

ABBREVIATION LIST:

ABC - ALBERTA BUILDING CODE
B.O.C. - BACK OF CURB
CAB. - CABINET
C/H - CEILING HEIGHT
C/L - CENTRE LINE
C/O - CHANGE ORDER
C.T. - COUNTER-TOP
C/W - COMPLETE WITH
DWGS - DRAWINGS
EQ - EQUAL
EXG - EXISTING
HT - HEIGHT
N/A - NOT APPLICABLE
NBC - NATIONAL BUILDING CODE
NFC - NOT FOR CONSTRUCTION
NIC - NOT INCLUDED IN CONTRACT
NTS - NOTE TO SCALE
O/S - ONE SIDE
P/L - PROPERTY LINE
SDF - SIDING, DECKING, FENCE
TBC - TO BE CONFIRMED
TBD - TO BE DETERMINED
TYP - TYPICAL
UNO - UNLESS NOTED OTHERWISE
W/ - WITH
W/O - WITHOUT

TABLE OF CONTENTS:

A1 - COVER PAGE
A2 - BLOCK PLAN
A3 - EXTERIOR PERSPECTIVES
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A5 - BASEMENT FLOOR PLAN
A6 - MAIN FLOOR PLAN
A7 - SECOND FLOOR PLAN
A8 - EXTERIOR ELEVATION, SOUTH
A9 - EXTERIOR ELEVATION, EAST
A10 - EXTERIOR ELEVATION, NORTH
A11 - EXTERIOR ELEVATION, WEST
A12 - ACCESSORY BUILDING
A13 - BUILDING SECTION
A14 - SURVEY



ARTISTIC RENDERING ONLY

BROOKLYN BROWNSTONE STYLE TOWNHOUSE

431 35TH AVENUE N.W.

LOT 44, BLOCK 9, PLAN 3674s

BROOKLYN BROWNSTONE STYLE TOWNHOUSE

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ROOFSYSTEMS, INCLUDING BEAMS,
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SUPPLIER.

CONSTRUCTION TO CONFORM TO
NATIONAL BUILDING CODE 2023
ALBERTA EDITION PART 9 AND ALL
APPLICABLE BUILDING CODES AND
STANDARDS.

REVIEW ALL DIMENSIONS AND
SPECIFICATIONS PRIOR TO STARTING
CONSTRUCTION.

DO NOT SCALE DRAWINGS.

SCALE:

COVER PAGE

A1

431 35th Avenue N.W.

DATE: January 8, 2026

rectangle

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STYLE TOWNHOUSE**

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DO NOT SCALE DRAWINGS.

SCALE: NTS
BLOCK PLAN

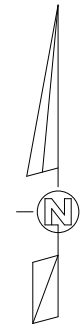
A2
431 35th Avenue N.W.

DATE: January 8, 2026



SHEET LEGEND:

- PROPOSED BUILDING
- EXISTING BUILDING ON PROPERTY TO BE REMOVED



NORTHEAST VIEW



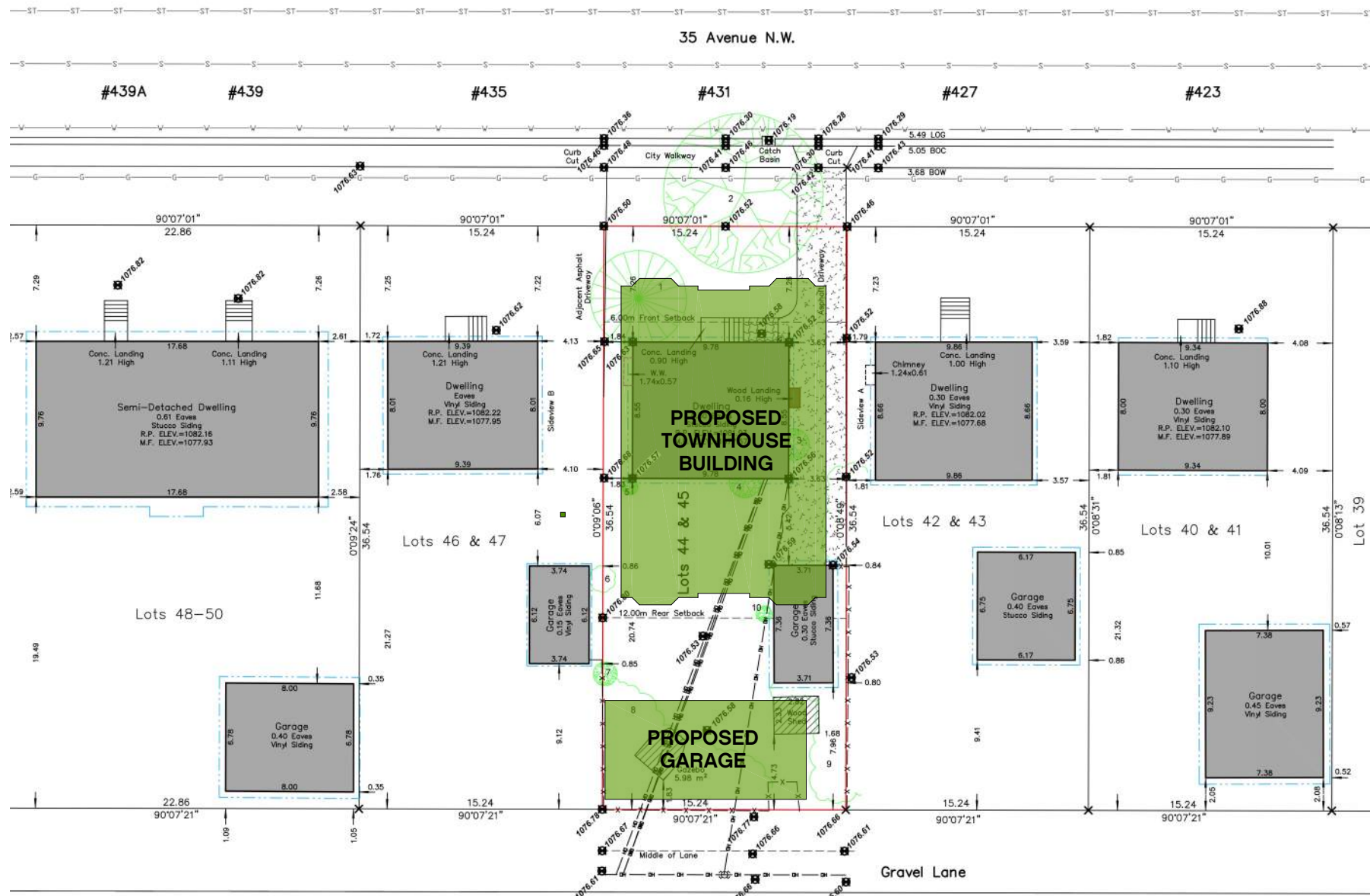
NORTHWEST VIEW



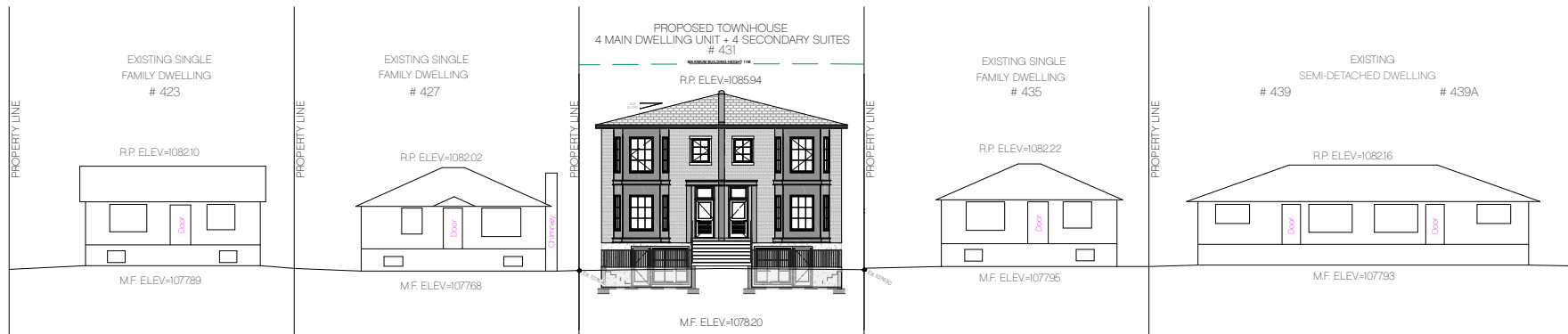
SOUTHEAST VIEW



SOUTHWEST VIEW



1 BLOCK PLAN
A2 1/30" : 1'-0"



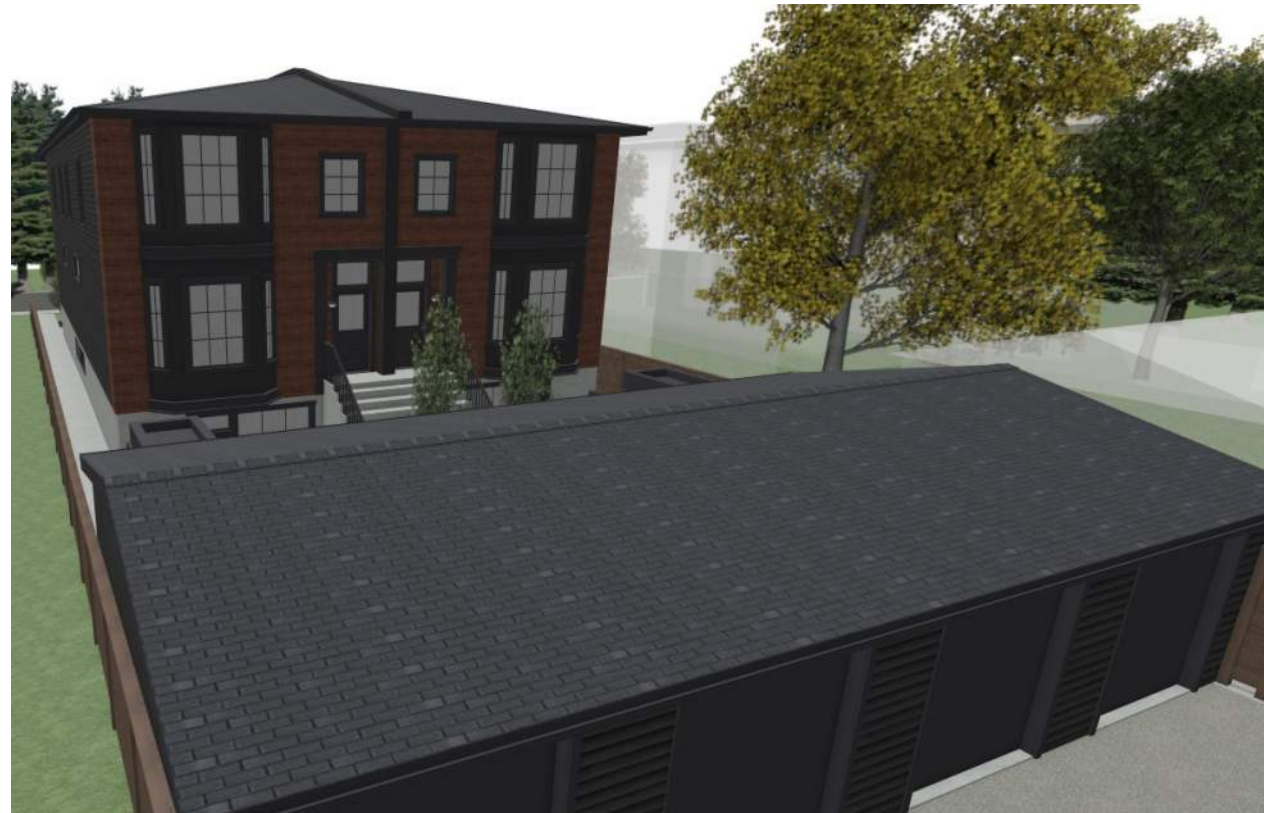
2 STREETSCAPE - 35TH AVENUE N.W.
A2 1/30" : 1'-0"



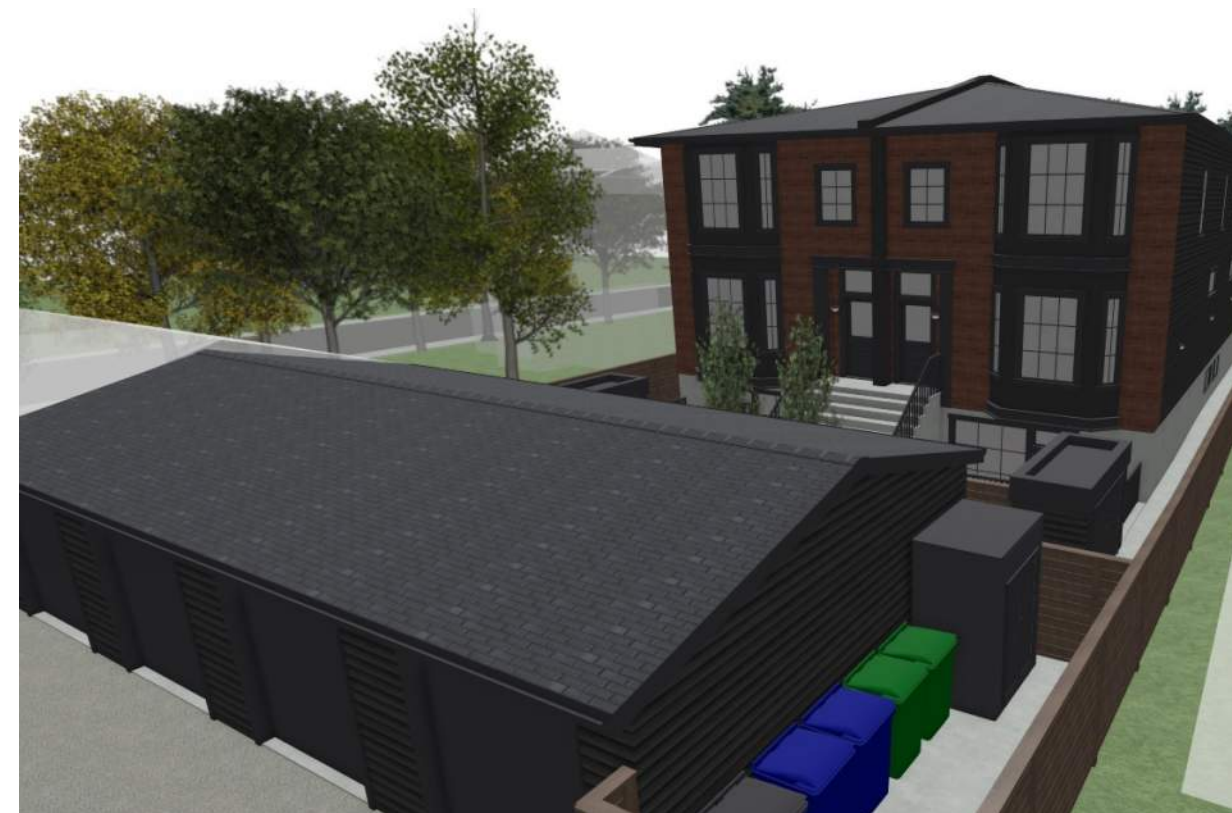
NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE

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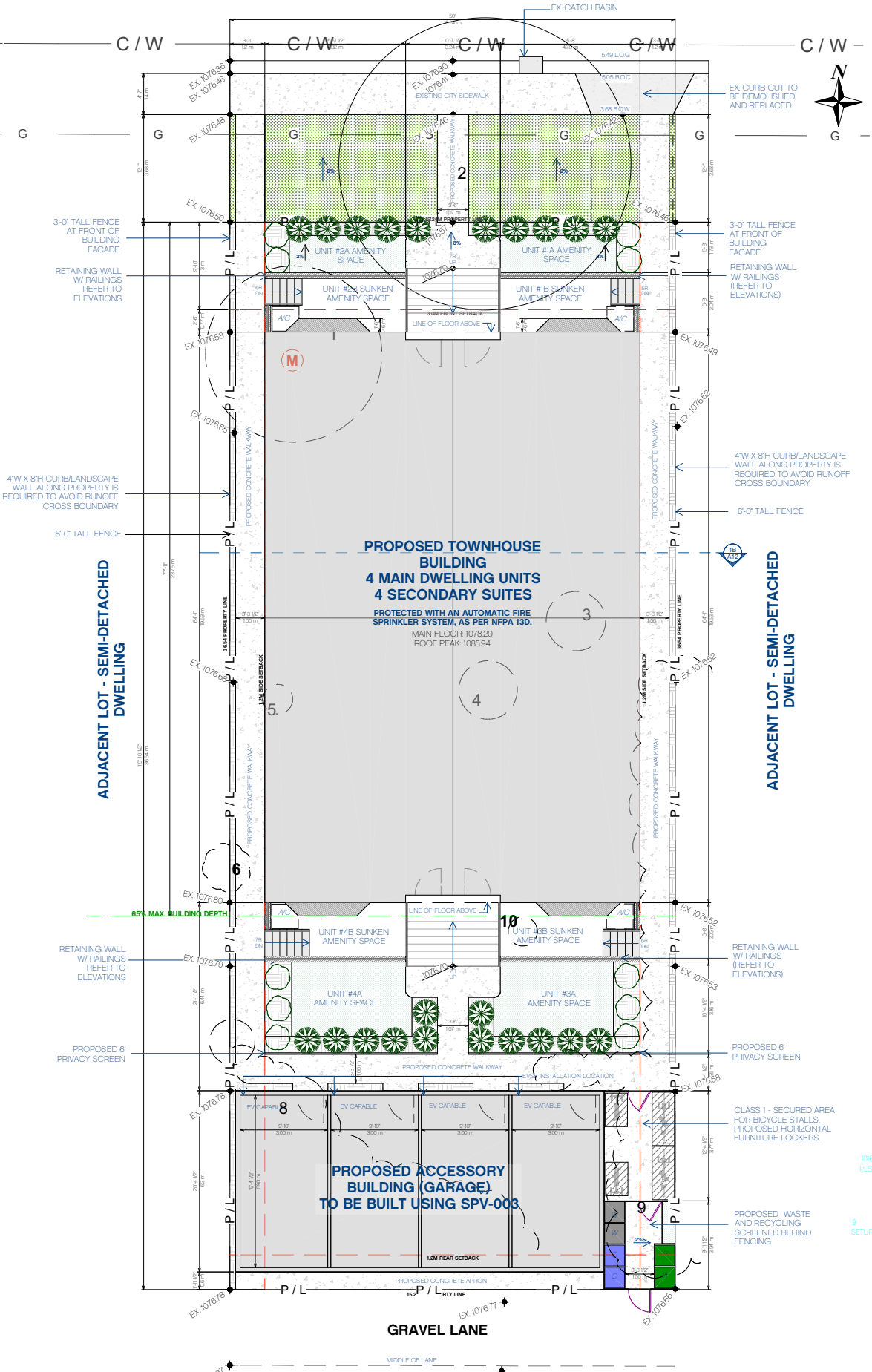
DO NOT SCALE DRAWINGS.

SCALE: NTS
EXTERIOR
PERSPECTIVES

A 3
431 35th Avenue N.W.

DATE: January 8, 2026

431 35 AVENUE N.W.



DEVELOPMENT SUMMARY:

(4) TWO STOREY DWELLING UNITS
 (4) BASEMENT SECONDARY SUITES
 = (8) TOTAL SUITES

(4) PRIVATE GARAGES
 = (4) TOTAL PARKING STALLS

PROPOSED GROSS BUILDING AREA:

BASEMENT: 248 SM (2,673 SF)
 MAIN: 254 SM (2,729 SF)
 SECOND: 255 SM (2,747 SF)
TOTAL: 757 SM (8,148 SF)

LANDSCAPING LEGEND:

- — PROPERTY LINE
- PROPOSED BUILDINGS
- PROPOSED CONCRETE ± 103 SM (1,104 SF)
- PROPOSED SOFT SURFACE (MULCH) ± 37 SM (396 SF)
- PROPOSED GRASS/ SOD ± 31 SM (331 SF)
- SHRUB TYPE 1 X 22 GLOBE CARAGANA (MIN. 0.6M HEIGHT)
- TREE TYPE 1 X 10 DECIDUOUS SWEDISH COLUMNAR ASPEN (600mm CALLIPER, MIN. 2M HEIGHT)
- (M) PROPOSED WATER METER LOCATION
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

GENERAL NOTES:

1. LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT.
2. ALL SOFT SURFACE LANDSCAPED AREA WILL HAVE AN UNDERGROUND IRRIGATION SYSTEM.
3. ALL SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
4. MINIMUM SOIL DEPTH OF 1200mm FOR TREES, 600mm FOR PLANTING BEDS WITH SHRUBS & 300mm IN ALL OTHER AREAS.

Tree Schedule				
Tree	Type	Ø	Spread	Height
1	Coniferous	0.45	6.00	15.00
2	Deciduous	0.60	10.00	12.00
3	Deciduous	0.10	2.00	3.00
4	Deciduous	0.10	2.00	3.00
5	Deciduous	0.10	1.00	2.50
6	Bush	---	1.50	2.00
7	Deciduous	0.05	1.50	3.00
8	Bush	---	3.00	2.50
9	Bush	---	3.00	3.00
10	Deciduous	0.10	1.00	2.50

SITE INFORMATION:

MUNICIPAL ADDRESS: 431 35th AVENUE N.W., CALGARY, AB
 LEGAL ADDRESS: LOT 44, BLOCK 9, PLAN 3674s.
 COMMUNITY: HIGHLAND PARK
 LAND USE: R-CG RESIDENTIAL - GRADE-ORIENTED INFILL DISTRICT
 LOT SIZE: 15.24m X 36.54m
 SITE AREA: 556.87 SM (5,994.10 SF)
 BUILDING FOOTPRINT: 254 SM (2,729 SF)
 GARAGE FOOTPRINT: 78 SM (842.17 SF)

GENERAL BYLAW REQUIREMENTS AS PER R-CG LAND USE:

BYLAW REVIEW	REQUIREMENTS
DENSITY	MAXIMUM DENSITY IS 75 UNITS PER PROPOSED DENSITY: 68.9 UNITS PER HECTARE
PARCEL COVERAGE:	THE MAXIMUM CUMULATIVE BUILDING COVERAGE IS 60% OF THE AREA OF THE PARCELS SUBJECT TO A SINGLE DEVELOPMENT PERMIT FOR A DEVELOPMENT WITH A DENSITY OF 60 UNITS PER HECTARE OR GREATER PROPOSED PARCEL COVERAGE: 59.6% (332 SM (3,573 SF))
BUILDING DEPTH:	THE MAXIMUM BUILDING DEPTH IS 65% OF THE PARCEL DEPTH FOR A BUILDING CONTAINING A UNIT PROPOSED BUILDING DEPTH: 65% (23.75 M)
MINIMUM SETBACKS:	FRONT = 3.0M, SIDES = 1.2M, REAR = 1.2M
BUILDING HEIGHT:	MAXIMUM BUILDING HEIGHT IS 11.0 M. PROPOSED BUILDING HEIGHT: 9.48 M
PERMITTED PROJECTIONS INTO SETBACKS:	PORTIONS OF A BUILDING LOCATED ABOVE THE SURFACE OF THE GROUND EAVES MAY PROJECT ≤ 0.6 m (2'-0") UNENCLOSED STAIRS MAY PROJECT INTO ANY SETBACK AREA
LANDSCAPING:	BYLAW 542 (7): ALL AREAS OF A PARCEL, EXCEPT FOR THOSE PORTIONS SPECIFICALLY REQUIRED FOR MOTOR VEHICLE ACCESS, MOTOR VEHICLE PARKING STALLS, OR GARBAGE FACILITIES MUST BE A LANDSCAPED AREA. A MINIMUM OF 30.0% OF THE LANDSCAPED AREA MUST BE COVERED WITH SOFT SURFACED LANDSCAPING (MAY INCLUDE MULCH, GRASS, SOD). LANDSCAPING AREA: 225 SM / 2,421.88 SF PROPOSED SOFT SURFACE LANDSCAPING: 30% (68.4 SM / 737 SF)
PLANTING:	BYLAW 542.2(2): 1 TREE AND 3 SHRUBS REQUIRED PER 110 SM OF PARCEL AREA (TOTAL PARCEL AREA = 557.48 SM / 6,000.66 SF) REQUIRED: 5 TREES & 15 SHRUBS PROPOSED: 10 TREES & 22 SHRUBS
AMENITY SPACE:	BYLAW 543: EACH UNIT AND SUITE MUST HAVE AN AMENITY SPACE THAT IS LOCATED OUTDOORS.
PARKING:	4.0 PARKING STALLS ARE REQUIRED BASED ON THE SUM OF ALL DWELLING UNITS AND SUITES AT A RATE OF 0.5 STALLS PER DWELLING UNIT OR SUITE FOR THE HIGHLAND PARK REQUIRED: 4 PARKING STALLS PROPOSED: 4 PARKING STALLS
BICYCLE PARKING STALLS:	BYLAW 546.2(1) THE MINIMUM NUMBER OF BICYCLE PARKING STALLS – CLASS 1 IS CALCULATED BASED ON THE SUM OF ALL UNITS AND SUITES AT A RATE OF 10.5 STALL PER UNIT OR SUITE WHERE A UNIT OR SUITE IS NOT PROVIDED A MOTOR VEHICLE PARKING STALL LOCATED IN A PRIVATE GARAGE. 8 UNITS X 0.5 STALL: 4 STALLS PROPOSED
WASTE AND RECYCLING:	THE ANTICIPATED TOTAL VOLUME OF WASTE PRODUCED PER WEEK IS CALCULATED USING 0.24 m³ (0.3 yd³) MULTIPLIED BY THE TOTAL NUMBER OF DWELLING UNITS 8 UNITS x 0.24 yd³ / UNIT = 1.92 yd³ PER WEEK STORAGE CAPACITY REQUIRED. PROVIDED: WASTE 2 X 0.24 yd³ = 0.48 m³ RECYCLING 2 X 0.24 yd³ = 0.48 m³ ORGANICS 2 X 0.24 yd³ = 0.48 m³

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DO NOT SCALE DRAWINGS.

SCALE: 1/16" : 1'-0"
SITE PLAN

A 4
 431 35th Avenue N.W.

DATE: January 8, 2026



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SCALE: 1/8" : 1'-0"

SOUTH
EXTERIOR
ELEVATION

A8

431 35th Avenue N.W.

DATE: January 8, 2026

rectangle



1 SOUTH ELEVATION (FRONT)
A8 1/8" : 1'-0"

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SCALE: 1/8" : 1'-0"

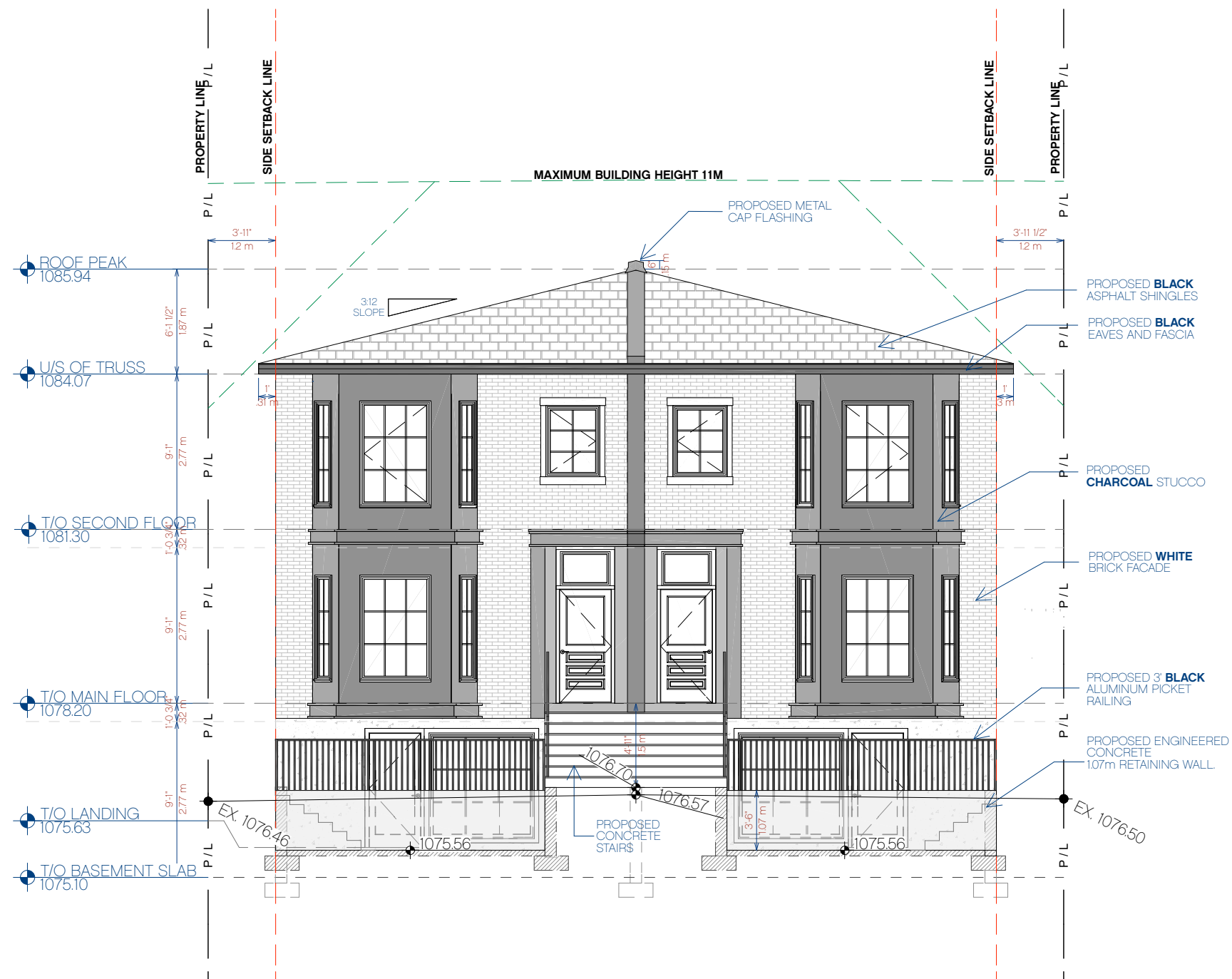
NORTH
EXTERIOR
ELEVATION

A10

431 35th Avenue N.W.

DATE: January 8, 2026

rectangle



1 NORTH ELEVATION (REAR)
A10 1/8" : 1'-0"

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SCALE: 1/8" : 1'-0"

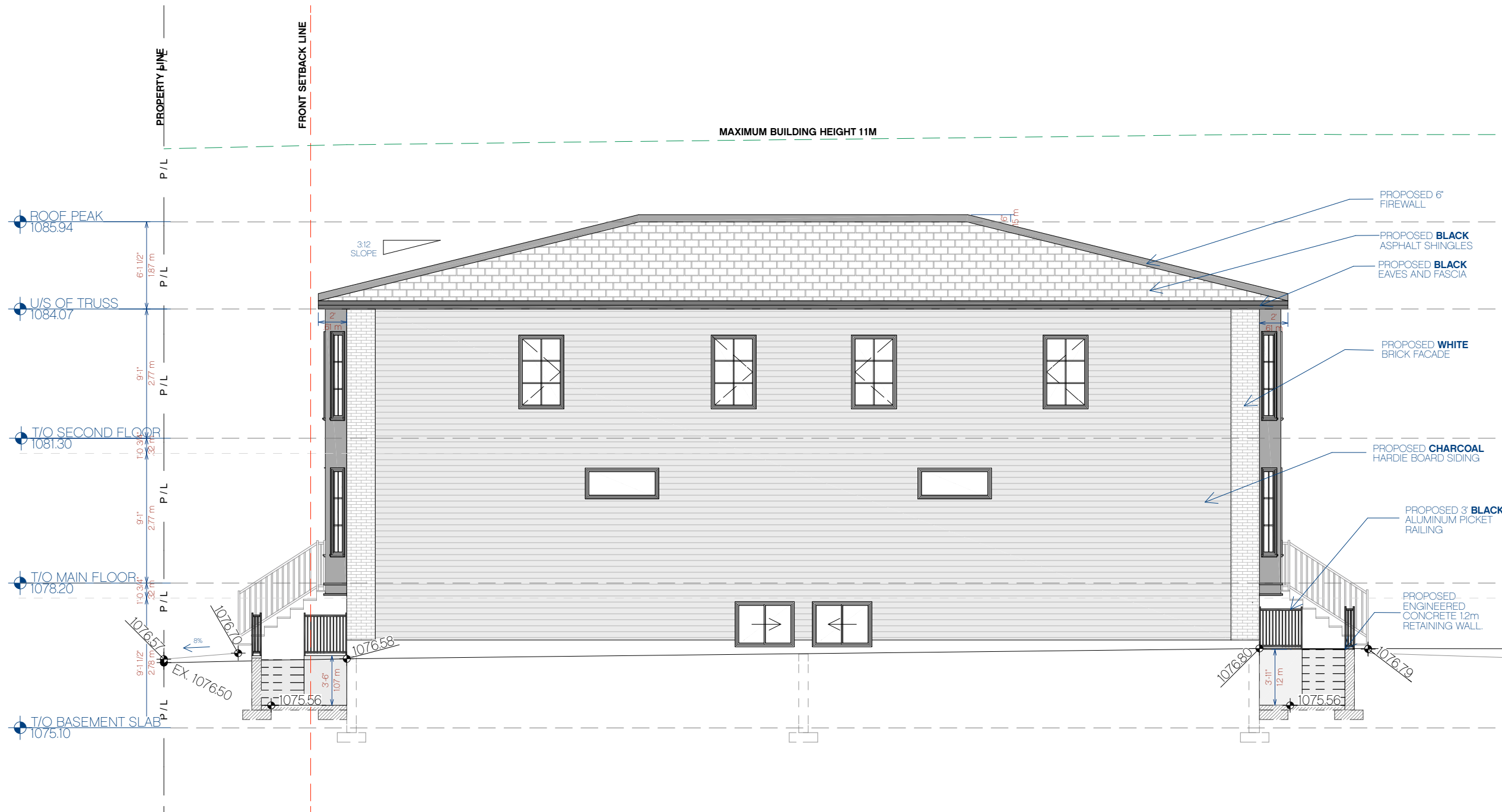
WEST
EXTERIOR
ELEVATION

A11

431 35th Avenue N.W.

DATE: January 8, 2026

rectangle



1 WEST ELEVATION (SIDE)
A11 1/8" : 1'-0"

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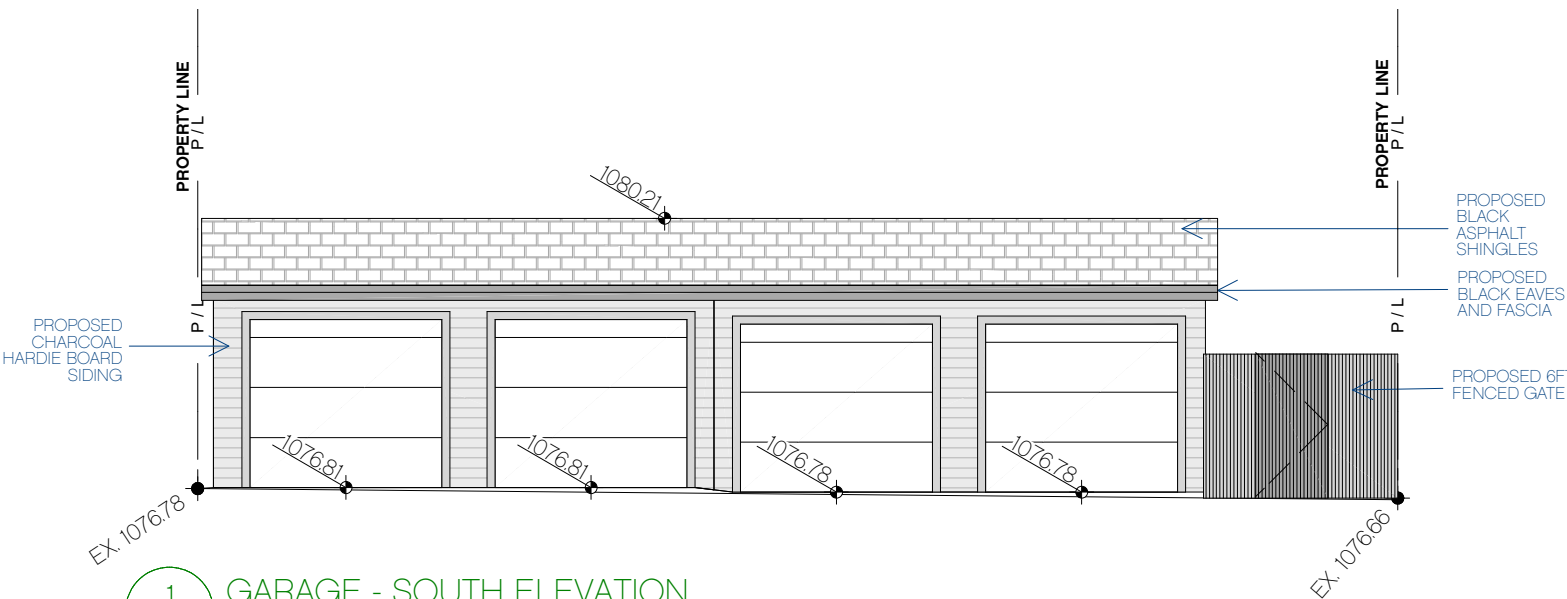
REVIEW ALL DIMENSIONS AND SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION.

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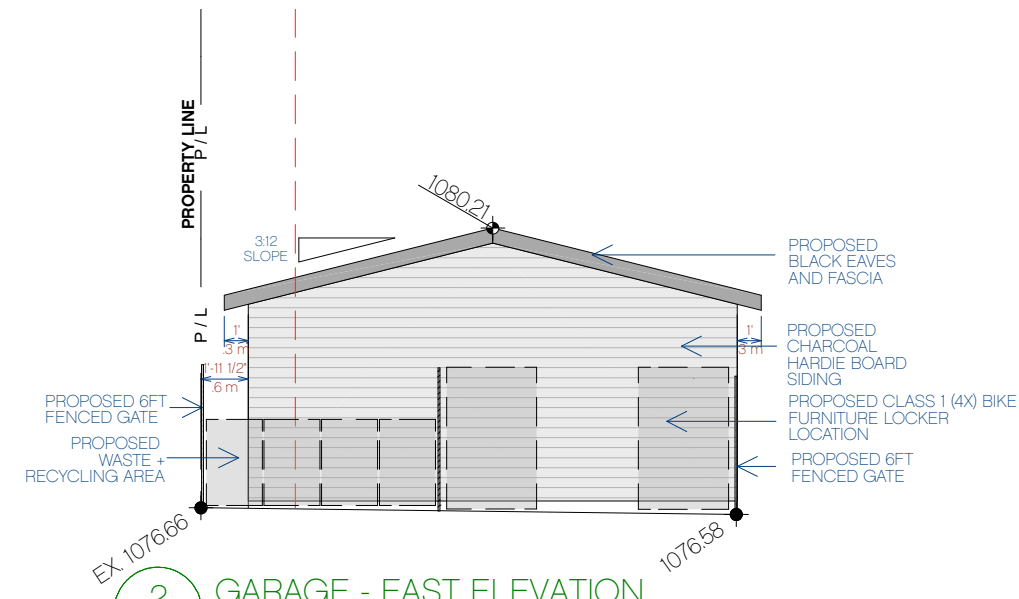
SCALE: 1/8" : 1'-0"
ACCESSORY BUILDING &
FENCE DETAILS
EXTERIOR
ELEVATIONS

A12
431 35th Avenue N.W.

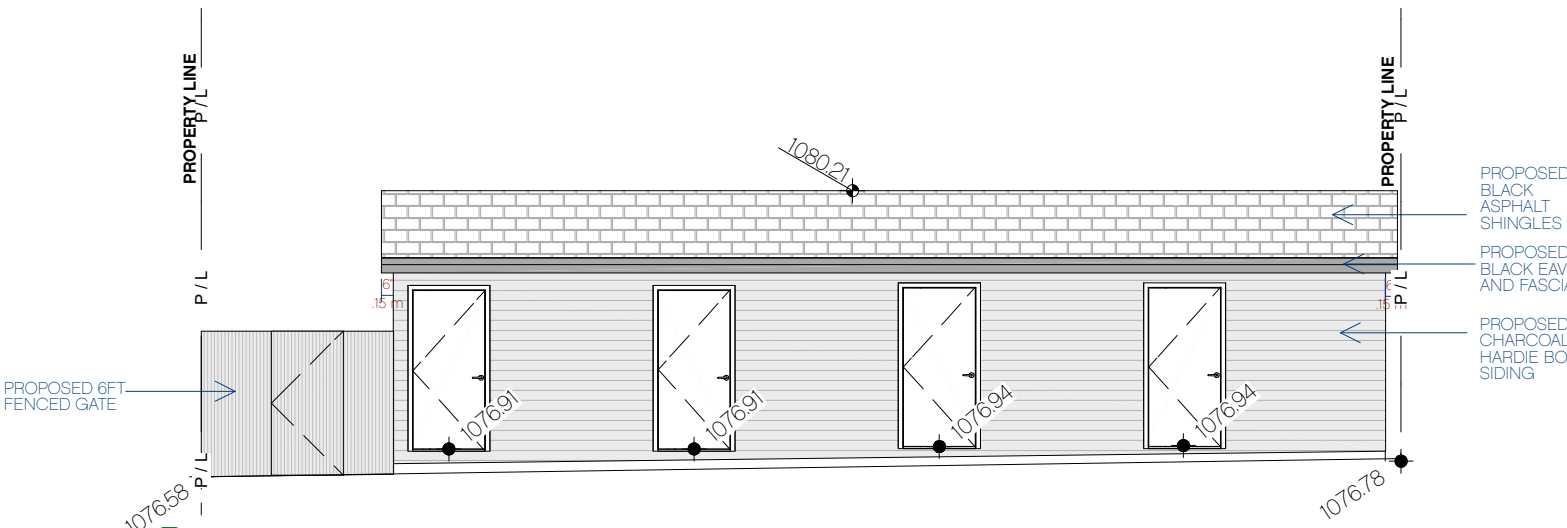
DATE: January 8, 2026



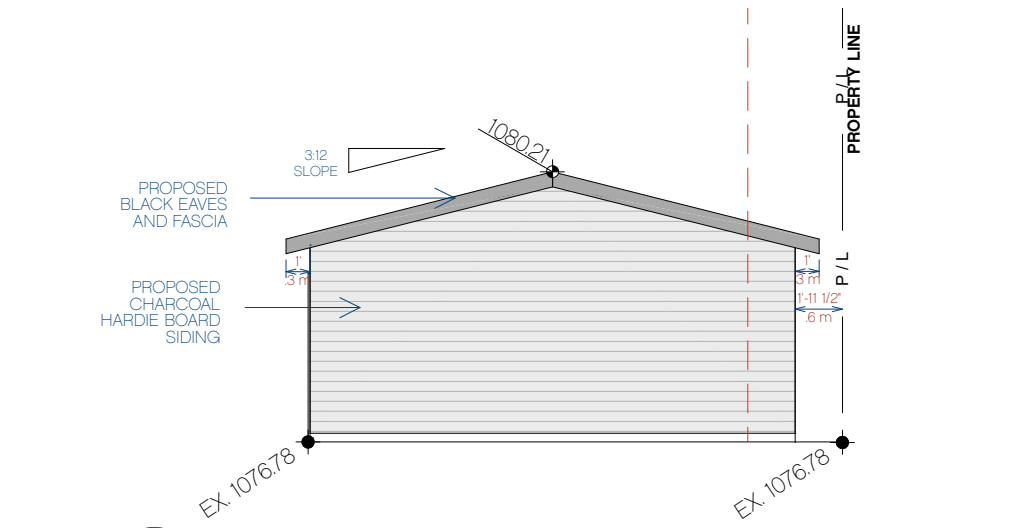
1 GARAGE - SOUTH ELEVATION
A12 1/8" : 1'-0"



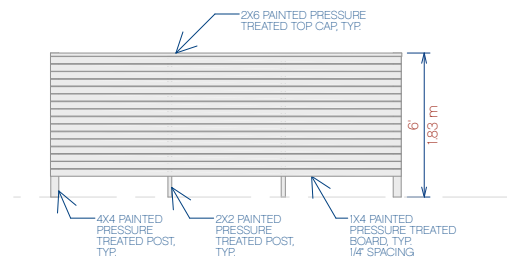
2 GARAGE - EAST ELEVATION
A12 1/8" : 1'-0"



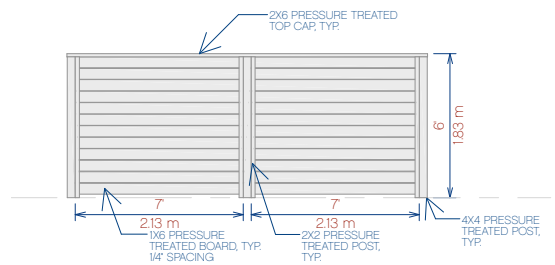
3 GARAGE - NORTH ELEVATION
A12 1/8" : 1'-0"



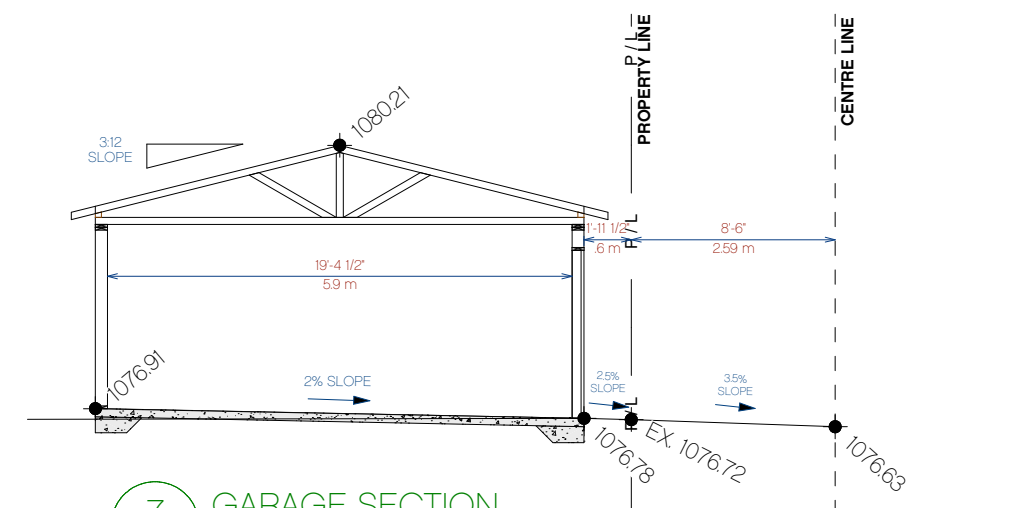
4 GARAGE - WEST ELEVATION
A12 1/8" : 1'-0"



5 TYP. PRIVACY SCREEN
A12 1/8" : 1'-0"



6 TYP. FENCE
A12 1/8" : 1'-0"



7 GARAGE SECTION
A12 1/8" : 1'-0"

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SCALE: NTS

SITE SURVEY

A14
431 35th Avenue N.W.

DATE: January 8, 2026



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lots 44 & 45
Block 9
Plan 3674 S
MUNICIPAL ADDRESS: 431 35 Avenue N.W.
Calgary, Alberta
DATE OF SURVEY: December 4th, 2025.

SCALE: 1:200

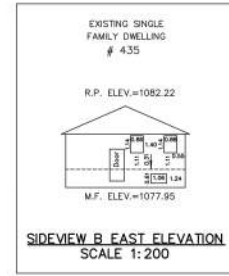
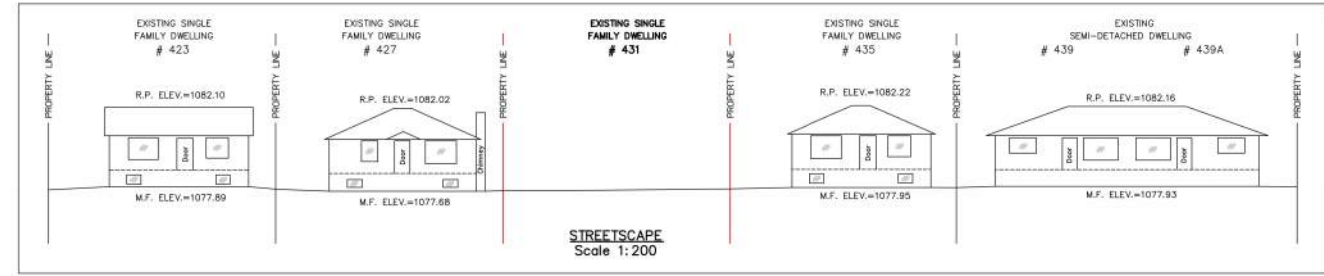
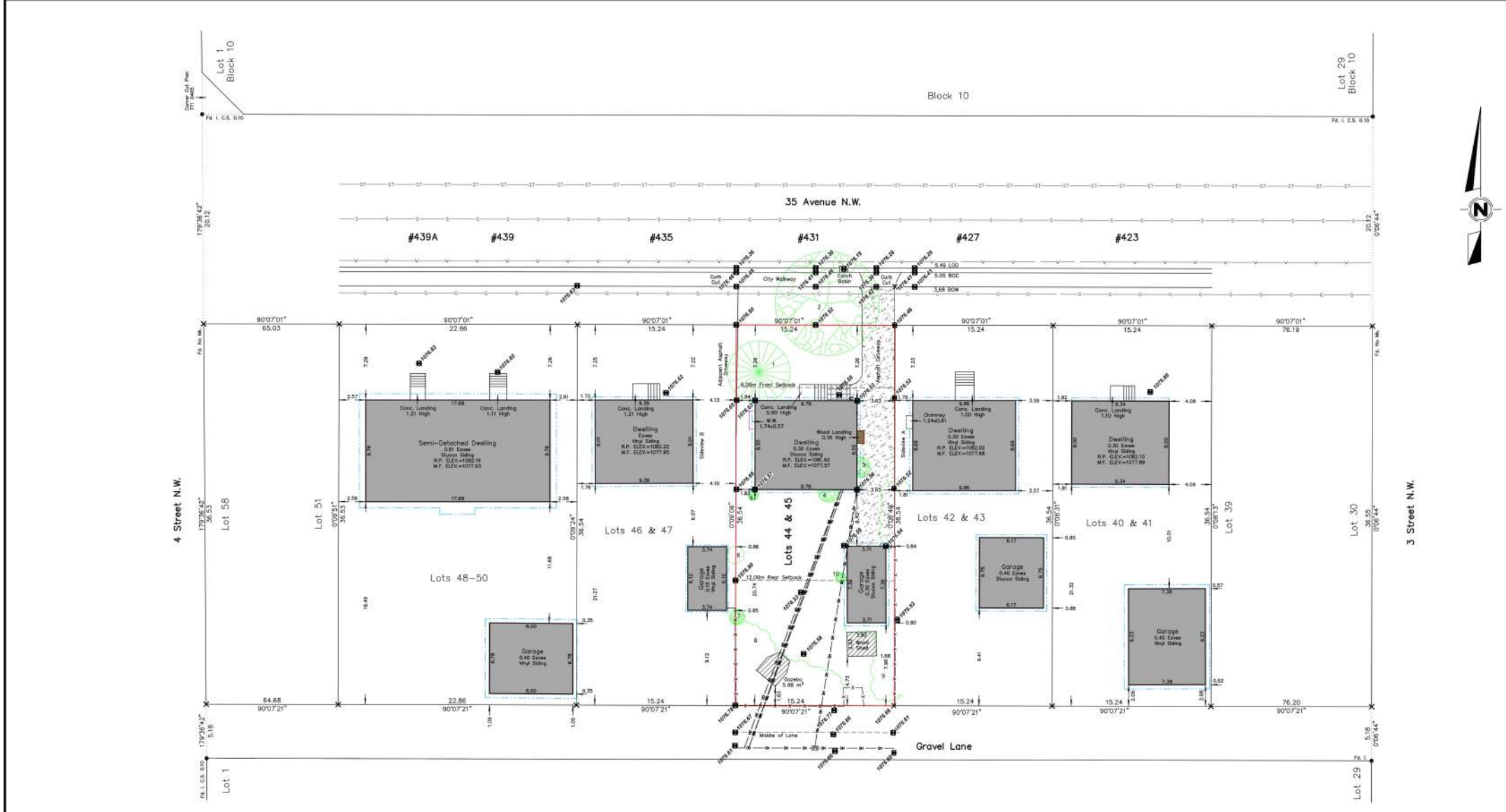
NOTES:
Elevations are shown thus: [Symbol] = 1000.00 metres. (Geodetic)
Elevations are geodetic and derived from ASCM: 207605 ELEV: 1076.182
All dimensions are ground in metres and decimals thereof unless otherwise shown.
All distances on curves are arc distances.
Bearings are grid (314, 0414) and derived from GNSS Observations.
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Acc. - Accessory	Calculation points shown thus: X
A/C - Air Conditioner	Elevations shown thus: [Symbol]
Bldg - Building	Found Iron Posts shown thus: [Symbol]
BOC - Back of Curb	Fire Hydrants shown thus: [Symbol]
BOW - Back of Walk	Lamp Standards shown thus: [Symbol]
Calc. - Calculated	Manholes shown thus: [Symbol]
Canl - Can-leave	Power Poles shown thus: [Symbol]
Conc. - Concrete	Street Signs shown thus: [Symbol]
C.S. - Countersunk	Electrical Meter shown thus: [Symbol]
DH - Drill Hole	Gas Meter shown thus: [Symbol]
Enc. - Encroaches	Property Lines shown thus: [Symbol]
ELEV. - Elevation	Right of Ways shown thus: [Symbol]
EL - Eaves	Eaves shown thus: [Symbol]
FL - Found	Fences shown thus: [Symbol]
IR - Iron Post	Overhead Lines shown thus: [Symbol]
LOG - Lip of Gutter	Gasties shown thus: [Symbol]
M.A. - Maintenance Access	Sanitaryline shown thus: [Symbol]
M.F. - Main Floor	Stairline shown thus: [Symbol]
Mk. - Mark	Waterline are shown thus: [Symbol]
O.D. - Overland Drainage	
Ret. - Retaining	
R.P. - Roof Peak	
R/W - Right of Way	
W/O - Walkout Basement	
W.W. - Window Well	

This plan represents the best information at the time of survey
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All underground installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

Tree Schedule				
Tree	Type	Ø	Spread	Height
1	Coniferous	0.45	6.00	15.00
2	Deciduous	0.60	10.00	12.00
3	Deciduous	0.10	2.00	3.00
4	Deciduous	0.10	2.00	3.00
5	Deciduous	0.10	1.00	2.50
6	Bush	---	1.50	2.00
7	Deciduous	0.05	1.50	3.00
8	Bush	---	3.00	2.50
9	Bush	---	3.00	3.00
10	Deciduous	0.10	1.00	2.50



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Calgary, Alberta T2E 2V7
Phone: 403-837-8599
E-mail: office@zoomsurveys.ca
Website: www.zoomsurveys.ca
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Job: 25-0873 Surveyed: DN | Drawn: NG | Checked by: AB