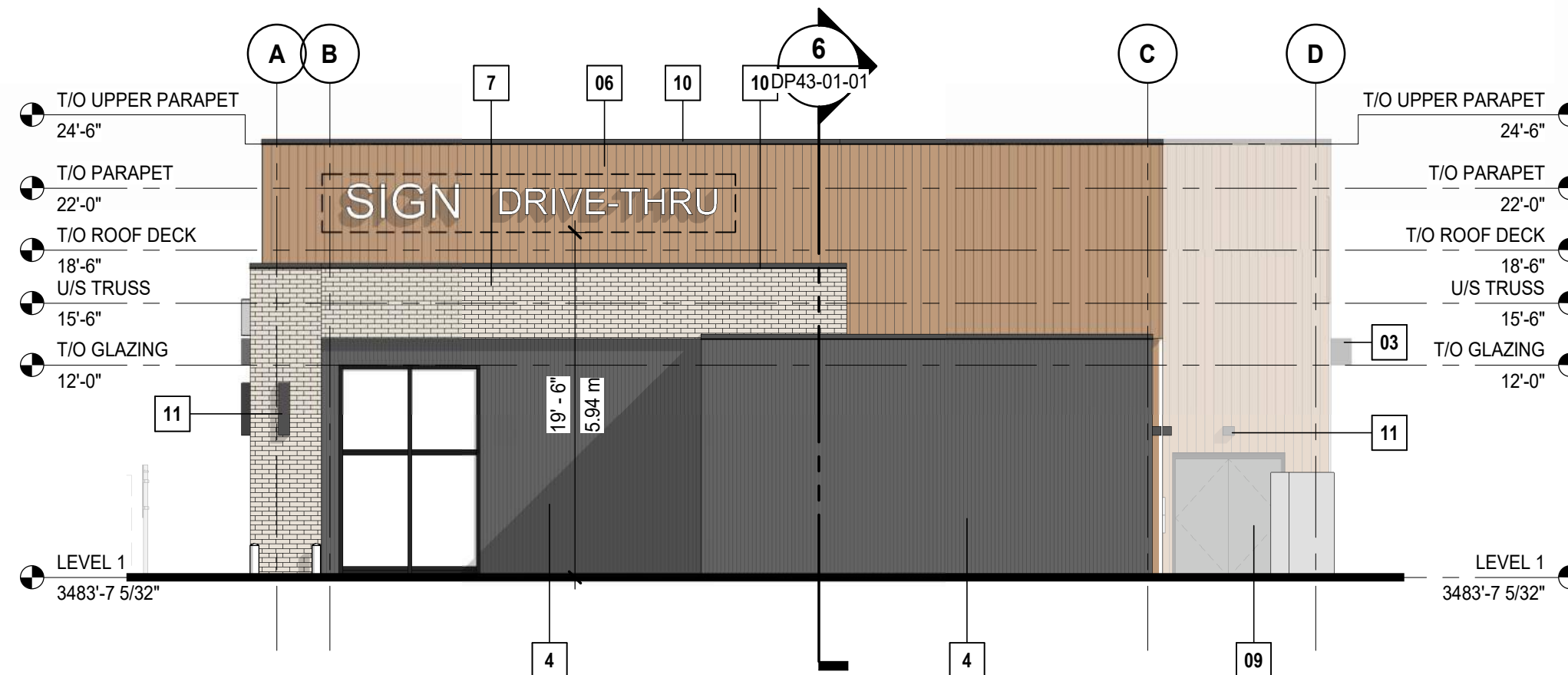
DP40-03-01



1 BUILDING 04 - OVERALL BUILDING ELEVATION - WEST
DP40-04-01 SCALE: 1:100



3 BUILDING 04 - OVERALL BUILDING ELEVATION - EAST
DP40-04-01 SCALE: 1:100



2 BUILDING 04 - OVERALL BUILDING ELEVATION - SOUTH
DP40-04-01 SCALE: 1:100



4 BUILDING 04 - OVERALL BUILDING ELEVATION - NORTH
DP40-04-01 SCALE: 1:100

GENERAL NOTES

- SEE SITE PLAN FOR ELECTRICAL, WATER AND GAS CONNECTIONS. CONFIRM WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
- COLORS AND MATERIALS SELECTED ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY.
- MATCHING ALTERNATE MANUFACTURER MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- ALL INFORMATION ABOUT SITE GRADING IS PROVIDED BY CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
- PROVIDE PREFINISHED METAL FLASHING ABOVE ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. COLOUR TO MATCH ADJACENT MATERIAL.
- PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED BY MATERIAL MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR NUMBER OF EXTERIOR RISERS.

MATERIALS LEGEND

- | | |
|----|--|
| 01 | ANODIZED ALUMINUM STOREFRONT SYSTEM
MANUFACTURER: T.B.D.
COLOR: BLACK FRAME, CLEAR GLASS |
| 02 | PREFINISHED ALUMINUM FRAME ENTRY DOORS
MANUFACTURER: BLACK FRAME, CLEAR GLASS |
| 03 | PREFINISHED METAL TRELLIS CANOPY
MANUFACTURER: T.B.D.
COLOR: BLACK |
| 04 | PREFINISHED VERTICAL RIBBED METAL SIDING
MANUFACTURER: LUX - FOLDED WALL
COLOR: SLATE GREY |
| 05 | SMOOTH FIBER CEMENT PANEL
MANUFACTURER: HARDE
COLOR: MIDNIGHT BLACK |
| 06 | PREFINISHED WOOD-LOOK VERTICAL PLANK METAL SIDING
MANUFACTURER: LUX - RANDOM PLANK PANEL (5.5" WIDTH)
COLOR: KNOTTY DESERT OAK |
| 07 | MODULAR BRICK, RUNNING BOND
MANUFACTURER: CANADA BRICK
COLOR: SUSSEX |

- | | |
|----|---|
| 08 | PREFINISHED WOOD-LOOK OVERHEAD DOOR
MANUFACTURER: T.B.D.
COLOR: KNOTTY DESERT OAK |
| 09 | EXTERIOR METAL DOOR
MANUFACTURER: GENERIC BLACK |
| 10 | PREFINISHED METAL FLASHING
MANUFACTURER: GENERIC BLACK |
| 11 | WALL MOUNTED EXTERIOR LIGHTING PER ELECTRICAL DRAWING
MANUFACTURER: BLACK |
| 12 | PROPOSED FIRE DEPARTMENT CONNECTION |
| 13 | EMERGENCY OVERFLOW SCUPPER. COLOR TO MATCH ADJACENT MATERIAL |

MATERIALS BOARD

- | | |
|--|---|
| | PREFINISHED VERTICAL METAL SIDING
COLOR/FINISH: SLATE GREY |
| | SMOOTH FIBER CEMENT PANEL
COLOR/FINISH: MIDNIGHT BLACK |
| | PREFINISHED WOOD-LOOK
HORIZONTAL PLANK METAL SIDING
COLOR/FINISH: HEMLOCK |
| | MODULAR BRICK, RUNNING BOND
COLOR/FINISH: SUSSEX
GROUT COLOUR: GREY |
| | MULLION / DOOR FRAME
COLOR/FINISH: BLACK |

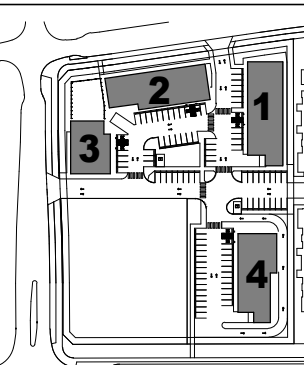
DATE	ISSUED FOR	REV
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Key Plan



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Author

Project Leader

Checked

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Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title

**BUILDING 04 - OVERALL
BUILDING ELEVATIONS**

Scale

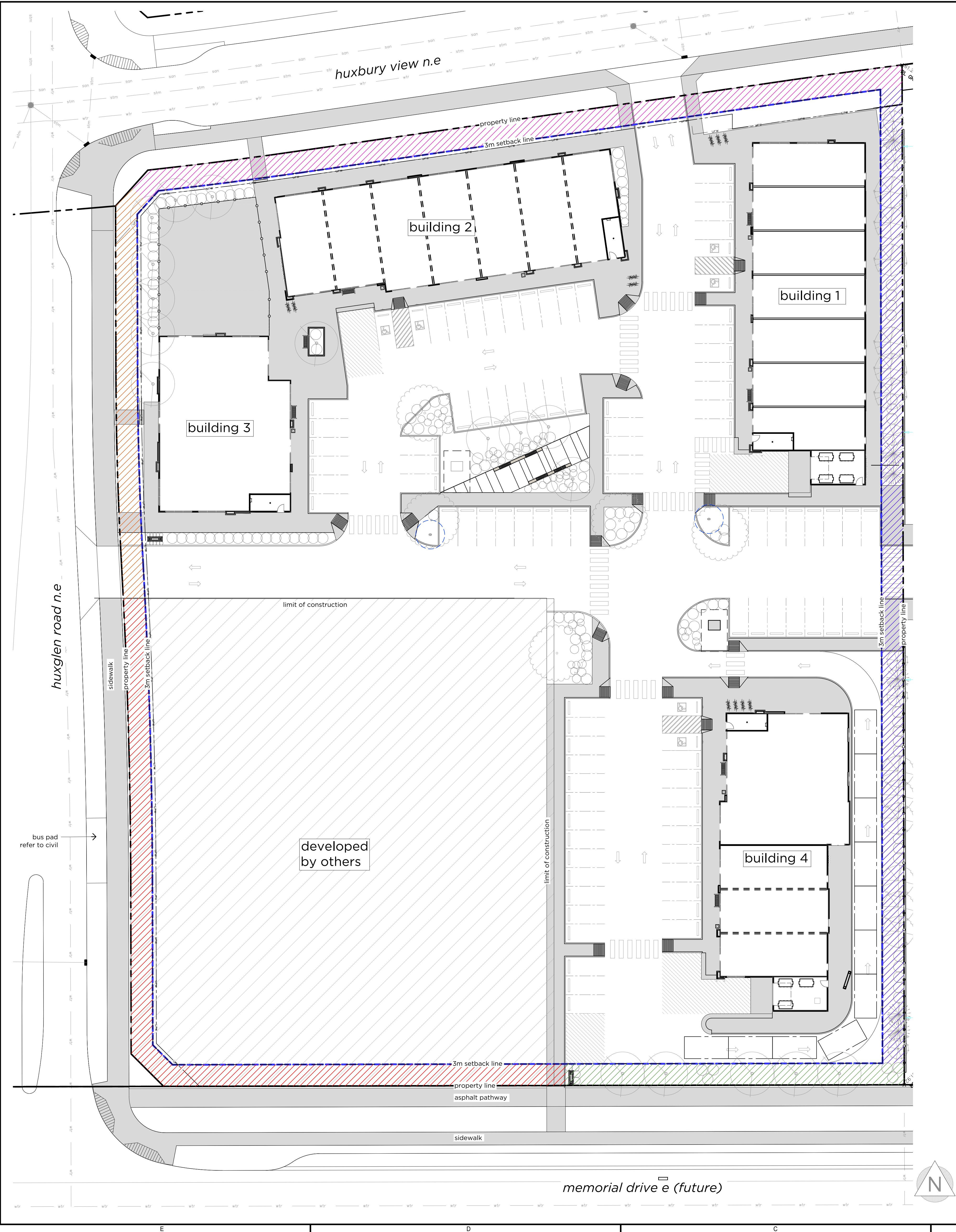
As indicated

Project No.

C01125-0122

Drawing No.

DP40-04-01



Tree Planting Rationale:
Tree requirements are based on the full parcel, including the area reserved for future development. Although the Bylaw directs tree planting within setback areas, the north and west setbacks are occupied by a utility right of way, preventing tree installation. All required trees are therefore placed elsewhere on the site to meet Bylaw intent while respecting utility constraints.

landscape area calculation legend

- future phase - 368m²
- West Setback Area - 170m²
- South Setback Area - 140m²
- East Setback Area - 407m²
- North Setback Area - 322m²

landscape area calculations

landscape area calculations are based on the city of Calgary land-use bylaw 1P2007, Part 7: Commercial Districts - Division 4: Commercial-Community 1 (C-C1) District

landscape area is

total setback area = 1,407 m²

requirement summary

- trees in an overall ratio of 1 per 35 m² for all setback areas
- shrubs in an overall ratio of 2 per 35 m² for all setback areas
- 25% of the overall total must be reserved for coniferous tree species.
- 50% of the required counts must meet either a 3.0m ht for coniferous or 75mm caliper for deciduous.
- shrubs must be a minimum height or spread of 600mm.

total required trees (1 per 45 m² of landscape area)

overall trees required (*1,407 / 50) = 41

overall shrubs required (*1,407 / 50) x 2 = 82

Planting in Setback Areas Requirements						
	West	South	East	North	future phase	Total
Area	170m ²	140m ²	140m ²	322m ²	368m ²	1,407m ²
Total Trees	6	4	12	9	11	41
Deciduous	3	3	9	7	8	30
75mm caliper	3	2	5	3	4	15
50mm caliper	1	1	4	4	4	15
Coniferous	2	1	3	2	3	11
3m Height	1	1	2	1	1	6
2m Height	1	--	1	1	2	5

Trees Provided: (45 trees)

North setback area = 0 (urw conflict)
East setback area = 24
West setback area = 0 (urw conflict)
South setback area = 5 (urw conflict)

elsewhere on site = 16

Shrubs Provided: (180 shrubs)

North setback area = 0 (urw conflict, provided elsewhere on site)
East setback area = 25 (remaining provided elsewhere on site)
West setback area = 0 (urw conflict, provided elsewhere on site)
South setback area = 10

elsewhere on site = 145

DATE

ISSUED FOR

REV

2026-01-20

ISSUED FOR DP

1

2026-03-26

ISSUED FOR DR1

2

2026-06-11

ISSUED FOR DR2

3

4

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Project Component

Key Plan

Consultants

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Civil: NORR

Architecture: NORR

Structural: TLJ ENGINEERING

Mechanical: TLJ ENGINEERING

Electrical: TLJ ENGINEERING

Interiors: TLJ ENGINEERING

Landscape: GROUND CUBED

Seal(s)

2

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

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norr.com

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Formerly: NORR Architects (Alberta) Inc. / NORR Architects (Ontario) Inc.

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Chris Pao, P.Eng., APEGA

Project Manager

Drawn

Jamie Johnson

MG

Project Leader

Checked

Michelle Glavic

JJ

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

1

CALGARY, ALBERTA, CANADA

Drawing Title

BYLAW PLAN

Scale

1:250

Project No.

26.0201

Drawing No.

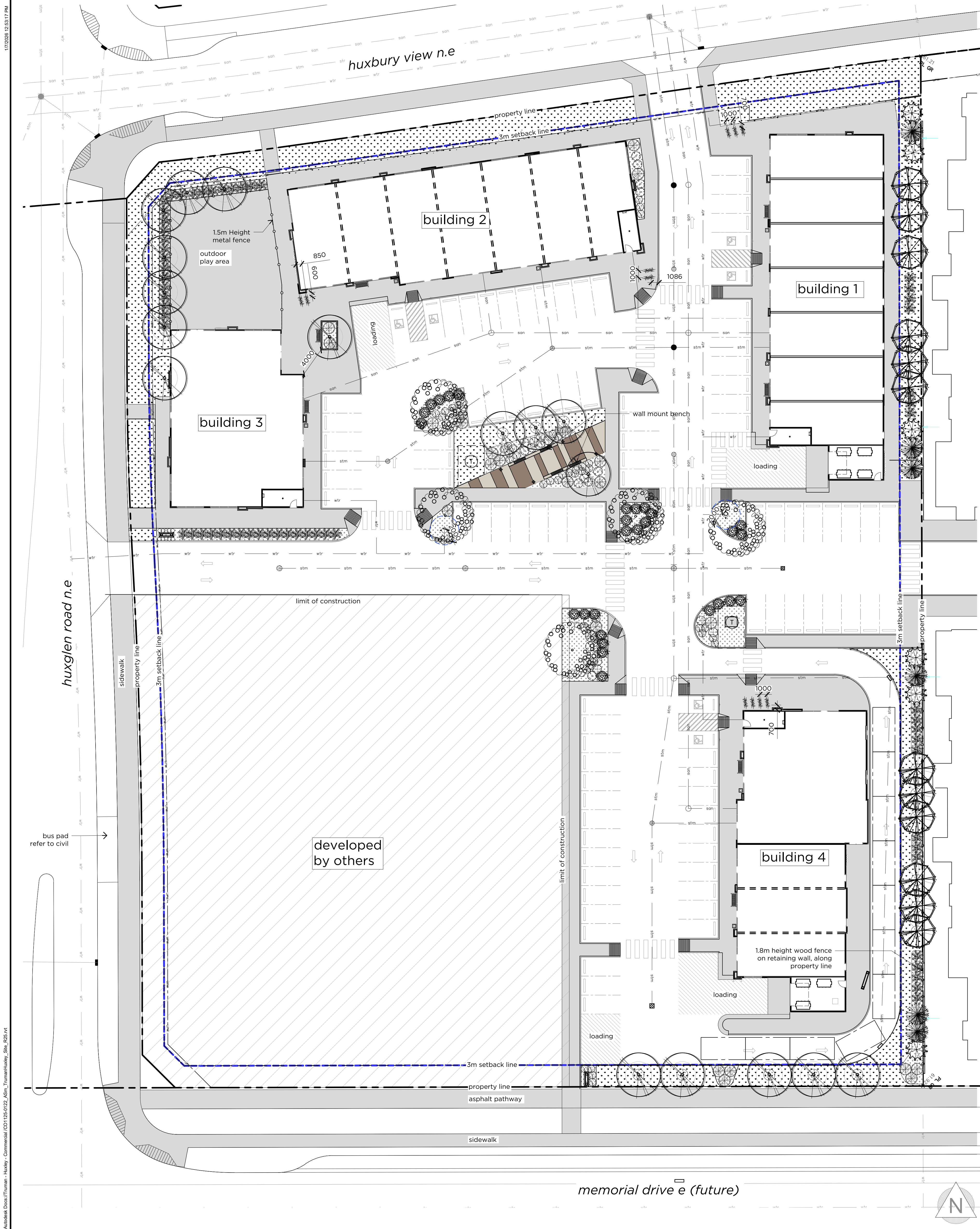
DP10-00-L1

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PRELIMINARY - NOT FOR CONSTRUCTION

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surface material legend

symbol	description
	hatch denotes drought tolerant sod
	hatch denotes bark mulch
	hatch denotes play area surfacing
	hatch denotes concrete sidewalk refer to architecture
	hatch denotes coloured concrete
	symbol denotes mulch tree well

site furnishing legend

symbol	description
	symbol denotes class 2 bike rack refer to detail 3/L2
	symbol denotes bench refer to detail 2/L2
	symbol denotes trash receptacle refer to detail 1/L2
	symbol denotes light bollard refer to electrical

utilities legend (refer to civil)

symbol	description
	existing water line
	proposed water line
	existing storm line
	proposed storm line
	existing sewer line
	proposed sewer line
	utility right-of-way
	manhole
	catch basin
	fire hydrant
	transformer

proposed plant list for trees

number	symbol	description
45		total overall trees provided deciduous trees = 34 coniferous trees = 12
17		large shade deciduous trees - 75mm caliper • patmore green ash <i>fraxinus pennsylvanica 'patmore'</i>
5		large shade deciduous trees - 75mm caliper • discovery elm <i>Ulmus davidiana 'discovery'</i>
12		medium ornamental deciduous trees - 50mm • ivory silk tree lilac <i>Syringa reticulata 'Ivory Silk (tree form)'</i>
6		coniferous trees - 3.0m ht • colorado spruce <i>picea pungens</i>
6		coniferous trees - 2.0m ht • colorado spruce <i>picea pungens</i>

proposed plant list for shrubs

number	symbol	description
180		
42		• potentilla <i>Potentilla fruticosa</i>
26		• little devil ninebark <i>Physocarpus opulifolius 'Donna May'</i>
112		• calgary carpet juniper <i>Juniperus sabina 'Calgary Carpet'</i> • dwarf mugo pine <i>Pinus mugo var. pumilio</i> • alpine currant <i>Ribes alpinum</i>

*an underground irrigation system shall be provided for all softscape areas

INOX



supplier: Paris Site Furnishings
contact: Sudden Fun Recreation Equipment
model: inox
material: lpe
colour: TBD

1 Trash Receptacle

L2 n.t.s

INOX



supplier: Paris Site Furnishings
contact: Sudden Fun Recreation Equipment
model: inox
material: lpe
colour: TBD

2 Bench

L2 n.t.s

LUCID



Sizes Available: 2 Bike Capacity
Materials: Steel
Options: Optional custom laser cut centre panel
Model Numbers: LUCID-BR

supplier: Paris Site Furnishings
contact: Sudden Fun Recreation Equipment
colour: TBD

3 Bike Rack

L2 n.t.s

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Preston Architects (Alberta) Inc. Plan Resource Holdings Inc.

Jonathan Hughes, Architect, AIA, OAA, ABC, MAA, AIAA, AAPPE
Adrian Tordella, P.Eng., APREGA
Chris Pelt, P.Eng., APREGA

Project Manager	Drawn
Jamie Johnson	MG
Project Leader	Checked
Michelle Glavic	JJ

Client

TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

HUXLEY COMMERCIAL

CALGARY, ALBERTA, CANADA

Drawing Title

LANDSCAPE PLAN

Scale

1:250

Project No.

26.0201

Drawing No.

DP10-00-L2

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