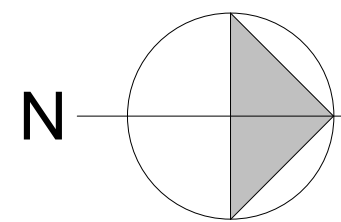


1141, 43 ST SW Calgary AB



DWELLING UNIT #04 - ABOVE GRADE		
FLOOR AREA	SQ.FT.	SQ.M
MAIN FLOOR	714.18 SF	66.35 SM
2ND FLOOR	682.43 SF	63.40 SM
PRIMARY SUITE (TOTAL)	1,396.61 SF	129.75 SM
DWELLING UNIT #04 - BELOW GRADE		
BASEMENT SECONDARY SUITE	760.90 SF	70.69 SM

DWELLING UNIT #03 - ABOVE GRADE		
FLOOR AREA	SQ.FT.	SQ.M
MAIN FLOOR	716.12 SF	66.53 SM
2ND FLOOR	676.30 SF	62.83 SM
PRIMARY SUITE (TOTAL)	1,392.42 SF	129.36 SM
DWELLING UNIT #03 - BELOW GRADE		
BASEMENT SECONDARY SUITE	752.07 SF	69.87 SM

DWELLING UNIT #02 - ABOVE GRADE		
FLOOR AREA	SQ.FT.	SQ.M
MAIN FLOOR	716.12 SF	66.53 SM
2ND FLOOR	676.30 SF	62.83 SM
PRIMARY SUITE (TOTAL)	1,392.42 SF	129.36 SM
DWELLING UNIT #02 - BELOW GRADE		
BASEMENT SECONDARY SUITE	752.07 SF	69.87 SM

DWELLING UNIT #01 - ABOVE GRADE		
FLOOR AREA	SQ.FT.	SQ.M
MAIN FLOOR	714.08 SF	66.34 SM
2ND FLOOR	694.71SF	63.54 SM
PRIMARY SUITE (TOTAL)	1,408.79 SF	129.88 SM
DWELLING UNIT #01 - BELOW GRADE		
BASEMENT SECONDARY SUITE	759.72 SF	70.58 SM

SHEET LIST- DP	
Sheet Number	Sheet Name
DP0.0	COVER SHEET
DP0.1	EXISTING/ DEMOLITION PLAN
DP0.2	PERSPECTIVE VIEWS
DP1.1	PROPOSED BLOCK PLAN
DP1.2	SITE PLAN
DP1.3	LANDSCAPING PLAN
DP1.4	SITE CROSS SECTION
DP1.5	WALL ASSEMBLIES/ LEGENDS
DP1.6	LIMITING DISTANCE
DP2.1	BASEMENT FLOOR PLAN
DP2.2	MAIN FLOOR PLAN
DP2.3	2ND FLOOR PLAN
DP2.4	ROOF PLAN
DP2.5	GARAGE FLOOR PLAN / ELEVATIONS & SECTION
DP3.1	ELEVATIONS
DP3.2	ELEVATIONS
DP4.1	SECTIONS

TREE CALCULATIONS						
CATEGORY	BYLAW RULE	CALCULATION	REQUIRED	PROVIDED		
TREE CREDITS	542(2)...	608/110*1	5.53 (6)	6		
SHRUB COUNT	542(2)	608/110*3	16.58 (17)	17		
TREE ID	SPECIES	SIZE/TYPE	BYLAW REF	CREDIT	STATUS	
N1	DECIDUOUS	400mm CALIPER	542(6)	3	NEW	
N2	BRANDON ELM	85mm CALIPER	542(5a)	2	NEW	
N3	SWEDISH ASPEN	60mm CALIPER	542(4a)	1	NEW	
TOTAL				6	6	
QTY. 17	COMMON NAME PRINCE OF WALES JUNIPER	PLANTING SIZE 2 GALLON POT	SPREAD AT PLANTING 0.60m (MIN.)	TYPE SPREADING EVERGREEN	NEW	

CLIENT:

KINGSWAY BUILDERS

PROJECT NAME:

ROSSCARROCK ROW HOUSE

PROPERTY ADDRESS:

1141 43 STREET SW, CALGARY, AB

KINGSWAY
— DRAFTING & DESIGN —

DEVELOPMENT PERMIT FILE NO.

BUILDING PERMIT FILE NO:

[illegible]

DRAWING TITTLE:

COVER SHEET

DRAWN BY:	Author
REVIEWED BY :	
DRAWN BY:	
PROJECT FILE # :	
SCALE:	As indicated
REVISION:	
DATE OF ISSUED: 12/24/25	SHEET # : DP0.0

FOR DEVELOPMENT PERMIT

PROJECT STATISTICS

DEVELOPMENT DESCRIPTION

THE DEVELOPMENT AT 1141 43 STREET SW IS A LOW DENSITY RESIDENTIAL PROJECT FOR 4 UNITS + 4 SECONDARY SUITES ROW/HOUSE WITH 4 PROVIDED PARKING SPACES.

MUNICIPAL ADDRESS

1141 43 STREET SW, CALGARY, AB

LEGAL ADDRESS

PLAN 3681 V BLOCK 10 LOT 22 & 23

LAND USE ZONING

RESIDENTIAL - GRADE-ORIENTED INFILL R-CG

LAND USE BY-ALLOW GUIDELINES

LOW DENSITY RESIDENTIAL DISTRICTS DIVISION 11: RESIDENTIAL - GRADE-ORIENTED INFILL (R-CG)

526 (2) PERMITTED USES

A ROWHOUSE BUILDING IS A DISCRETIONARY USE IN THE RESIDENTIAL - GRADE-ORIENTED INFILL DISTRICT WHERE A ROWHOUSE BUILDING COMPLETES WITH ALL THE RULES IN THE DISTRICT FOR THAT USE AND WHERE ROWHOUSE BUILDING COMPLETES WITH THE RULES OF SECTION 347.3.

534 (2) PARCEL COVERAGE

(d) 60.0% OF THE AREA OF THE PARCELS SUBJECT TO A SINGLE DEVELOPMENT PERMIT FOR A BUILDING WITH A DENSITY OF 60 UNITS PER HECTARE OR GREATER.

MINIMUM 60 UPH

PROPOSED 65.57 UPH

535 (2) BUILDING DEPTH

FOR A ROWHOUSE BUILDING LOCATED ON A CORNER PARCEL THERE IS NO MAXIMUM BUILDING DEPTH WHERE THE BUILDING SETBACK FROM THE SIDE PROPERTY LINE SHARED WITH ANOTHER PARCEL IS A MINIMUM OF 3.0 METRES FOR ANY PORTION OF THE ROWHOUSE BUILDING LOCATED BETWEEN THE REAR PROPERTY LINE.

537 (2) BUILDING SETBACK FROM FRONT PROPERTY LINE

ON A CORNER PARCEL, THE MINIMUM BUILDING SETBACK FROM A FRONT PROPERTY LINE MAY BE REDUCED TO:
b) DECREASES IN EQUAL PROPORTION WITH THE INCREASE IN THE DISTANCE FROM THE SHARED SIDE PROPERTY LINE, TO A MINIMUM OF 3.0 METERS.

MINIMUM 3.0m

PROVIDED 3.0m

539 (1) BUILDING SETBACK FROM SIDE PROPERTY LINE

THE MINIMUM BUILDING SETBACK FROM ANY SIDE PROPERTY LINE IS 1.2 METERS.

MINIMUM 1.2m

PROVIDED 1.2m

540 (3) BUILDING SETBACK FROM REAR PROPERTY LINE

WHERE TWO OR MORE MAIN RESIDENTIAL BUILDINGS ARE LOCATED ON A CORNER PARCEL, SECTION 540 (2), THE MINIMUM BUILDING SETBACK FROM THE REAR PROPERTY LINE IS 0.6 METERS FOR A ROWHOUSE BUILDING.

MINIMUM 0.6m

PROVIDED 0.6m

541 (1) BUILDING HEIGHT

UNLESS OTHERWISE REFERENCED IN SUBSECTIONS (2) AND (3), FOR ROWHOUSE BUILDINGS THE MAXIMUM BUILDING HEIGHT IS 11.0 METRES MEASURED FROM GRADE.

MAXIMUM 11.0m

PROVIDED +/- 9.0m

546 (1) MOTOR VEHICLE PARKING STALLS

THE MINIMUM NUMBER OF MOTOR VEHICLE PARKING STALLS IS 1.0 STALL PER DWELLING UNIT.

MINIMUM 4 STALLS

PROPOSED 4 STALLS

SITE NOTES

FRONT SETBACK TO BE CONFIRMED WITH ADJACENT DWELLINGS UNDER LAND USE BYLAW. (ITEM 537) ONCE DEVELOPMENT PERMIT APPLICATION IS SUBMITTED.

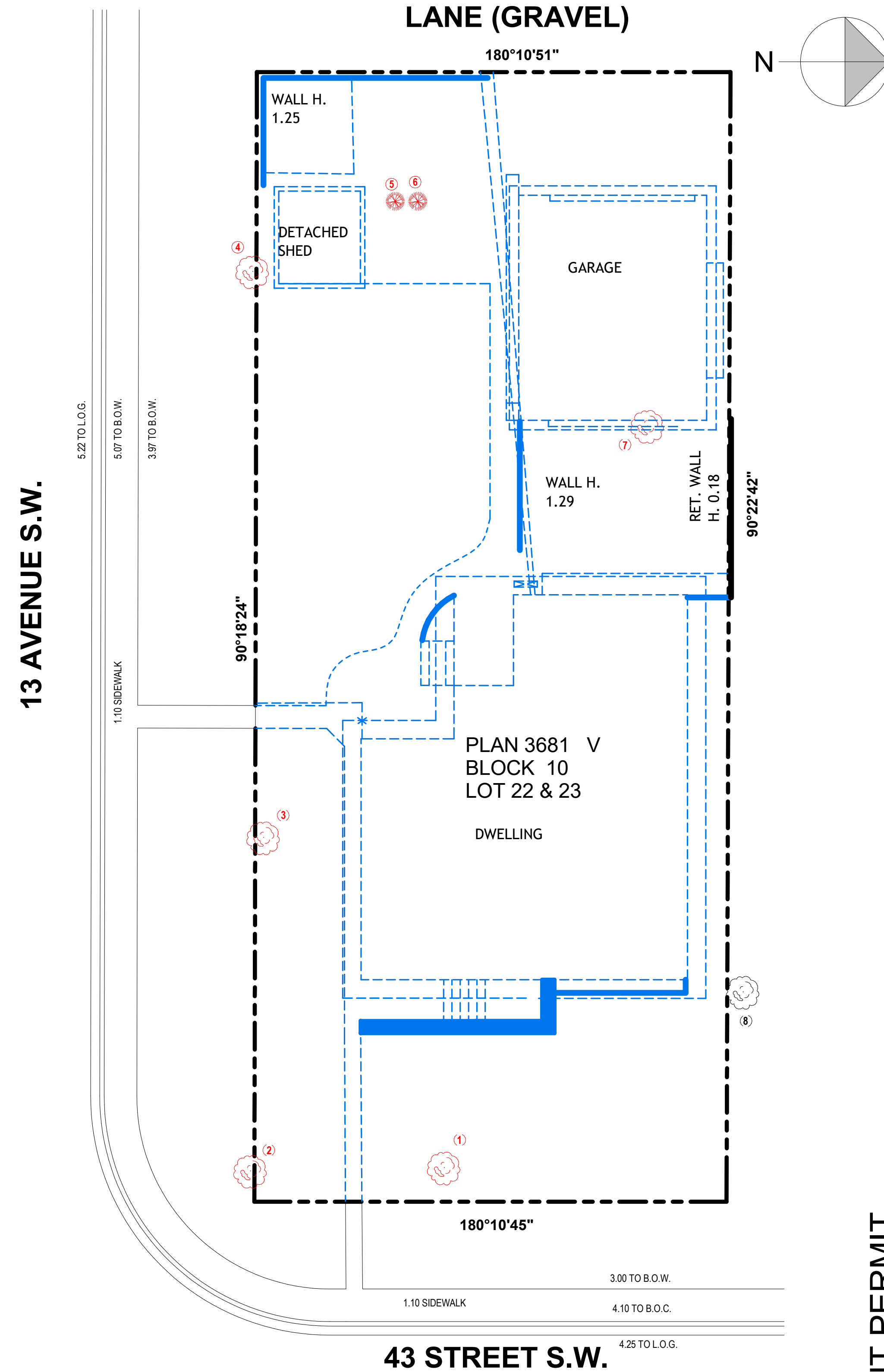
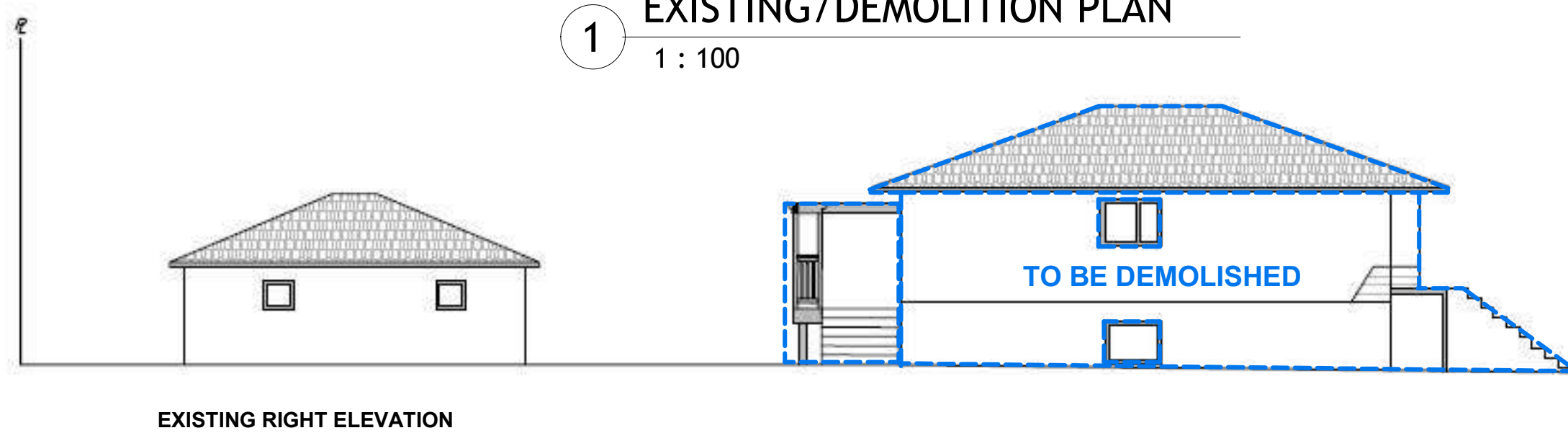
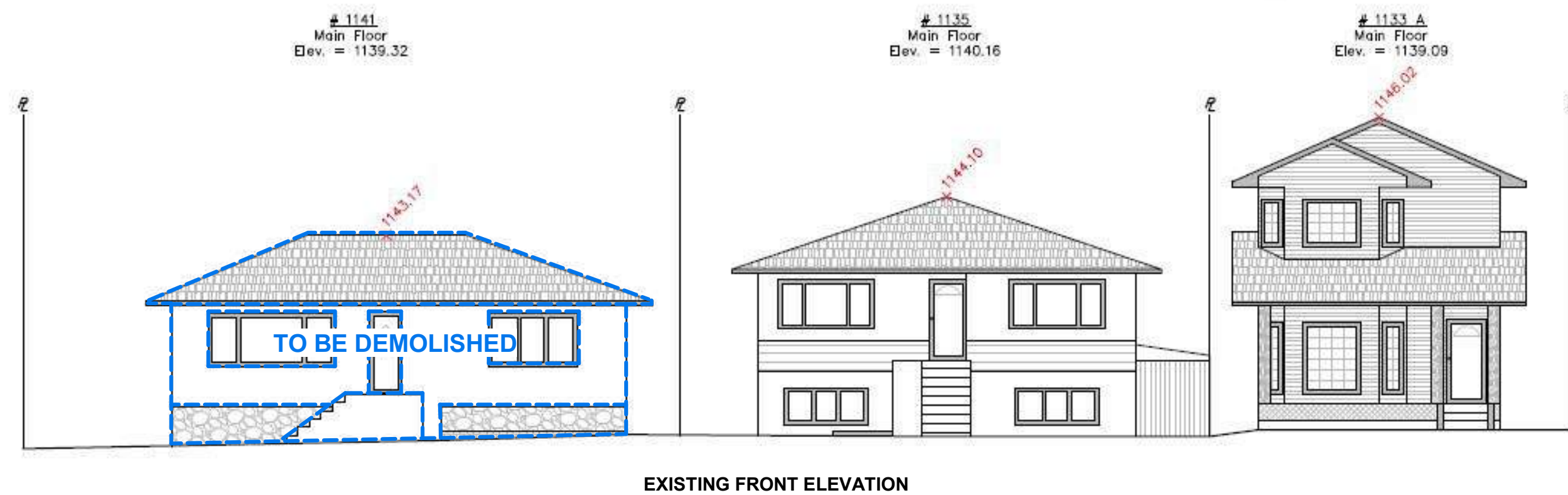
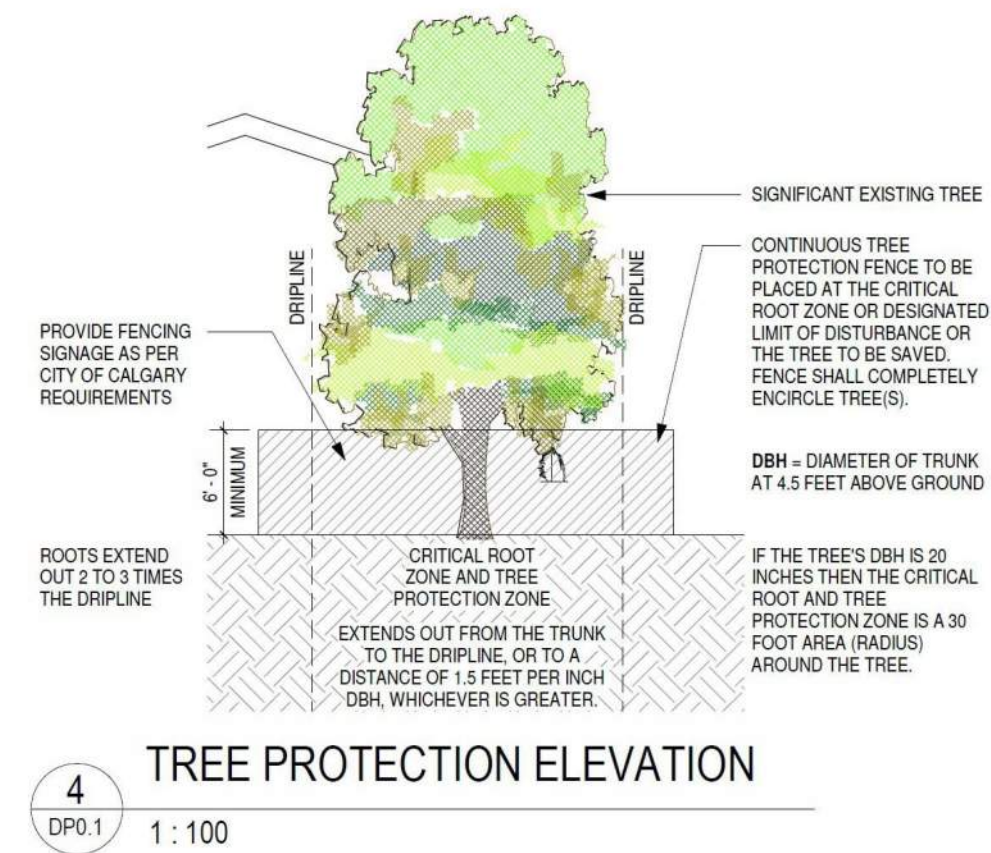
- FLOODWAY, FLOOR FRINGE AND OVERFLOW IS NOT APPLICABLE FOR APPLICATION.
- TOPOGRAPHY AND GEODETIC ELEVATIONS TO BE PROVIDED ON DEVELOPMENT PERMIT APPLICATION.
- PROPOSED BUILDING HEIGHT TO BE TO BE CONFIRMED AT DEVELOPMENT PERMIT APPLICATION.
- FLOOR LAYOUTS IN HALF-TONE ARE EXAMPLES AND WILL BE INDICATED ON DEVELOPMENT PERMIT APPLICATION.
- ALL PROPOSED FENCING, PATHWAYS AND LANDSCAPING TO BE INDICATED ON DEVELOPMENT PERMIT APPLICATION.
- AREAS CALCULATED IN SQ.M ARE ROUNDED TO THE NEAREST WHOLE NUMBER AND GRAND TOTALS MAY REFLECT THAT.

SITE AREA		
SQ.FT	SQ.M	HECTARE
6541.91	607.76	0.061

SITE STATISTICS				
CATEGORY	DESCRIPTION	AREA (SQ.FT.)	% / RATIO	BYLAW REQUIREMENT
SITE METRIC	TOTAL SITE AREA	6541.91 ft²		
	LOT COVERAGE	3915.47 ft²	59% OF SITE AREA	MAX. 60% OF SITE AREA
	MAIN BUILDING FOOTPRINT	2860.56 ft²		
	DETACHED GARAGE	870.86 ft²		
	MOBILITY STORAGE	157.01		
	GROSS FLOOR AREA (GTA)	3888.43 ft²		
LANDSCAPING	SOFTSCAPE	1681.78ft²	64% OF LANDSCAPE	MIN.30% OF LANDSCAPE
	HARDSCAPE	944.66 ft²	36% OF LANDSCAPE	
	TOTAL LANDSCAPE AREA	2626.44	40% OF LOT	



EXISTING TREE DATA					
TREE #	TREE TYPE	TRUNK Ø	CANOPY(R)	HEIGHT	STATUS
①	DECIDUOUS	0.80m	2.5m	10.00m	TO BE DEMOLISH & REMOVED
②	DECIDUOUS	0.60m	6.0m	10.00m	TO BE DEMOLISH & REMOVED
③	DECIDUOUS	0.75m	4.5m	16.00m	TO BE DEMOLISH & REMOVED
④	DECIDUOUS	0.70m	3.5m	15.00m	TO BE DEMOLISH & REMOVED
⑤	CONIFEROUS	0.85m	3.0m	18.00m	TO BE DEMOLISH & REMOVED
⑥	CONIFEROUS	0.60	3.0m	16.00m	TO BE DEMOLISH & REMOVED
⑦	CONIFEROUS	0.15m	1.0m	5.00m	TO BE DEMOLISH & REMOVED
⑧	CONIFEROUS	0.25m	1.0m	6.00m	TO REMAIN



CLIENT:

**KINGSWAY
BUILDERS**

PROJECT NAME:

ROSSCARROCK
ROW HOUSE

PROPERTY ADDRESS:

1141 43 STREET SW, CALGARY, AB

KINGSWAY
— DRAFTING & DESIGN —

DEVELOPMENT PERMIT FILE NO:

BUILDING PERMIT FILE NO:

[illegible]

DRAWING TITLE:

EXISTING/
DEMOLITION
PLAN

DRAWN BY:	Author	
REVIEWED BY :		
DRAWN BY:		
PROJECT FILE # :		
SCALE:	As indicated	
REVISION:		
DATE OF ISSUED:	SHEET #:	DP0.1
12/24/25		

FOR DEVELOPMENT PERMIT



KINGSWAY
BUILDERS

ROSSCARROCK
ROW HOUSE

1141 43 STREET SW, CALGARY, AB

DEVELOPMENT PERMIT FILE NO:

BUILDING PERMIT FILE NO:

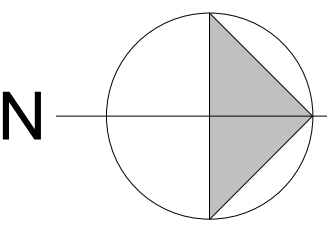
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PERSPECTIVE VIEWS

SHEET #:

DP0.2

FOR DEVELOPMENT PERMIT



KINGSWAY BUILDERS

ROSSCARROCK ROW HOUSE

1141 43 STREET SW, CALGARY, AB

KINGSWAY

DRAFTING & DESIGN

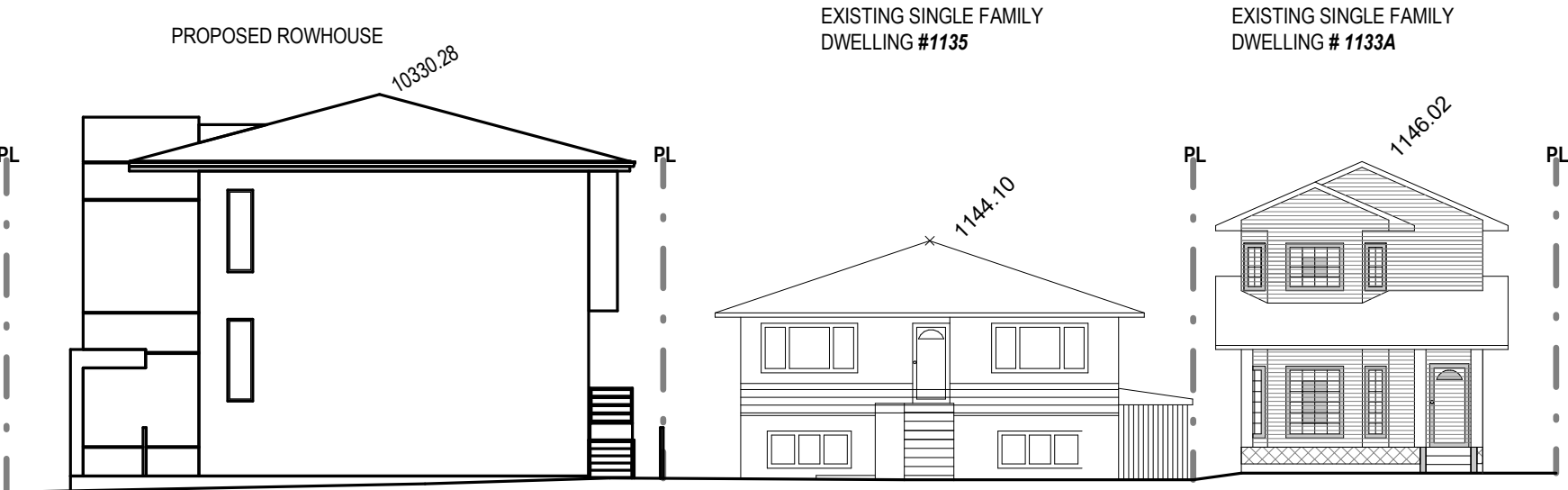
BUILDING PERMIT FILE NO:

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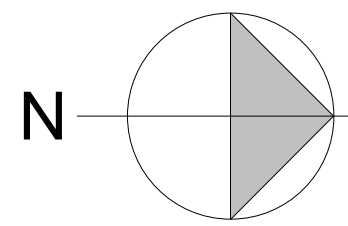
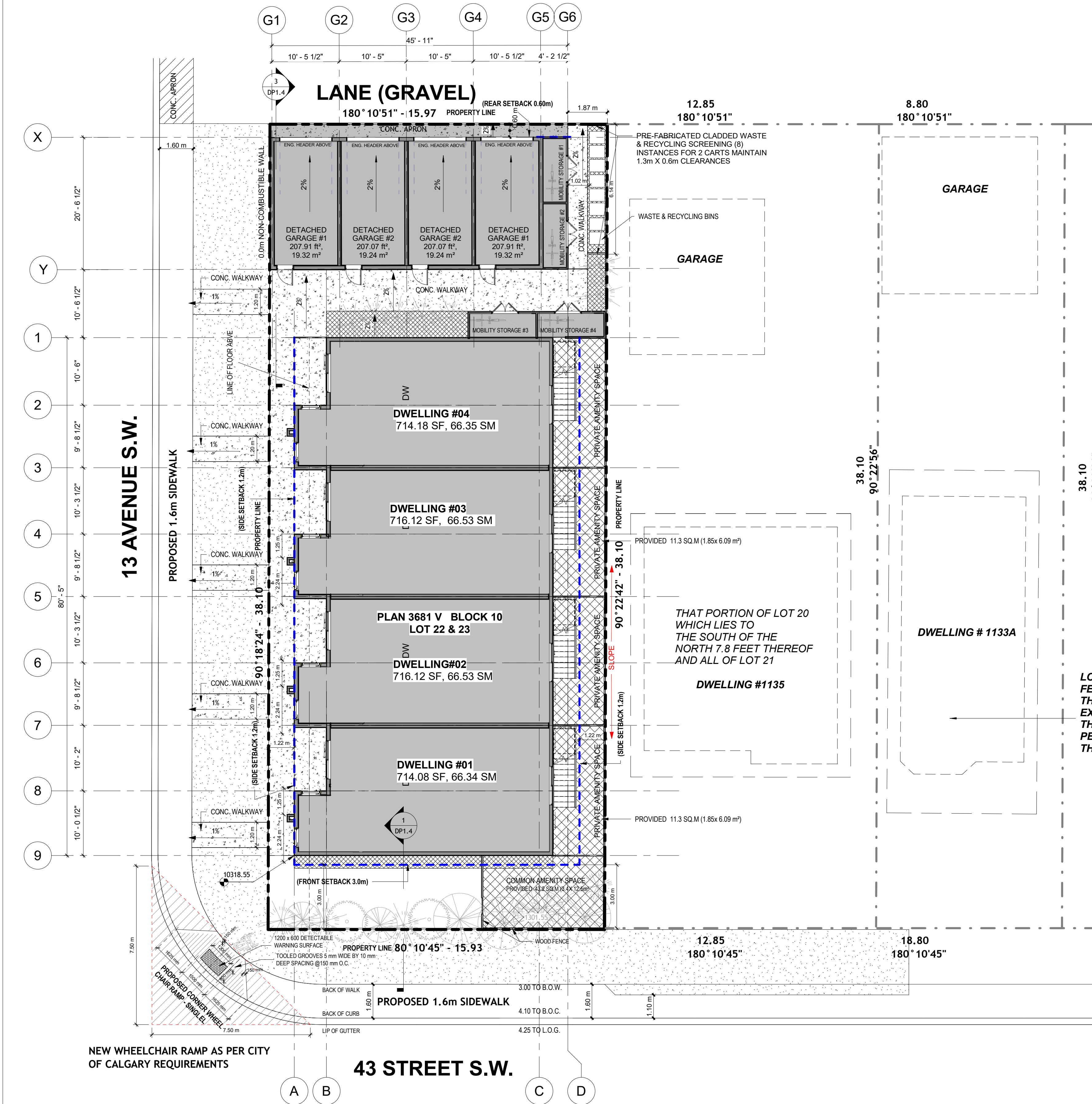
PROPOSED BLOCK PLAN

DRAWN BY:	Author
REVIEWED BY :	
DRAWN BY:	
PROJECT FILE # :	
SCALE:	As indicated
REVISION:	
DATE OF ISSUED:	SHEET #:
2/24/25	DP1.1

2 ELEVATION FROM 43 ST._STREETSCAPE
1 : 150



FOR DEVELOPMENT PERMIT



SITE LEGEND	
PROPERTY LINE	---
SETBACK LINES	---
BURIED ELEC. LINES	---
GAS LINES	---
ELECTRICAL LINES	---
OVERHEAD UTILITIES (EX)	---
F.H. - FIRE HYDRANT	---
P.P. - POWER POLE	---
W - WATER VALVE	---
EXISTING GRADES	XXXX.XX
PROPOSED GRADES	XXXX.XX
PROPOSED CONC PATHWAY / DRIVE LANE (BROOM FINISH)	A
PROPOSED RETAINING WALLS	B
PROPOSED SOFTSCAPE (SOD)	C
PROPOSED WINDOW WELL	D
CANTILEVERED FLOOR ABOVE	E
PROPOSED MULCH	F
PROPOSED FENCES - TREATED (12m IN HEIGHT)	G
PROPOSED FENCES - TREATED (2.0m IN HEIGHT)	H
PROPOSED CONC. PATIO (SIDE ENTRY)	I
PROPOSED DECKING	J
REFER TO SURVEY PLAN FOR INFORMATION REGARDING EXISTING SITE PLAN.	

CLIENT:

KINGSWAY BUILDERS

PROJECT NAME:

ROSSCARROCK ROW HOUSE

PROPERTY ADDRESS:

1141 43 STREET SW, CALGARY, AB

KINGSWAY DRAFTING & DESIGN

DEVELOPMENT PERMIT FILE NO:

BUILDING PERMIT FILE NO:

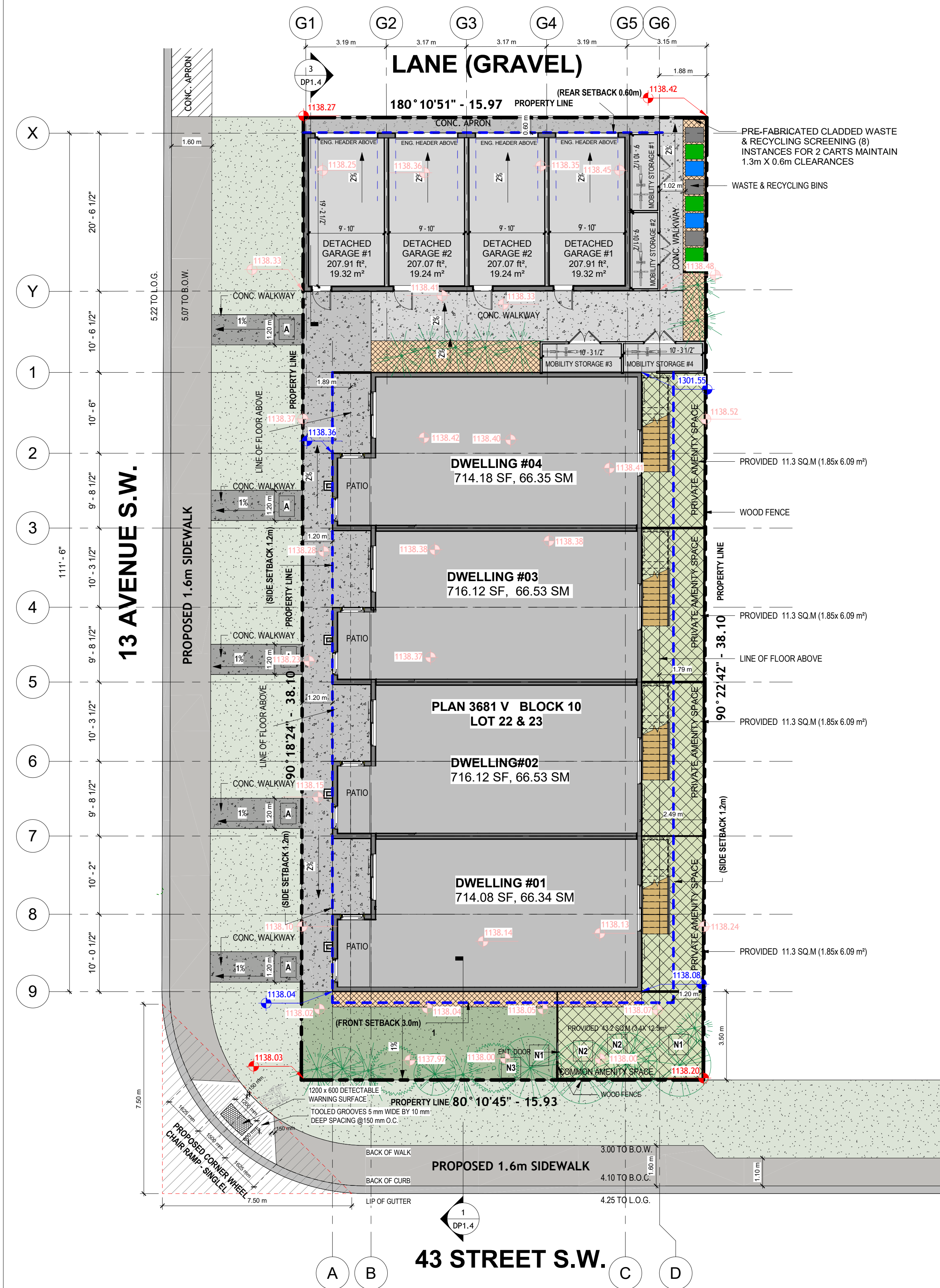
Rev	Description	Date

DRAWING TITTLE:

SITE PLAN

DRAWN BY:	Author
REVIEWED BY :	
DRAWN BY:	
PROJECT FILE # :	
SCALE:	As indicated
REVISION:	
DATE OF ISSUED:	SHEET #:
12/24/25	DP1.2

FOR DEVELOPMENT PERMIT



1 PROPOSED LANDSCAPE PLAN
1 : 100

EXISTING TREE DATA					
TREE #	TREE TYPE	TRUNK Ø	CANOPY(R)	HEIGHT	STATUS
1	DECIDUOUS	0.80m	2.5m	10.00m	TO BE DEMOLISH & REMOVED
2	DECIDUOUS	0.60m	6.0m	10.00m	TO BE DEMOLISH & REMOVED
3	DECIDUOUS	0.75m	4.5m	16.00m	TO BE DEMOLISH & REMOVED
4	DECIDUOUS	0.70m	3.5m	15.00m	TO BE DEMOLISH & REMOVED
5	CONIFEROUS	0.85m	3.0m	18.00m	TO BE DEMOLISH & REMOVED
6	CONIFEROUS	0.60	3.0m	16.00m	TO BE DEMOLISH & REMOVED
7	CONIFEROUS	0.15m	1.0m	5.00m	TO BE DEMOLISH & REMOVED
8	CONIFEROUS	0.25m	1.0m	6.00m	TO REMAIN

TREE/SHRUB LEGEND

TREE/SHRUB TYPE:

N1- DECIDUOUS TREE

N2- BRANDON ELM

N3- SWEDISH ASPEN

N4- PRINCE OF WALES JUNIPER

QUANTITY:

SIZE:

2- 400 mm CALIPER

2- 85mm CALIPER

1- 60mm CALIPER

15- SPREADING EVERGREEN

LANDSCAPE DETAILS

AMENITY SPACE =

1683.50 ft²

MULCH =

259.27 ft²

GRASS =

683.67 ft²

NOTES:

- ALL LANDSCAPING SHOWN IS ILLUSTRATIVE ONLY AND MAY NOT REFLECT EXACT CONDITION ON SITE OR FINAL PRODUCT

- ALL GRASS TO BE DROUGHT RESISTANT VARIETIES

- ALL LANDSCAPED AREA TO HAVE MIN 300mm DEEP TOPSOIL

- IRRIGATION PROVIDED - UNDERGROUND SYSTEM, LOW IRRIGATION

PLANTING SPECIES BASELINE:

ACCEPTABLE CONIFEROUS TREES

- COLORADO BLUE SPOUCE OR COLUMNAR BLUE SPRUCE

- BRISTLECONE PINE

ACCEPTABLE DECIDUOUS TREES

- TOBA OR SNOWBIRD HAWTHORN

- SHOWY MOUNTAIN ASH

- AMUR CHERRY

- AMUR MAPLE

ACCEOTABLE SHURBS - MIN 0.6m SPREAD OR HEIGHT AT TIME OF PLANTING

- TO BE CONFIRMED BASED ON CITY OF CALGARY TARDSMART GUIDLINES AND AVAILABILITY AT TIME OF PLANTING

https://www.galgary.ca/water/programs/water-wise-trees-andshrubs.html

TREE PROTECTION NOTES:

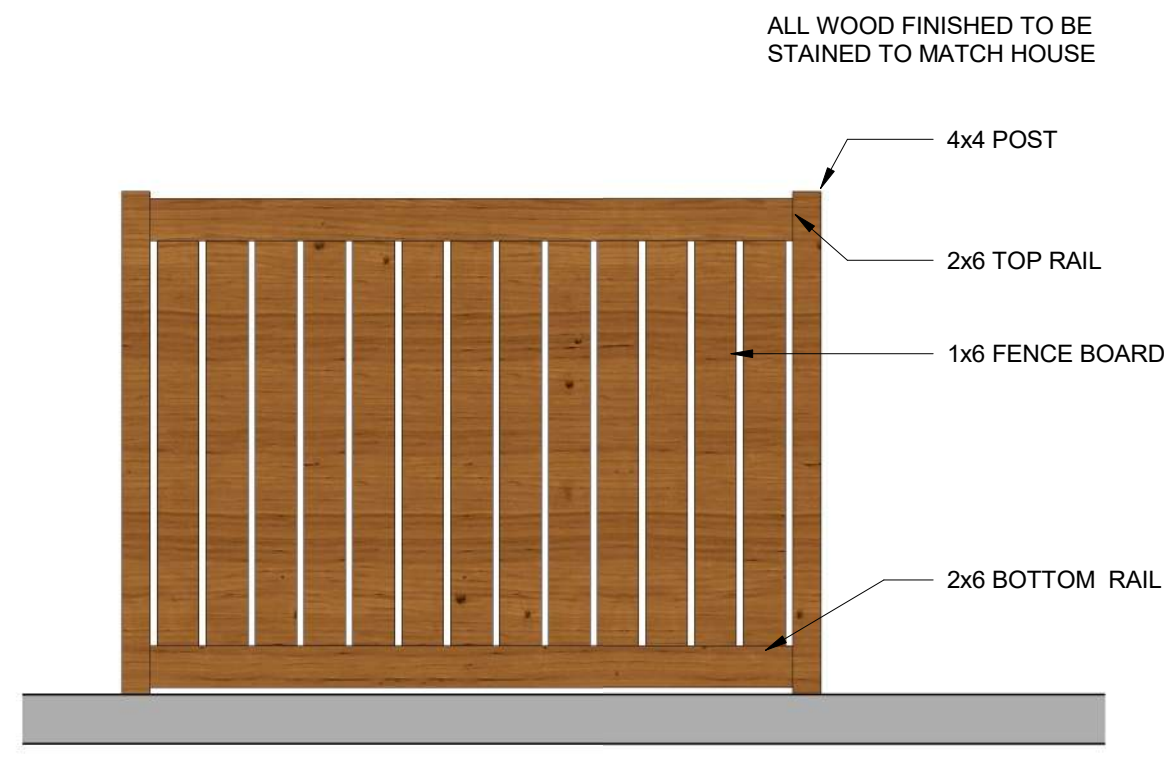
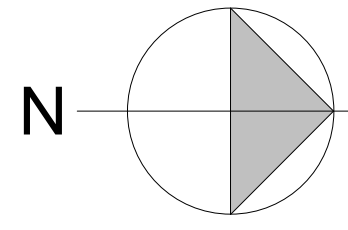
EXISTING PUBLIC TREES TO BE PROTECTED ON SITE

- MIN 1.2m TALL CONSTRUCTION FENCING TO BE PROVIDED AT 4.0m FROM TRUNK. DO NOT EXTEND FENCING OVER EXISTING PUBLIC SIDEWALK LOCATIONS

- SIGNAGE TO BE POSTED ON EACH TREE WITH TREE PROTECTION PLAN AGREEMENT

- TYPICAL FENCING TO BE SOILED WOOD FRAME W/ORANGE SNOW FENCING STAPLED TO OUTSIDE

AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE DURING EXCAVATION OF THE PROPOSED WALKWAY AND PUBLIC SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJUST PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 322 AT LEAST THREE (3) BUSINESS DAY IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED IDENTIFIED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVAL TREE.



2 FENCE DETAILS
1 : 25

FOR DEVELOPMENT PERMIT

CLIENT:

KINGSWAY BUILDERS

PROJECT NAME:

ROSSCARROCK ROW HOUSE

PROPERTY ADDRESS:

1141 43 STREET SW, CALGARY, AB

DEVELOPMENT PERMIT FILE NO:

BUILDING PERMIT FILE NO:

Rev	Description	Date

DRAWING TITTLE:

LANDSCAPING PLAN

DRAWN BY:	Author
REVIEWED BY :	
DRAWN BY:	
PROJECT FILE # :	
SCALE:	As indicated
REVISION:	
DATE OF ISSUED:	SHEET #:

DP1.3

12/24/25

KINGSWAY
BUILDERS

ROSSCARROCK
ROW HOUSE

1141 43 STREET SW, CALGARY, AB

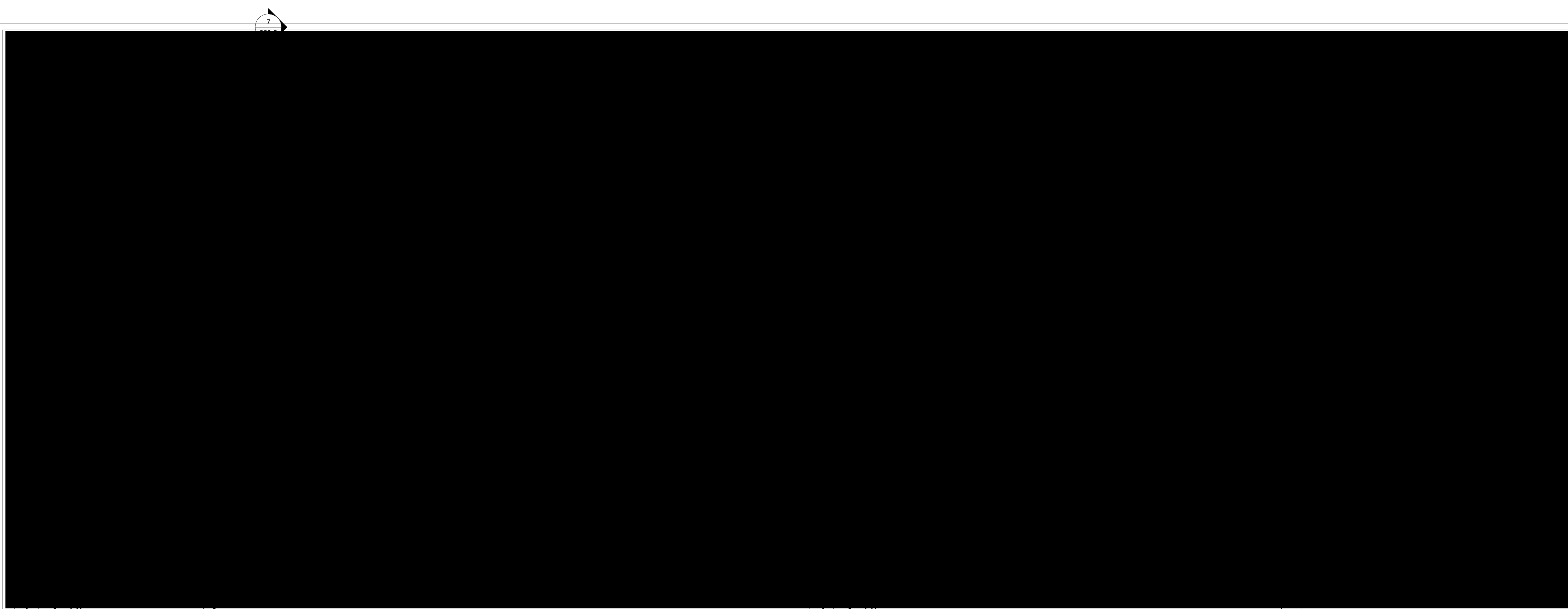
KINGSWAY
— DRAFTING & DESIGN —

BUILDING PERMIT FILE NO:

Rev	Description	Date
00F		
23.89		
00L(H)		
31.55		
00R		

GARAGE FLOOR PLAN / ELEVATIONS & SECTION

DRAWN BY:	Author
REVIEWED BY :	
DRAWN BY:	
PROJECT FILE # :	
SCALE:	1 : 50
REVISION:	
DATE OF ISSUED: 12/24/25	SHEET #: DP2.5



The drawing shows a side elevation of a garage. It features a gabled roof with a thick black line representing the roofline. The roof is supported by two vertical posts. A dashed line indicates the top of the garage wall. A circle with an 'X' is positioned above the left post. A circle with a '2' is on the right roof slope. A circle with '1A' is in the center of the garage floor area. On the right side, three dimension lines with circular arrow icons indicate the following measurements:

- Garage Top Roof: 5423.89
- T.O. GARAGE WALL(H): 4281.55
- T.O. GARAGE FLOOR: 1301.55

Additional dimension labels include:

- 3'-9"
- 9'-9 1/4"
- 13'-6 1/4"

3 PROPOSED GARAGE - SOUTH ELEVATION
1 : 50

[illegible]

PROPERTY LINE

ENG. HEADER ABOVE
8'x14' ROLLER DOOR

DETACHED GARAGE

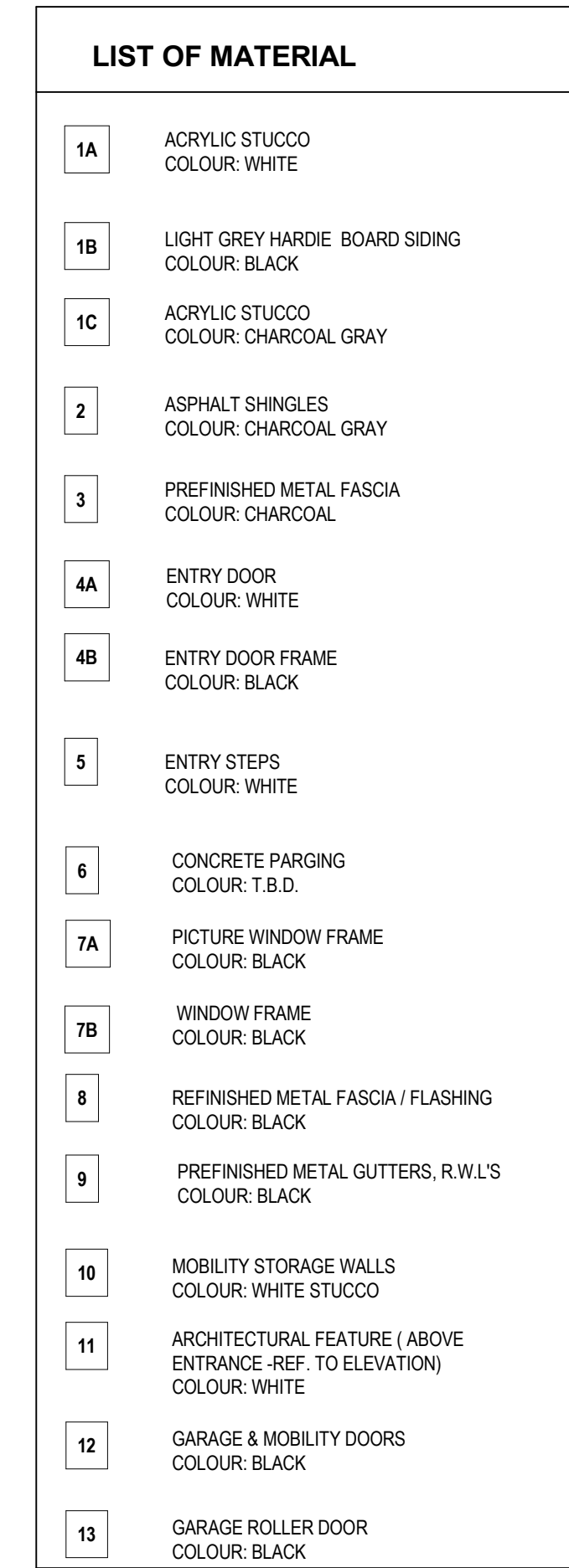
2%

1288.95

13' - 6 1/4"

9' - 9 1/4"

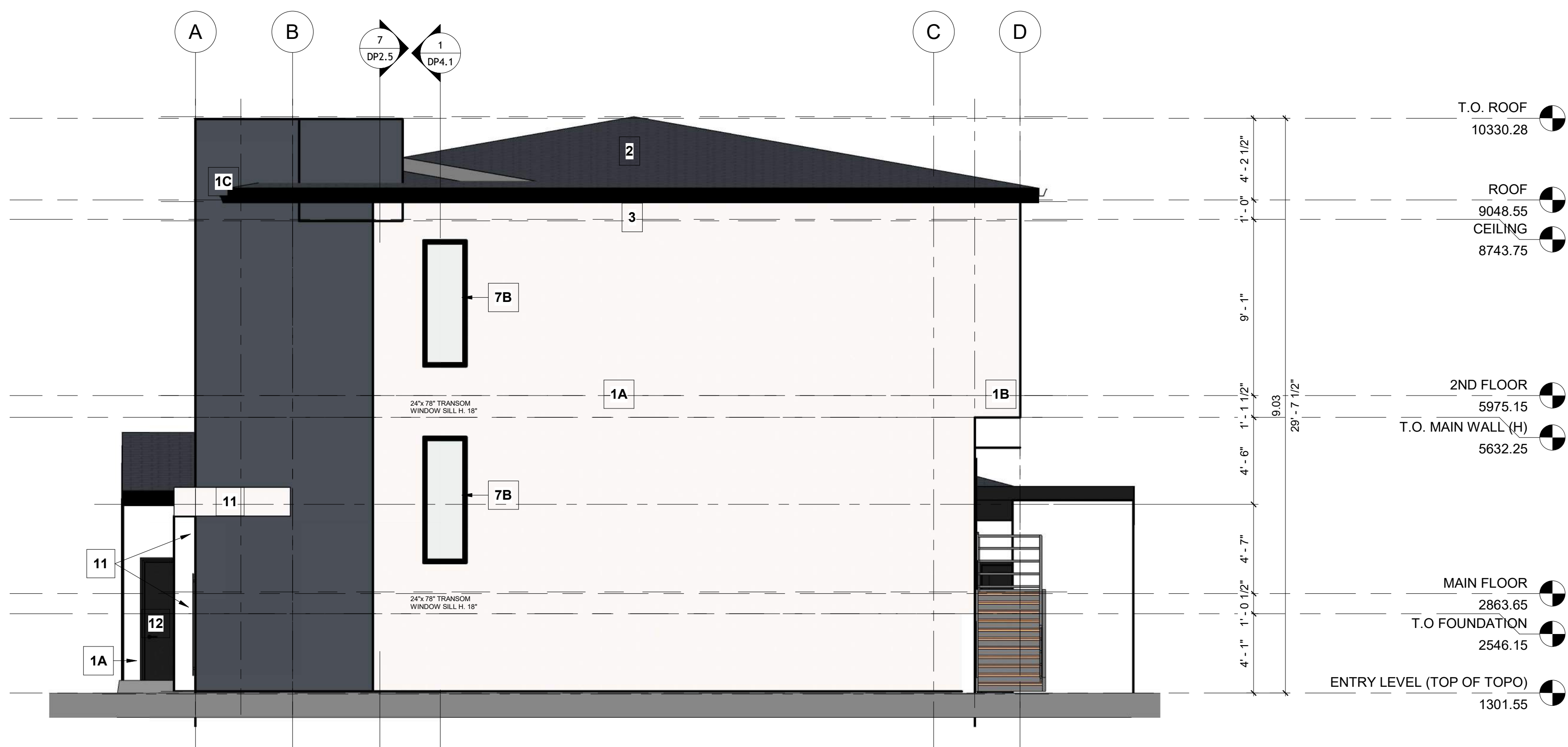
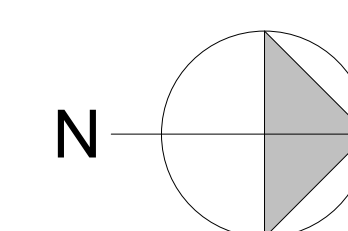
FOR DEVELOPMENT PERMIT



FOR DEVELOPMENT PERMIT

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DRAWN BY:	Author
REVIEWED BY :	
DRAWN BY:	
PROJECT FILE # :	
SCALE:	As indicated
REVISION:	
DATE OF ISSUED: 12/24/25	SHEET #: DP3.1



LIST OF MATERIAL	
1A	ACRYLIC STUCCO COLOUR: WHITE
1B	LIGHT GREY HARDIE BOARD SIDING COLOUR: BLACK
1C	ACRYLIC STUCCO COLOUR: CHARCOAL GRAY
2	ASPHALT SHINGLES COLOUR: CHARCOAL GRAY
3	PREFINISHED METAL FASCIA COLOUR: CHARCOAL
4A	ENTRY DOOR COLOUR: WHITE
4B	ENTRY DOOR FRAME COLOUR: BLACK
5	ENTRY STEPS COLOUR: WHITE
6	CONCRETE PAVING COLOUR: T.B.D.
7A	PICTURE WINDOW FRAME COLOUR: BLACK
7B	WINDOW FRAME COLOUR: BLACK
8	REFINISHED METAL FASCIA / FLASHING COLOUR: BLACK
9	PREFINISHED METAL GUTTERS, R.W.L.S COLOUR: BLACK
10	MOBILITY STORAGE WALLS COLOUR: WHITE STUCCO
11	ARCHITECTURAL FEATURE (ABOVE ENTRANCE -REF. TO ELEVATION) COLOUR: WHITE
12	GARAGE & MOBILITY DOORS COLOUR: BLACK
13	GARAGE ROLLER DOOR COLOUR: BLACK

[illegible]

DRAWN BY :	Author
REVIEWED BY :	
DRAWN BY :	
PROJECT FILE # :	
SCALE:	As indicated
REVISION:	
DATE OF ISSUED:	SHEET #:
12/24/25	DP3.2

FOR DEVELOPMENT PERMIT