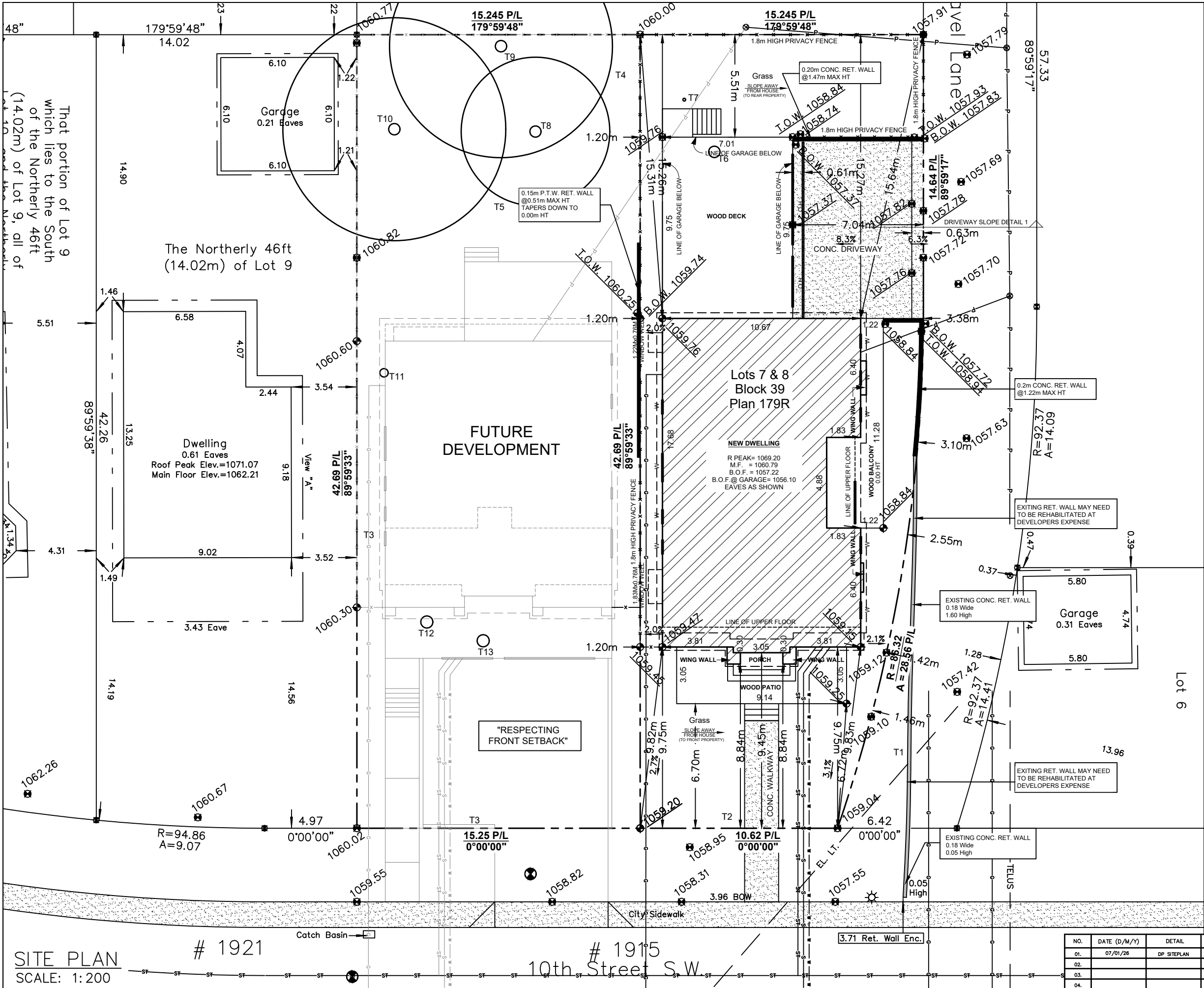




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- X--- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- E--- denotes Electrical Line
- A.G.T.--- denotes A.G.T. Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows

- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: 1299 SITE 1
DC – DIRECT CONTROL

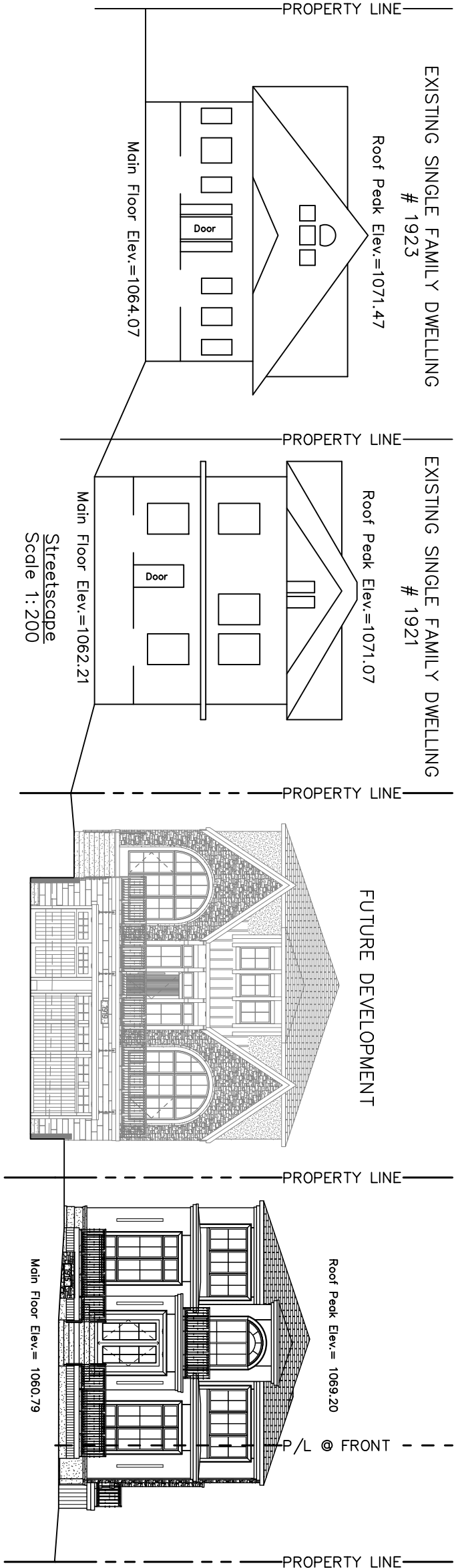
SCALE 1:200

LEGAL DESCRIPTION:
Lots 7 & 8
Block 39
Plan 179R

MUNICIPAL ADDRESS:
1915 – 10th STREET S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 608.490 SQ M
HOUSE SIZE: 180.604 SQ M
COVERED PORCH: 0.000 SQ M
CANT: 0.000 SQ M
WING WALL: 1.877 SQ M
GARAGE: 68.348 SQ M
TOTAL: 250.828/608.490
= 41.22%

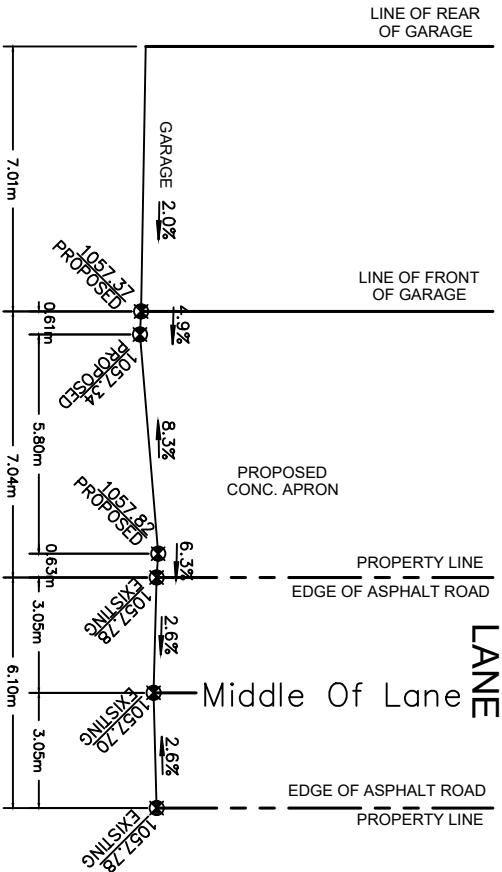
NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	07/01/26	DP SITEPLAN	D.L.	1915 10 STREET SW (North Lot) Calgary, Alberta	NEW HOME	1: 200
02.				Lots 7 & 8 Block 39 Plan 179R	DATE: JAN 07, 2026	DIVISION NUMBER: S 01
03.						
04.						



STREETSCAPE

SCALE: 1:200

DRIVE WAY SLOPE DETAIL #1

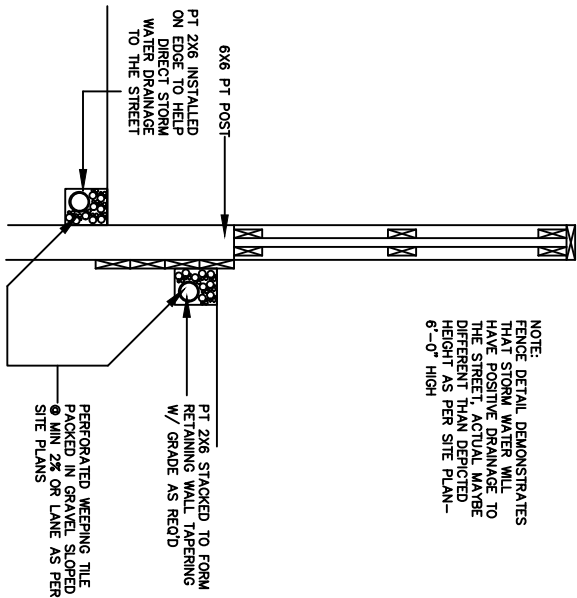


DRIVEWAY SLOPE

SCALE: NTS

NEW HOME SQ.FT:

AREA	
BASEMENT	1944.00 SQ.FT.
ATTACHED GARAGE	736.00 SQ.FT.
MAIN FLOOR	1835.11 SQ.FT.
UPPER FLOOR	1782.61 SQ.FT.
TOTAL AREA	3617.72 SQ.FT.



NOTE:
FENCE DETAIL DEMONSTRATES THAT STORM WATER WILL HAVE POSITIVE DRAINAGE TO THE STREET AND WILL BE DIFFERENT THAN DEPICTED HEIGHT AS PER SITE PLAN--

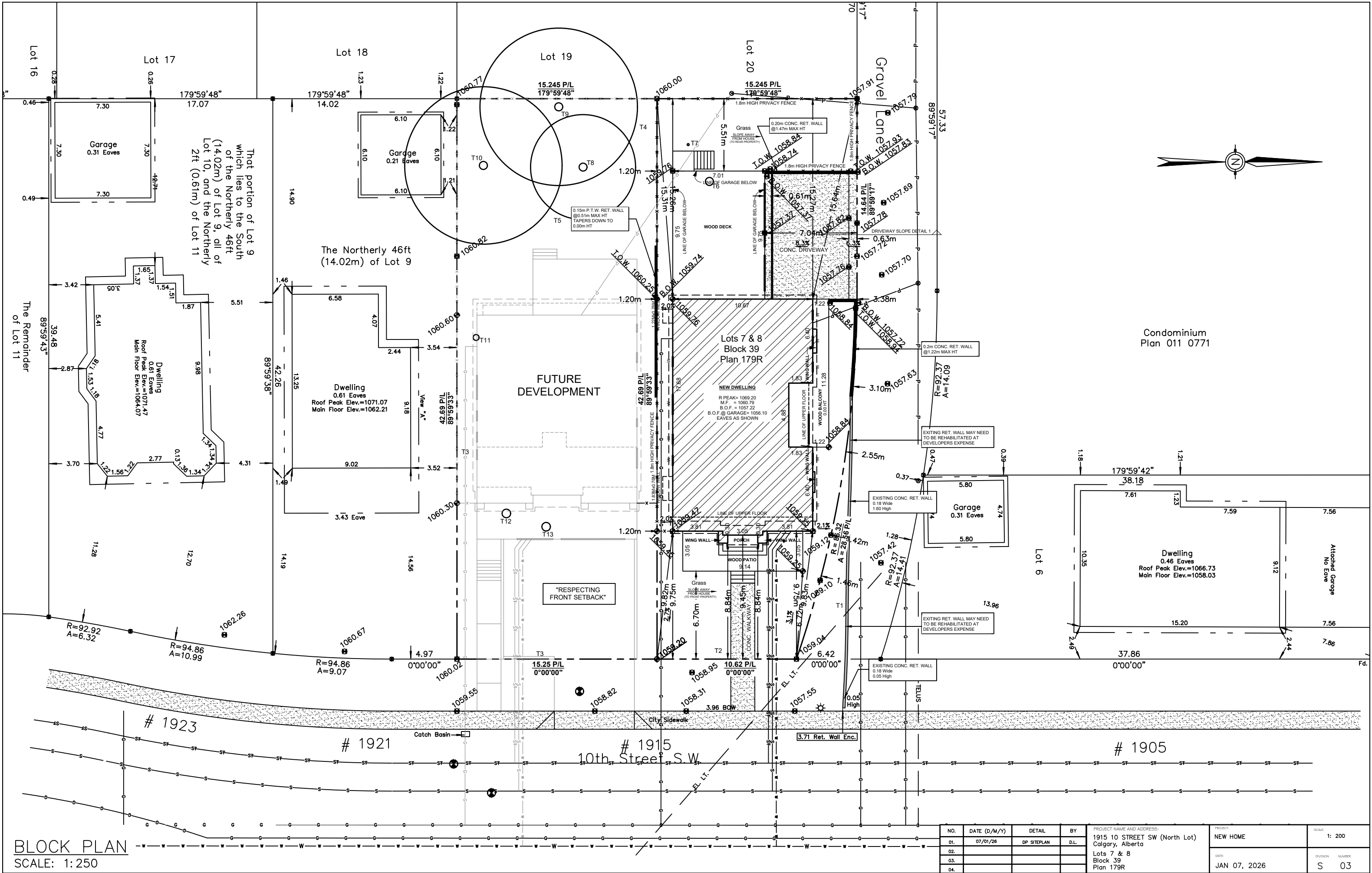
TREE SCHEDULE:

Tree No.	Tree Species	Tree Type	Trunk Dia.	Canopy Dia	Height	Location	DISPOSITION
T1	Hedge	Deciduous	---	3.00	3.00	In Subject Property	To Be Removed
T2	Hedge	Deciduous	---	3.00	3.00	In Subject Property	To Be Removed
T3	Hedge	Deciduous	---	3.00	3.00	In Subject Property	To Be Removed
T4	Hedge	Deciduous	---	3.50	4.00	In Subject Property	To Be Removed
T5	Hedge	Deciduous	---	3.00	2.50	In Subject Property	To Be Removed
T6	Moyley	Deciduous	0.61	8.00	8.00	In Subject Property	To Be Removed
T7	Spruce	Coniferous	0.15	2.00	1.00	In Subject Property	To Be Removed
T8	Crobbopple	Deciduous	0.60	8.00	7.00	In Subject Property	To Stay
T9	Maple	Deciduous	0.61	12.00	12.00	In Subject Property	To Stay
T10	Moyley	Deciduous	0.61	12.00	10.00	In Subject Property	To Stay
T11	Mountain Ash	Deciduous	0.45	5.00	10.00	In Subject Property	To Be Removed
T12	Spruce	Coniferous	0.65	4.00	12.00	In Subject Property	To Be Removed
T13	Spruce	Coniferous	0.65	4.00	12.00	In Subject Property	To Be Removed

FENCE SECTION DETAIL

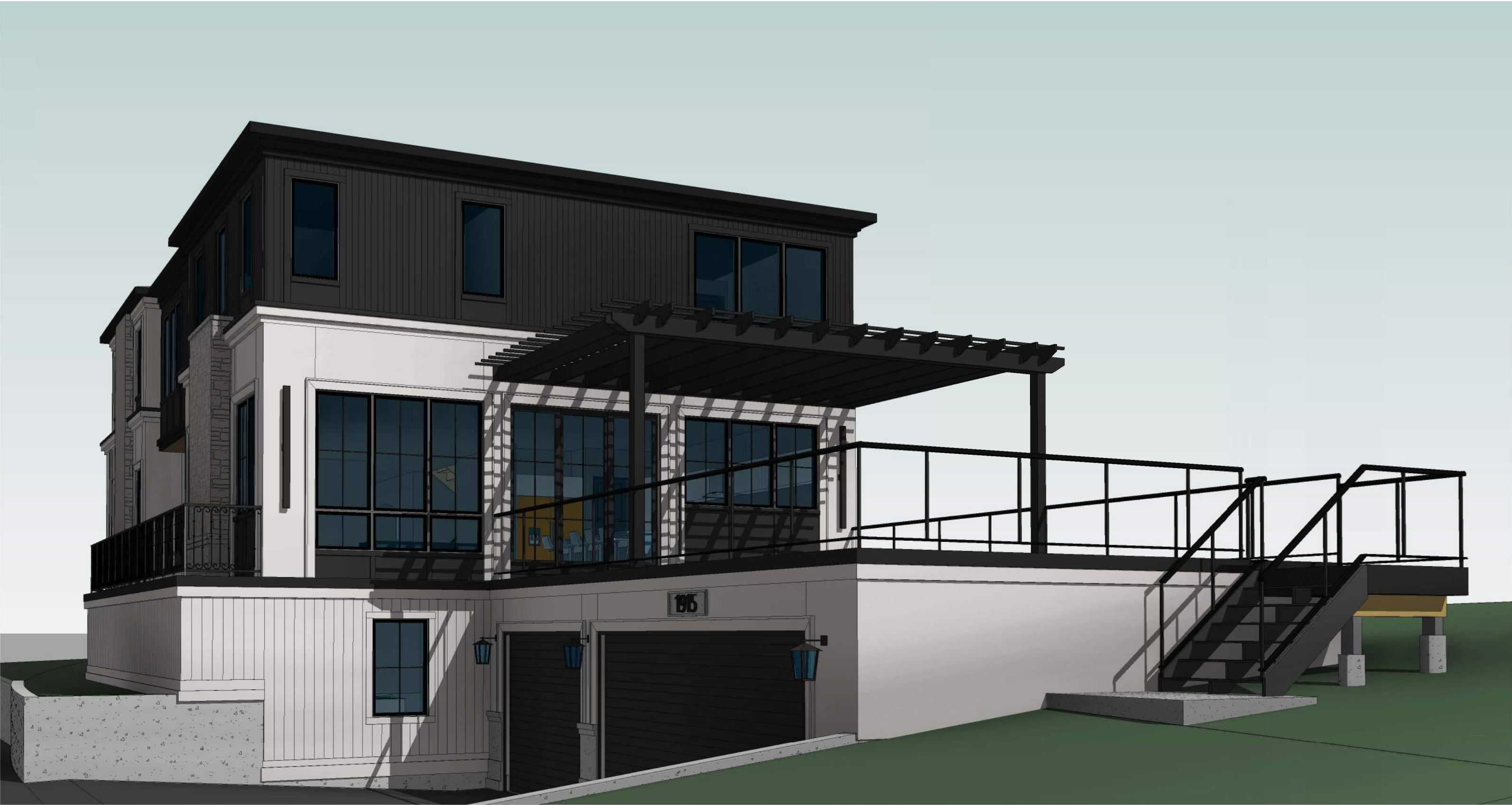
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	07/07/26	DP SITE PLAN	D.L.	1915 10 STREET SW (North Lot) Calgary, Alberta Lots 7 & 8 Block 39 Plan 179R	NEW HOME	AS SHOWN
02.					DATE	
03.					JAN 07, 2026	
04.						DIVISION NUMBER S 02



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	07/01/26	DP SITEPLAN	D.L.	1915 10 STREET SW (North Lot) Calgary, Alberta	NEW HOME	1: 200
02.				Lots 7 & 8 Block 39 Plan 179R	DATE:	DIVISION NUMBER
03.					JAN 07, 2026	S 03
04.						



LIST OF DRAWINGS	
A-0.0	Cover Page 1
A-0.1	Cover Page 2
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left Elevation
A-2.2	Right Elevation

FLOOR AREA

BASEMENT = 1944.00 SQ. FT.
ATT. GARAGE = 736.00 SQ.FT.

MAIN = 1835.11 SQ. FT.
UPPER = 1782.61 SQ. FT.
TOTAL = 3617.72 SQ. FT.



GENERAL NOTES:

MUNICIPAL ADDRESS:
1915 10 ST SW (NORTH)
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
4-26

STATUS:
-

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:
7 39 179R

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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:
Cover Page 1

DESIGN BY: JT

DRAWN BY: JT

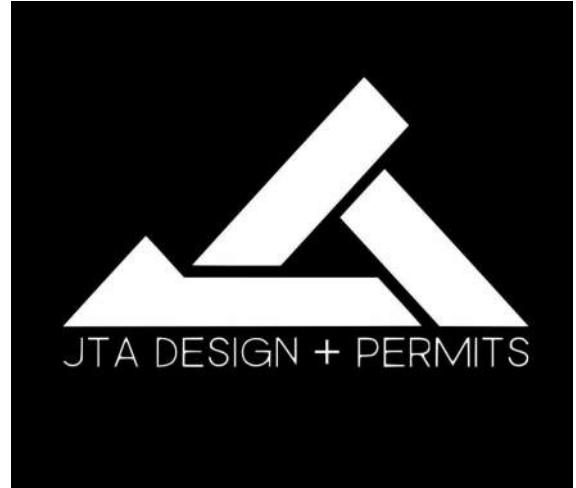
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GENERAL NOTES:

MUNICIPAL ADDRESS:
1915 10 ST SW (NORTH)
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
4-26

STATUS:
-

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:
7 39 179R

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CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
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LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Cover Page 2

DESIGN BY: JT

DRAWN BY: JT

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A-0.1

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA - BLACK
- 3

SMOOTH STUCCO FINISH
- 4

HARDIE SIDING - WHITE
- 5

VERTICAL SIDING - BLACK
- 6

VERTICAL SIDING - WHITE
- 7

STONE CLADDING - AS PER SPEC'D
- 8

CONCRETE PARGING
- 9

CAST-IN-PLACE CONCRETE
- 10

CONCRETE FINISHING
- 11

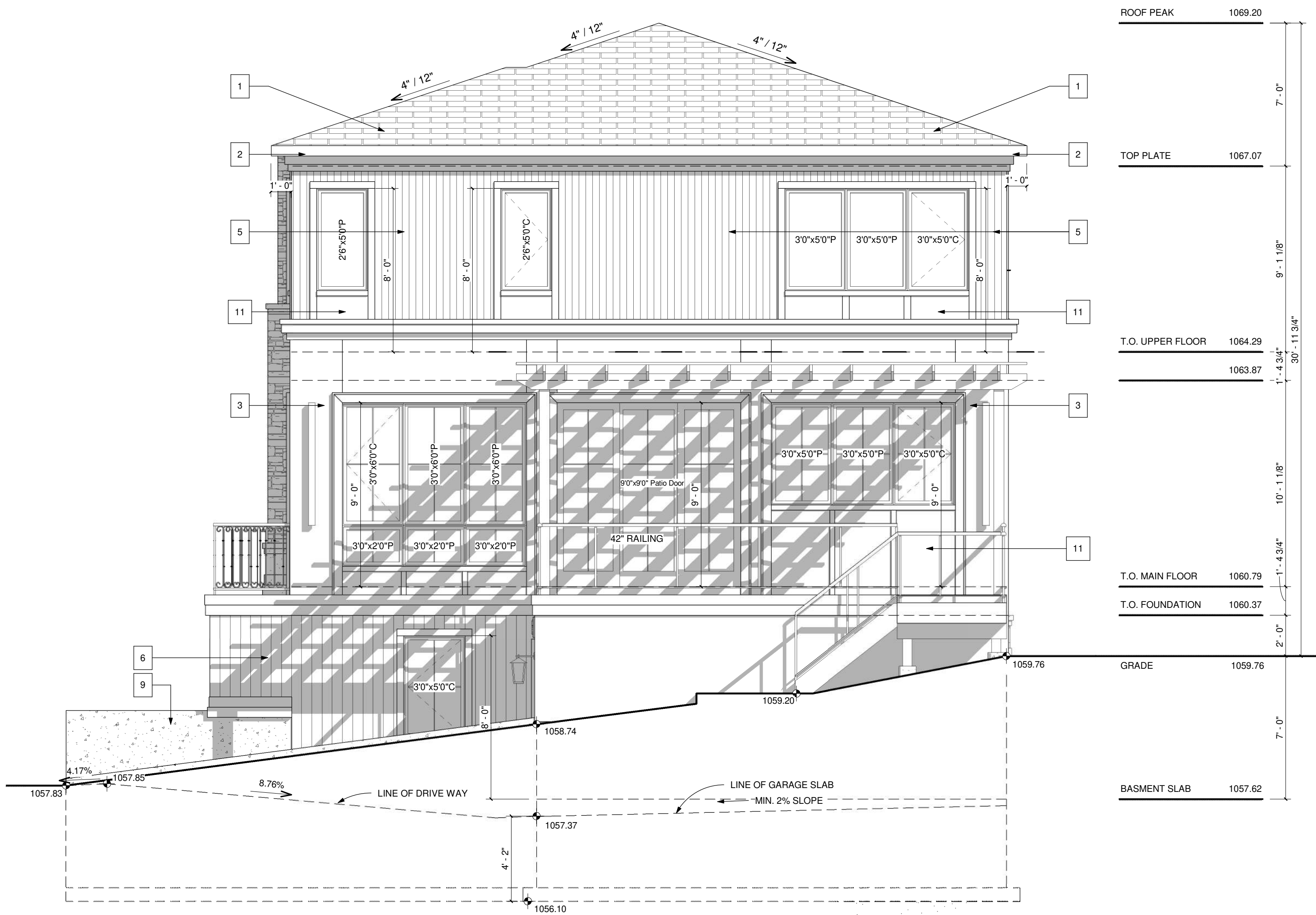
SMART BOARD & BATTEN - BLACK

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
1915 10 ST SW (NORTH)
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
4-26

STATUS:

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:
7 39 179R

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FLOOR AREAS:

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UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:
Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

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SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	VERTICAL SIDING - BLACK	9	CAST-IN-PLACE CONCRETE
2	8" ALUMINUM FASCIA - BLACK	6	VERTICAL SIDING - WHITE	10	CONCRETE FINISHING
3	SMOOTH STUCCO FINISH	7	STONE CLADDING - AS PER SPEC'D	11	SMART BOARD & BATTEN - BLACK
4	HARDIE SIDING - WHITE	8	CONCRETE PARGING		

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :
@1.22m LIMITING DISTANCE

WALL AREA = 1488.09 SQ. FT.
WINDOW AREA = 102.29 SQ. FT.
TOTAL: 102.29 / 1488.09 = 6.87%



GENERAL NOTES:

MUNICIPAL ADDRESS:

1915 10 ST SW (NORTH)
CALGARY, ALBERTA

PROJECT:

NEW HOME

PROJECT NUMBER:

4-26

STATUS:

-

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:
7 39 179R

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FLOOR AREAS:

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UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

SHEET NAME:

Left Elevation

DESIGN BY: JT

DRAWN BY: JT

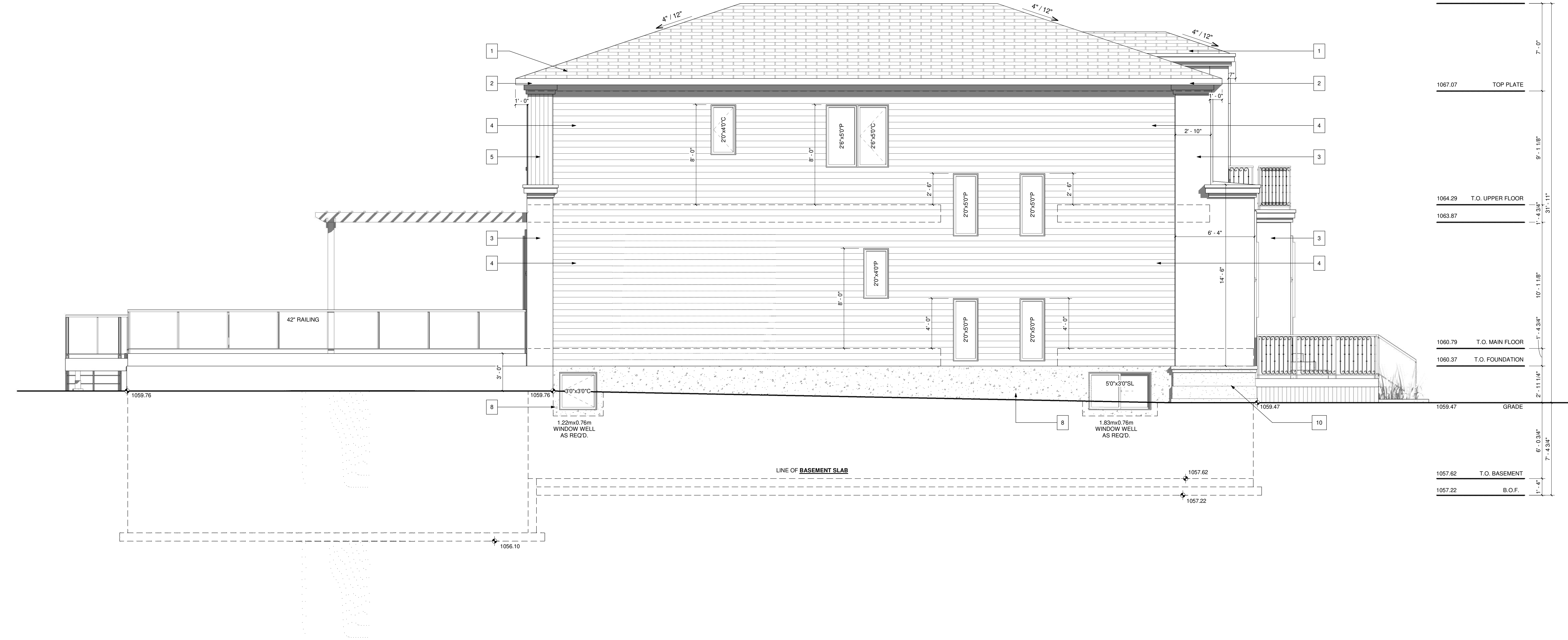
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A-2.1



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

1 ASPHALT SHINGLES	5 VERTICAL SIDING - BLACK	9 CAST-IN-PLACE CONCRETE
2 8" ALUMINUM FASCIA - BLACK	6 VERTICAL SIDING - WHITE	10 CONCRETE FINISHING
3 SMOOTH STUCCO FINISH	7 STONE CLADDING - AS PER SPEC'D	11 SMART BOARD & BATTEN - BLACK
4 HARDIE SIDING - WHITE	8 CONCRETE PARKING	

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :

WALL AREA = 1535.28 SQ. FT.
WINDOW AREA = 359.40 SQ. FT.
TOTAL: 359.40 / 1535.28 = 23.41%



GENERAL NOTES:

MUNICIPAL ADDRESS:

1915 10 ST SW (NORTH)
CALGARY, ALBERTA

PROJECT:

NEW HOME

PROJECT NUMBER:

4-26

STATUS:

-

LEGAL LAND DISCRIPTION:

LOT: 7 BLOCK: 39 PLAN: 179R

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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Right Elevation

DESIGN BY:

JT

DRAWN BY:

JT

LAST REVISION BY:

PRINTED:

2026-01-12 12:02:23 PM

SCALE:

1/4" = 1'-0"

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RIGHT ELEVATION

SCALE: 1/4" = 1'-0"