

PRIVATE RESIDENCE

4727 84th STREET NE

CALGARY, AB

Sheet List		
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
A0	COVERSHEET	4/1/21
A0S.0	SITE PLAN	4/1/21
A0S.2	BLOCK/WINDOW REF	4/6/20
A0S.3	STREETSCAPE	04/13/21
A99	FOUNDATION WALL DETAILS	05/22/22
A100	FOUNDATION PLAN	05/22/22
A101	BASEMENT FLOOR PLAN	03/21/22
A102	MAIN FLOOR PLAN	4/6/20
A103	UPPER FLOOR PLAN/PRIMARY SUITE	03/20/22
A104	ROOFTOP TERRACE	05/05/22
A106	MAIN FLOOR FIRE-WALL LOCATION PLAN	09/15/22
A200	ROOF PLAN	05/22/22
A201	MAIN FLOOR ROOF PLAN	09/19/22
A300	EXTERIOR ROUGH CONCEPT	4/6/20
A301	EXTERIOR ROUGH CONCEPTS	4/6/20
A302	EXTERIOR ROUGH CONCEPTS	4/6/20
A303	EXTERIOR ROUGH CONCEPTS	03/20/22
A304	EXTERIOR ROUGH CONCEPTS	03/20/22
A305	EXTERIOR ROUGH CONCEPTS	03/22/22
A306	EXTERIOR ROUGH CONCEPTS	04/18/22
A307	EXTERIOR SCHEMATICS	04/10/22
A308	EXTERIOR SCHEMATICS	04/10/22
A309	EXTERIOR SCHEMATICS	04/17/22
A310	WINDOW ELEVATIONS	08/19/22
A311	WINDOW ELEVATIONS	08/19/22
A312	WINDOW ELEVATIONS	08/19/22
A313	WINDOW ELEVATIONS	08/19/22
A314	WINDOW ELEVATIONS	08/19/22
A400	BUILDING SECTIONS	05/09/22
A401	BUILDING SECTIONS	05/17/22
A402	BUILDING SECTIONS	06/02/22
A403	BUILDING SECTIONS	06/02/22
A500	CONSTRUCTION ASSEMBLIES	06/08/22
A501	CONSTRUCTION ASSEMBLIES	06/08/22
A600	FIREWALL DETAILS	11/07/22
A601	FIREWALL DETAILS	11/07/22

PROJECT ISSUE DATE:

7/23/20

CURRENT REVISION DATE:

07/07/23

SITE COVERAGE CALCULATIONS

LOT AREA: 54,185 SQ. FT. (5,033.95 2m)
COVERAGE ALLOWED: 45% (24,383.25 SQ. FT./2,265.3 2m)
FOOTPRINT COVERAGE: 10,563.68 SQ. FT. (981.4 2m)
GARAGE COVERAGE: INCLUDED IN FOOTPRINT
FRONT PORCH: 853 SQ. FT. (79 2m)
REAR PATIO: 1,018 SQ. FT. (94.5 2m)
PRIMARY PATIO: 850 SQ. FT. (79 2m)
TOTAL COVERAGE OF DEVELOPMENT: 13,284.68 (1,234.19 2m) 24.5%

ZONING: S-FUD SPECIAL PURPOSE - FUTURE URBAN DEVELOPMENT
FRONT SETBACK: 3.00m
REAR SETBACK: 7.5m
SIDE SETBACKS: 1.2m
MAXIMUM DEVELOPMENT HEIGHT PLANE GEODETIC: 1092.67

ENERGY CODE NOTATIONS:

- IF HEATING DUCT OR PIPING IS INSTALLED WITHIN THE THERMAL BARRIER OF AN EXTERIOR ASSEMBLY, BREAKING THE CONTINUITY OF THE INSULATION, THE CAVITY IN WHICH THE PIE OR DUCT IS USING SHOULD HAVE AN EFFECTIVE RSI VALUE OF 2.78 (R-15.78) PER 9.36.5-7
- ALL MECHANICAL PENETRATIONS THROUGH THE ENVELOPE ASSEMBLY SHALL COMPLY WITH SECTION ABC 2014 9.36.3.3 WHERE MOTORIZED DAMPERS OR GRAVITY/BACK-FLOW DAMPERS ARE TO BE INSTALLED
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF FLEXIBLE SHEET MATERIAL, PER ABC 2014 9.25.3.3.-6; ALL JOINTS SHOULD BE LAPPED OR SEALED BY NOT LESS THAN 100mm AND CLAMPED BETWEEN FURRING MEMBERS, FRAMING, OR BLOCKING.
- 6mm POLY CUT AROUND JOISTS CANNOT ACT AS AN AIR BARRIER; THEREFORE FRAMING MUST BE MADE AIR-TIGHT. DETAIL APPROVED SEALANT OR SILL GASKET AT ALL MECHANICAL JOINTS (INCLUDING BUTT JOINTS IN RIM)*
- MATERIALS INTENDED TO PROVIDE THE PRINCIPAL RESISTANCE TO AIR LEAKAGE CONFORM TO CAN/ULC-S741, AIR BARRIER MATERIALS - SPECIFICATION*
- HEAT DUCT AND COLD AIR RETURNS ARE TO BE PROTECTED WITH A THERMAL BARRIER. ENSURE THIS IS PROPERLY DETAILED.
- HOT WATER PIPES INSTALLATIONS SHALL COMPLY WITH ABC 9.36.4.4
- PENETRATIONS SHOULD BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER PER ABC 2014 9.25.3.3.-6
- PENETRATIONS AND TIE-INS OF THE AIR BARRIER SYSTEM SHALL COMPLY WITH ABC 2014 SECTION 9.36.2.10
- THE INTERFACES BETWEEN WINDOWS, DOORS, AND SKYLIGHTS AND WALL/CEILING ASSEMBLIES SHALL BE CONSTRUCTED AIR TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIALS IN THE WALL AND THE WINDOW, DOOR OR SKYLIGHT FRAME (ABC 2014 SECTION 9.7.6). PER ABC 2014 A-9.36.2.10-9), THIS CAN BE ACHIEVED USING EXTERIOR SEALANT, INTERIOR SEALANT, LOW EXPANSION FOAM, OR SHEATHING TAPE IN COMBINATION WITH DRYWALL, POLYETHYLENE, CLOSED-CELL BACKER ROD, OR WOOD LINER.



ARTIST'S FRONT PERSPECTIVE RENDERING



ARTIST'S REAR PERSPECTIVE RENDERING

MIDNIGHT

DESIGN

STUDIO

BASEMENT FLOOR AREA (SHOWN)- 4,951 SQ. FT. POOL/SPA FLOOR AREA - 2,213 SQ. FT. BASKETBALL/GYM FLOOR AREA - 2,430 SQ. FT. GARAGE FLOOR AREA - 1,578 SQ. FT. MAIN FLOOR AREA - 3,856 SQ. FT. UPPER FLOOR AREA - 1,990 SQ. FT. LOFT FLOOR AREA - 1,573 SQ. FT.	
TOTAL ABOVE GRADE DEVELOPMENT - 13,638 SQ. FT.	
Date	07/07/23
Description	DP Submission for moving house
No.	1
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DATE ISSUED:	7/23/20
DESIGN BY:	MJK/RLY
SCALE:	As indicated
4727 84th STREET NE CALGARY, AB	
A0	
COVERSHEET	
ISSUED FOR PRICING	
MIDNIGHT DESIGN STUDIO, INC. 1842 18A STREET SW, CALGARY (403) 668-1736 - office www.midnightdesignstudio.ca	
PRIVATE RESIDENCE	

MIDNIGHT DESIGN STUDIO

BLOCK 2 PLAN 871 0481

THAT PORTION OF THE NORTH EAST
QUARTER WHICH LIES SOUTH AND EAST OF
BLOCK 2 ON PLAN 871 0481 & NORTH OF
LOT 12 ON PLAN 3862 AV WITHIN NE 1/4
SEC. 36, TWP. 24, RANGE 29, W 4 M

SITE COVERAGE CALCULATIONS

LOT AREA: 54,185 SQ. FT. (5,033.95 2m)
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REAR SETBACK: 7.5m
SIDE SETBACKS: 1.2m
MAXIMUM DEVELOPMENT HEIGHT PLANE GEODETIC: 1092.67

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1	DP Submission for moving house	07/07/23

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DATE ISSUED:	7/23/20
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DESIGN BY:	MJK/RLY
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SCALE: As indicated

4727 84th STREET NE
CALGARY, AB

A0S.0

SITE PLAN

ISSUED FOR PRICING

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1842 18A STREET SW, CALGARY
(403) 668-1736 - office
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NE AERIAL PERSPECTIVE



NE PERSPECTIVE #1

REVISION DESCRIPTION		DATE
1	DESIGN CONCEPTS	3/21/22
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DATE ISSUED:		7/23/20
DESIGN BY:		MJK
SCALE:		
4727 84th STREET NE CALGARY, AB		
A300		
EXTERIOR ROUGH CONCEPT		
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PRIVATE RESIDENCE		



FRONT ENTRY PERSPECTIVE



FRONT STREETSCAPE PERSPECTIVE



SE FRONT PERSPECTIVE

MIDNIGHT DESIGN STUDIO

NUMBER	REVISION DESCRIPTION	DATE
1	DESIGN CONCEPTS	3/21/22
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DATE ISSUED:		7/23/20
DESIGN BY:		MJK/RLY
SCALE:		
4727 84th STREET NE CALGARY, AB		
A301		
EXTERIOR ROUGH CONCEPTS		
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MIDNIGHT
DESIGN
STUDIO



FRONT NW AERIAL PERSPECTIVE

DATE	3/21/22
REVISION DESCRIPTION	DESIGN CONCEPTS
NUMBER	1
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SCALE:	
4727 84th STREET NE CALGARY, AB	
A302	
EXTERIOR ROUGH CONCEPTS	
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MIDNIGHT DESIGN STUDIO



FRONT AERIAL PERSPECTIVE

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4727 84th STREET NE CALGARY, AB		
A303		
EXTERIOR ROUGH CONCEPTS		
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MIDNIGHT DESIGN STUDIO

1. CONCRETE FOUNDATION WALL - NO WATERPROOFING ABOVE GRADE - PROVIDE PARING AT ALL EXPOSED FACES
2. EXPOSED PAPER-FACED CONCRETE RETAINING WALL - SEAL EXPOSED CONCRETE w/ SPRAY-ON RADONSEAL PLUS CONCRETE PENETRATING SEALER
3. MASONRY FINISH - SEE OWNERS' SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS
4. SAGPER CLADDING FINISH - SEE OWNERS' SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS - INSTALL PER MFGOR SPECIFICATIONS OR ENVELOPE ENGINEER'S DIRECTIONS FOR EXTERIOR APPLICATION
5. ACM PANEL FINISH - SEE BUILDER SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS - INSTALL PER MFGOR SPECIFICATIONS OR ENVELOPE ENGINEER'S DIRECTIONS UNLESS OTHERWISE NOTED IN THESE DRAWINGS
6. ACRYLIC STUCCO FINISH - COLOUR TBD OR PER OWNERS' SPECIFICATIONS - PROVIDE REVEAL AS NOTED ON SPECIFIC ELEVATION
A. WHERE AN EXPANSION JOINT IS NOT CALLED OUT BUT ONE IS REQUIRED, CONTRACTOR SHALL INQUIRE OF LOCATION TO MDS OFFICE, NO SUBSTITUTIONS
7. ACM FASCIA PANEL w/ REVEALS @ EVEN SPACING @ EACH FASCIA PLANE U.O.O. PROVIDE DRIP CAP ABOVE OR AS PER MFGOR SPECIFICATIONS ON SPECIFIED FASCIAS
8. STEEL I-BEAM COSMETIC HEADER AS NOTED - SEE SECTION DETAIL IF ONE IS PROVIDED FOR SPECIFIC SIZE AND SPACING OF LAG BOLTS
A. STRUCTURAL ENGINEER TO PROVIDE SPECIFICS OF THIS DETAIL IF STRUCTURAL NECESSITIES REQUIRED
B. ALL EXPOSED STRUCTURAL STEEL SHALL BE POWDER-COATED TO ENSURE SAFETY AND LONGEVITY
C. NON-STRUCTURAL STEEL SHALL BE LEFT UNSEALED TO PATINA WITH THE ELEMENTS
9. HARDI-PANEL FASCIA MATERIAL - UTILIZE EZ TRIM w/ EQUAL SPACING @ ALL HORIZONTAL LENGTHS
10. ALUMINUM K-STYLE GUTTER - BLACK
11. ASPHALT LOW SLOPE SHINGLES
12. LUX METAL SIDING IN WALNUT - SEE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS
13. 24 X 48 PORCELAIN TILE @ 1/2" WEHDI BOARD ATTACHED TO PLYWOOD SUBSTRATE w/ STRUCTURAL SCREWS AS SUGGESTED BY MANUFACTURER
14. COMPOSITE 2x2 WOOD SLATS w/ 4" GAPS - SEE DETAIL
15. 12mm GLASS RAILING w/ ALUMINUM RAILING w/ POWDER-COATED FINISH

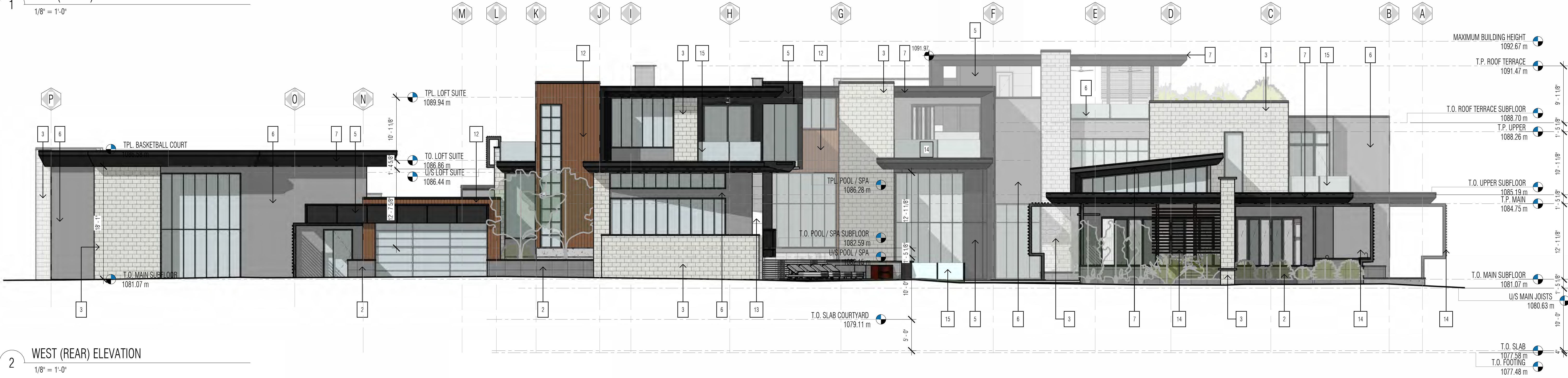
PERFORMANCE REQUIREMENTS PER NAFS CANADA:	
MINIMUM PERFORMANCE GRADE (PG) :	25
MINIMUM POSITIVE DESIGN PRESSURE:	1200 PA
MINIMUM NEGATIVE DESIGN PRESSURE:	1200 PA
MINIMUM WATER PENETRATION RESISTANCE TEST PRESSURE:	260 PA
MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION:	A2
ALL WINDOWS AND DOORS MUST MEET THE MINIMUM STANDARD U-VALUE OF 1.6	



3 REAR UPPER WINDOW ELEVATION
1/4" = 1'-0"



1 EAST (FRONT) ELEVATION
1/8" = 1'-0"



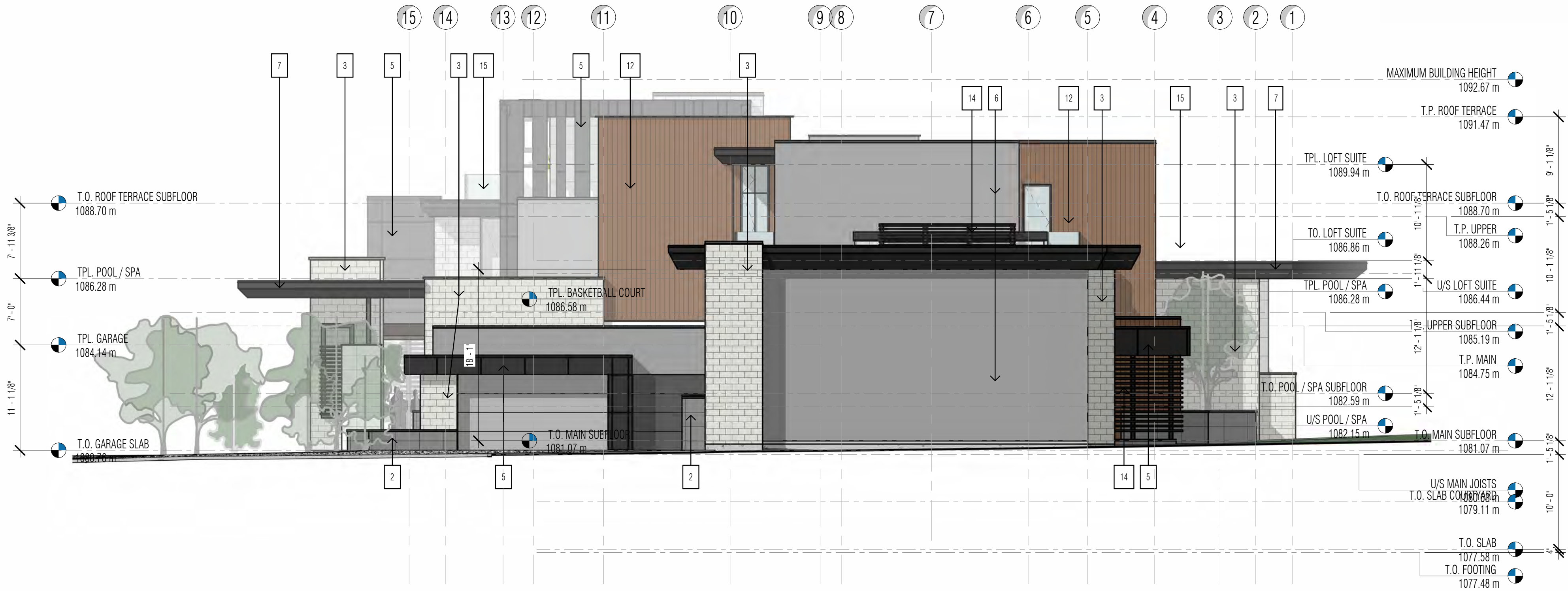
2 WEST (REAR) ELEVATION
1/8" = 1'-0"

REVISION DESCRIPTION	DATE	NUMBER
DR REVISIONS	9/15/22	4
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SCALE:	As indicated	
4727 84th STREET NE CALGARY, AB		
A307		
EXTERIOR SCHEMATICS		
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PRIVATE RESIDENCE		

MIDNIGHT DESIGN STUDIO

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1 NORTH (RIGHT) ELEVATION
1/8" = 1'-0"



2 SOUTH (LEFT) ELEVATION
1/8" = 1'-0"

NUMBER	REVISION/DESCRIPTION	DATE

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DESIGN BY:	Designer
SCALE:	As indicated

4727 84th STREET NE
CALGARY, AB

A308
EXTERIOR SCHEMATICS

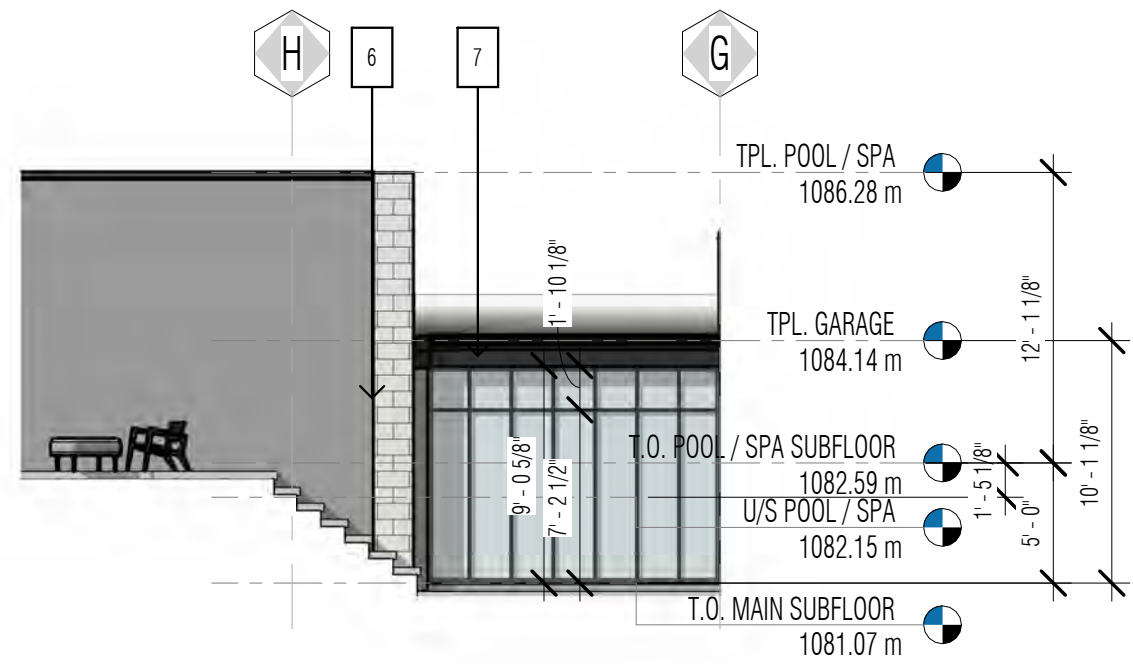
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1842 18A STREET SW, CALGARY
(403) 668-1736 - office
www.midnightdesignstudio.ca

PRIVATE
RESIDENCE

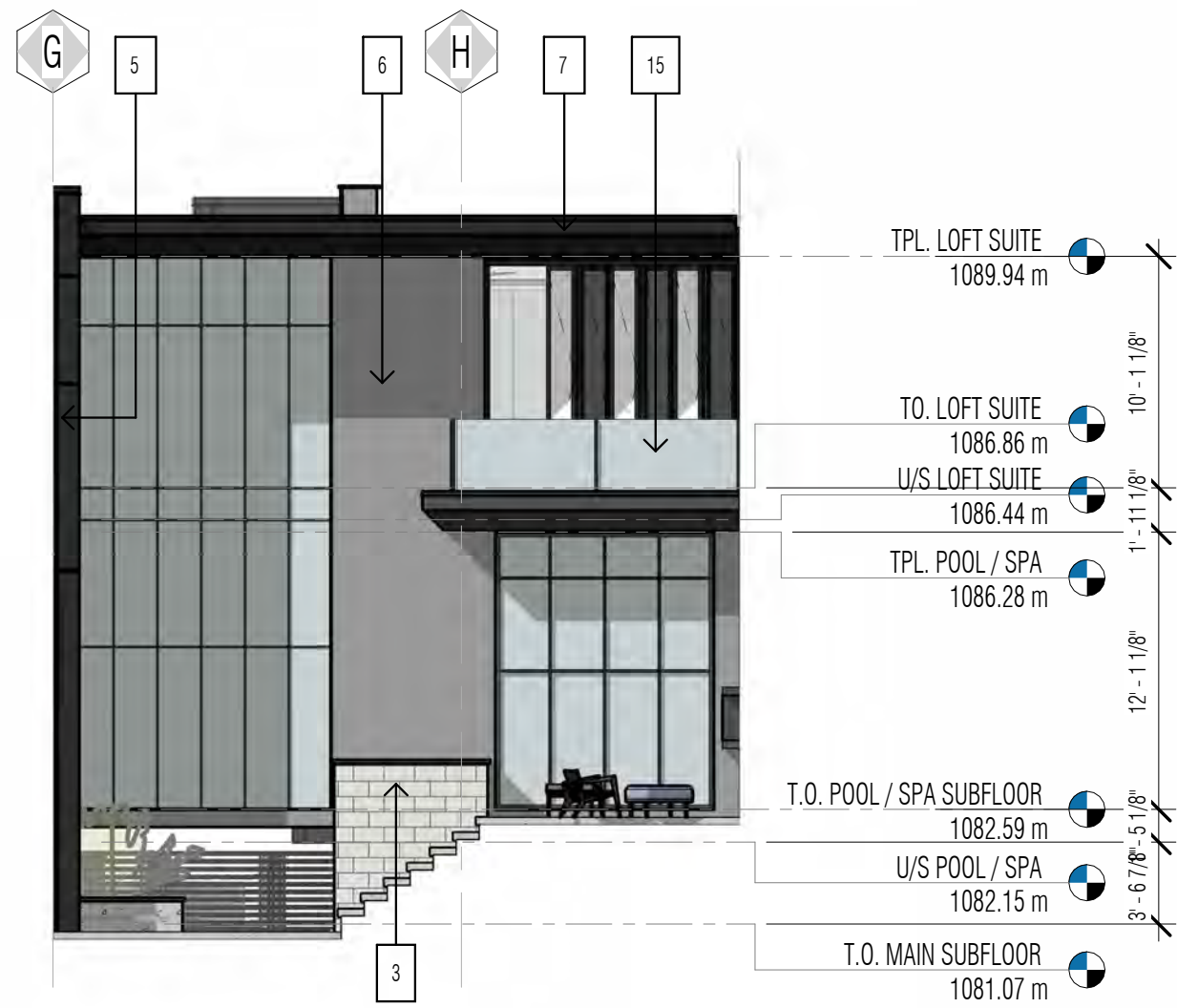
MIDNIGHT DESIGN STUDIO

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5. ACM PANEL FINISH - SEE BUILDER SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS - INSTALL PER MFGR SPECIFICATIONS OR ENVELOPE ENGINEER'S DIRECTIONS UNLESS OTHERWISE NOTED IN THESE DRAWINGS
6. ACRYLIC STUCCO FINISH - COLOUR TBD OR PER OWNERS' SPECIFICATIONS - PROVIDE REVEAL AS NOTED ON SPECIFIC ELEVATION
A. WHERE AN EXPANSION JOINT IS NOT CALLED OUT BUT ONE IS REQUIRED, CONTRACTOR SHALL INQUIRE OF LOCATION TO MDS OFFICE. NO SUBSTITUTIONS
7. ACM FASCIA PANEL w/ REVEALS @ EVEN SPACING @ EACH FASCIA PLANE U.N.O. PROVIDE DRIP CAP ABOVE OR AS PER MFGR SPECIFICATIONS ON SPECIFIED FASCIAS
8. STEEL I BEAM COSMETIC HEADER AS NOTED - SEE SECTION DETAIL IF ONE IS PROVIDED FOR SPECIFIC SIZE AND SPACING OF LAG BOLTS
A. STRUCTURAL ENGINEER TO PROVIDE SPECIFICS OF THIS DETAIL IF STRUCTURAL NECESSITIES REQUIRED
B. ALL EXPOSED STRUCTURAL STEEL SHALL BE POWDER-COATED TO ENSURE SAFETY AND LONGEVITY
C. NON-STRUCTURAL STEEL SHALL BE LEFT UNSEALED TO PATINA WITH THE ELEMENTS
9. HARDI-PANEL FASCIA MATERIAL - UTILIZE EZ TRIM w/ EQUAL SPACING @ ALL HORIZONTAL LENGTHS
10. ALUMINUM K-STYLE GUTTER - BLACK
11. ASPHALT LOW SLOPE SHINGLES
12. LUX METAL SIDING IN WALNUT - SEE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS
13. 24 X 48 PORCELAIN TILE @ 1/2" WEDGE BOARD ATTACHED TO PLYWOOD SUBSTRATE w/ STRUCTURAL SCREWS AS SUGGESTED BY MANUFACTURER
14. COMPOSITE 2x2 WOOD SLATS w/ 4" GAPS - SEE DETAIL
15. 12mm GLASS RAILING w/ ALUMINUM RAILING w/ POWDER-COATED FINISH

PERFORMANCE REQUIREMENTS PER NAFS CANADA:	
MINIMUM PERFORMANCE GRADE (PG) :	25
MINIMUM POSITIVE DESIGN PRESSURE:	1200 PA
MINIMUM NEGATIVE DESIGN PRESSURE:	1200 PA
MINIMUM WATER PENETRATION RESISTANCE TEST PRESSURE:	260 PA
MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION:	A2
ALL WINDOWS AND DOORS MUST MEET THE MINIMUM STANDARD U-VALUE OF 1.6	



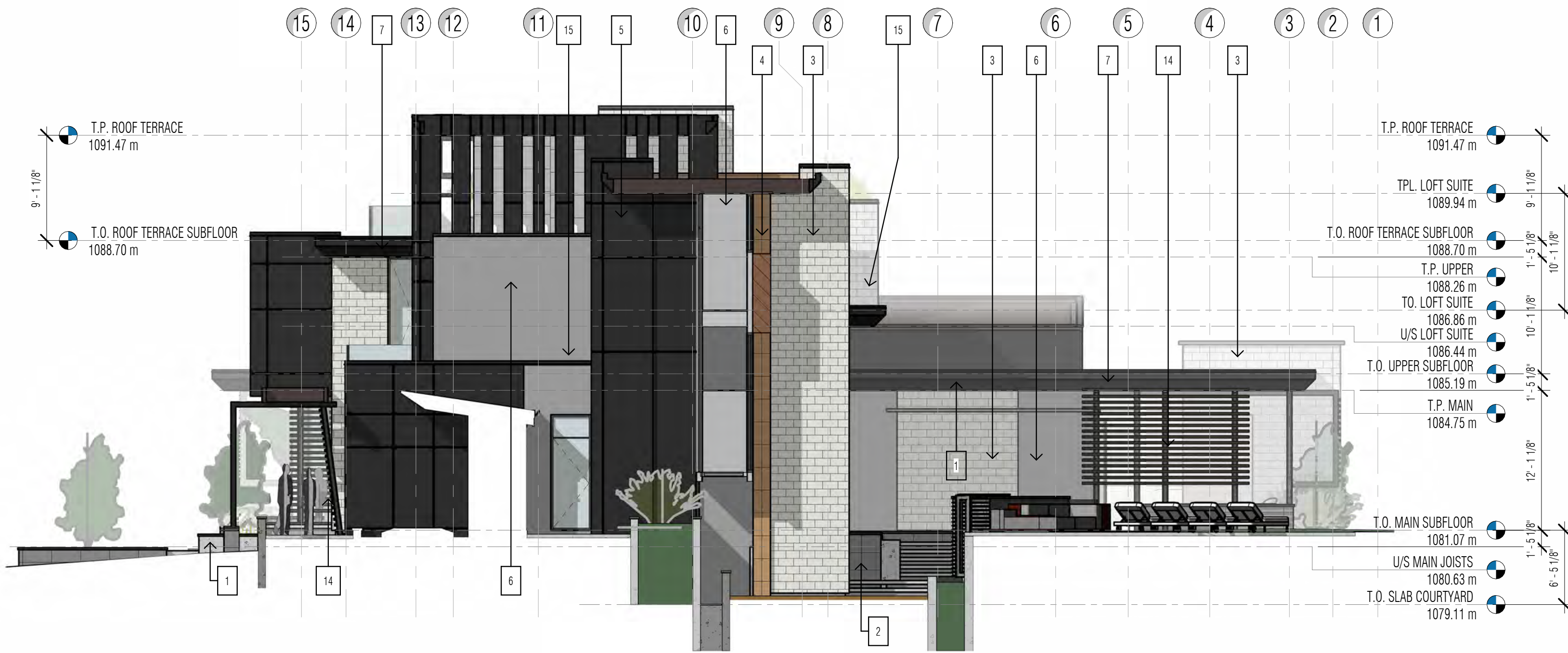
1 COURTYARD EAST ELEVATION
1/8" = 1'-0"



3 COURTYARD WEST ELEVATION
1/8" = 1'-0"



2 COURTYARD NORTH ELEVATION
1/8" = 1'-0"



4 COURTYARD SOUTH ELEVATION
1/8" = 1'-0"

DATE	REVISION DESCRIPTION	NUMBER

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DATE ISSUED:	7/23/20
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SCALE:	As indicated

4727 84th STREET NE
CALGARY, AB

A309
EXTERIOR SCHEMATICS

ISSUED FOR PRICING
MIDNIGHT DESIGN STUDIO, INC.
1842 18A STREET SW, CALGARY
(403) 668-1736 - office
www.midnightdesignstudio.ca

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