

ABBREVIATION LIST:

ABC - ALBERTA BUILDING CODE
B.O.C. - BACK OF CURB
CAB. - CABINET
C/H - CEILING HEIGHT
C/L - CENTRE LINE
C/O - CHANGE ORDER
C.T. - COUNTER-TOP
C/W - COMPLETE WITH
DWGS - DRAWINGS
EQ - EQUAL
EXG - EXISTING
HT - HEIGHT
N/A - NOT APPLICABLE
NBC - NATIONAL BUILDING CODE
NFC - NOT FOR CONSTRUCTION
NIC - NOT INCLUDED IN CONTRACT
NTS - NOTE TO SCALE
O/S - ONE SIDE
P/L - PROPERTY LINE
SDF - SIDING, DECKING, FENCE
TBC - TO BE CONFIRMED
TBD - TO BE DETERMINED
TYP - TYPICAL
UNO - UNLESS NOTED OTHERWISE
W/ - WITH
W/O - WITHOUT

TABLE OF CONTENTS:

A1 - COVER PAGE
A2 - BLOCK PLAN
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A5 - BASEMENT FLOOR PLAN
A6 - MAIN FLOOR PLAN
A7 - SECOND FLOOR PLAN
A8 - EXTERIOR ELEVATION, SOUTH
A9 - EXTERIOR ELEVATION, EAST
A10 - EXTERIOR ELEVATION, NORTH
A11 - EXTERIOR ELEVATION, WEST
A12 - ACCESSORY BUILDING
A13 - BUILDING SECTION
A14 - TECHNICAL SITEPLAN
A15 - SURVEY PLAN

**DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN**

**BROOKLYN BROWNSTONE
STYLE TOWNHOUSE**

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CONSTRUCTION TO CONFORM TO NATIONAL BUILDING CODE 2023 ALBERTA EDITION PART 9 AND ALL APPLICABLE BUILDING CODES AND STANDARDS.

REVIEW ALL DIMENSIONS AND SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION.

DO NOT SCALE DRAWINGS.

SCALE:

COVER PAGE



ARTISTIC RENDERING ONLY

BROOKLYN BROWNSTONE STYLE TOWNHOUSE

DR2 RESPONSE

431 35TH AVENUE N.W.
LOT 44, BLOCK 9, PLAN 3674s

A1
431 35th Avenue N.W.

DATE: May 8, 2026

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SCALE: NTS
BLOCK PLAN

A2
431 35th Avenue N.W.

DR2 RESPONSE

DATE: May 8, 2026



SHEET LEGEND:

- PROPOSED BUILDING
- EXISTING BUILDING ON PROPERTY TO BE REMOVED



NORTHEAST VIEW



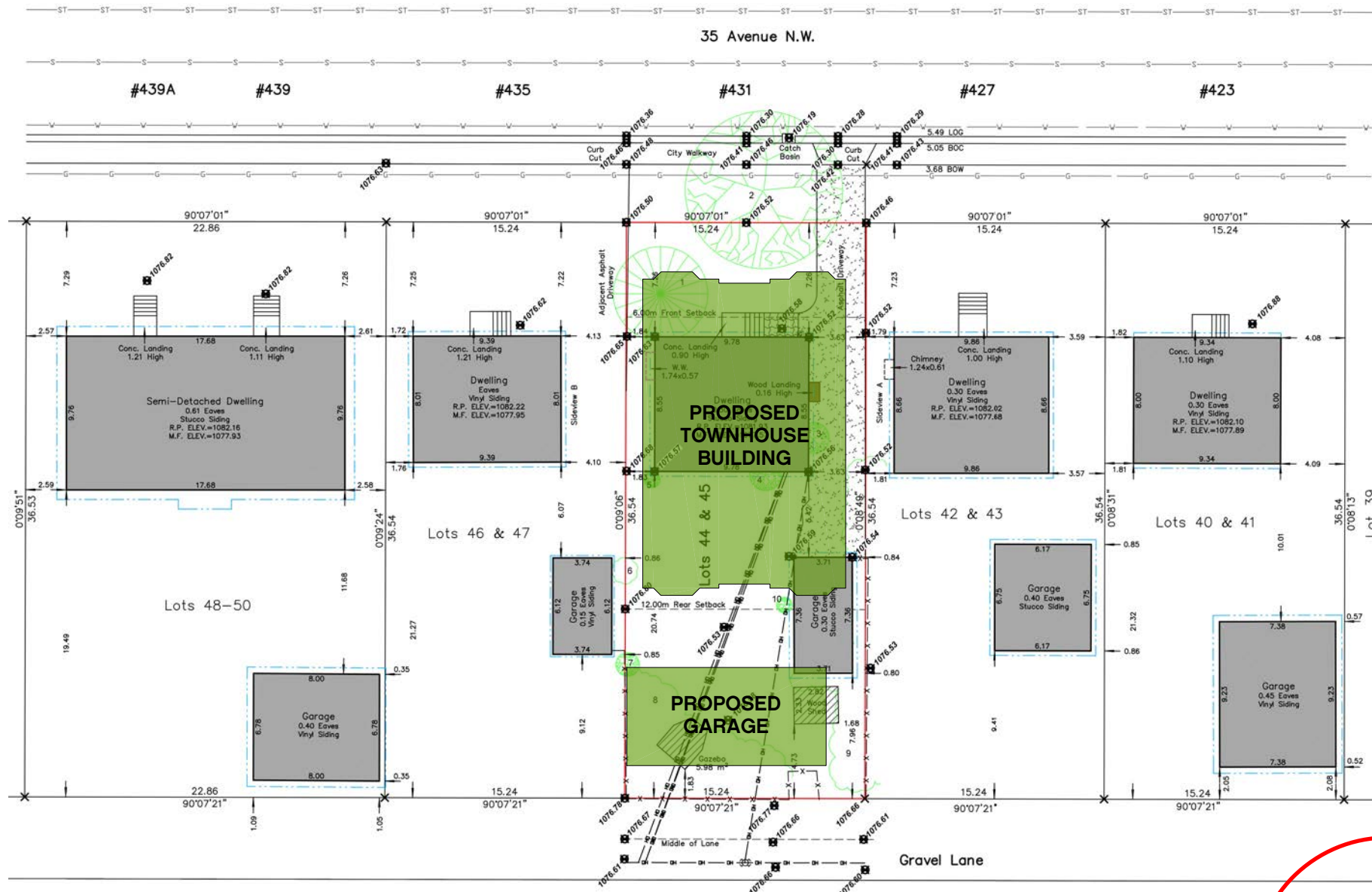
NORTHWEST VIEW



SOUTHEAST VIEW

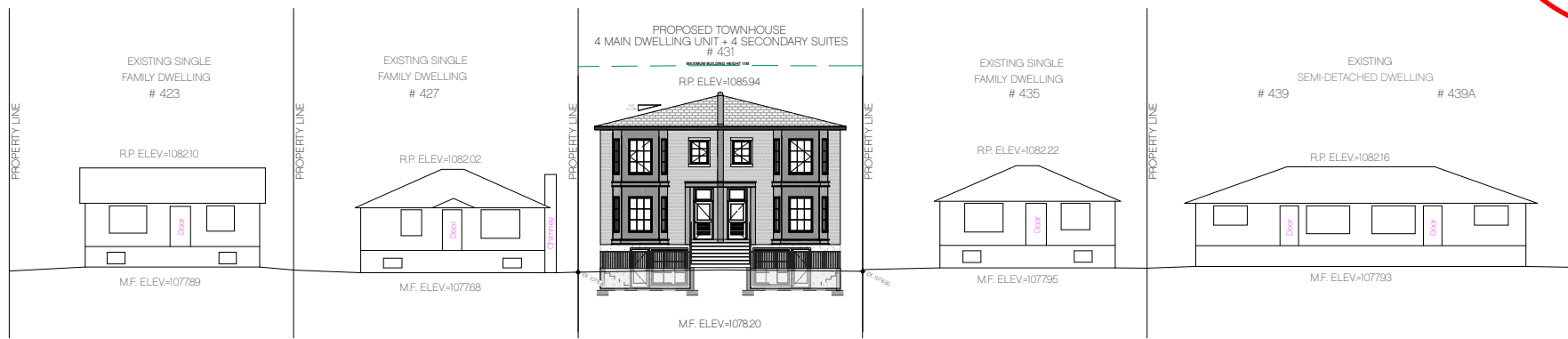


SOUTHWEST VIEW



**DEVELOPMENT
PERMIT
DECISION
RENDERED
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1 BLOCK PLAN
A2 1/30" : 1'-0"



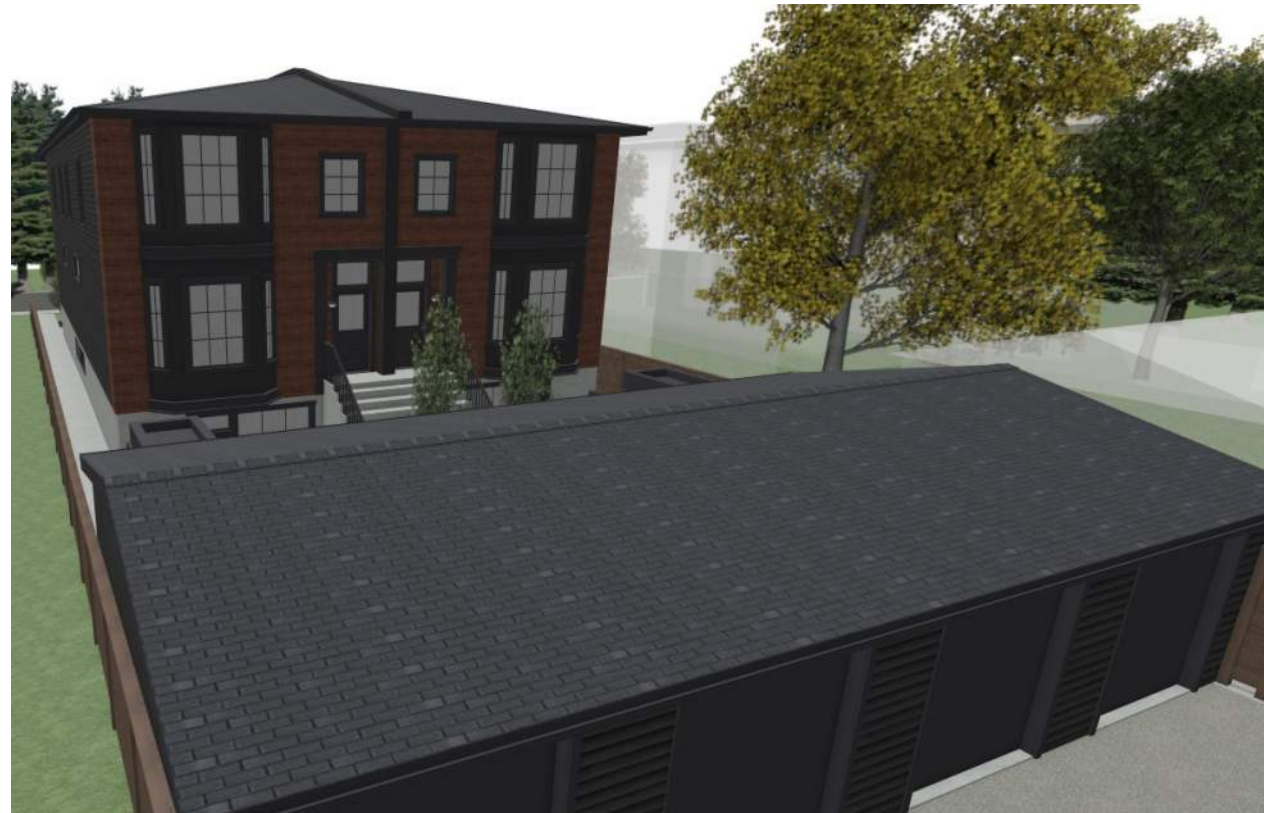
2 STREETScape - 35TH AVENUE N.W.
A2 1/30" : 1'-0"



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE

**DEVELOPMENT
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DO NOT SCALE DRAWINGS.

SCALE: NTS
EXTERIOR
PERSPECTIVES

A 3
431 35th Avenue N.W.

DR2 RESPONSE

DATE: May 8, 2026

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DO NOT SCALE DRAWINGS.

SCALE: 1/16" : 1'-0"

SITE PLAN

A 4
431 35th Avenue N.W.

DR2 RESPONSE

DATE: May 8, 2026



DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

DEVELOPMENT SUMMARY:

(4) TWO STOREY DWELLING UNITS
(4) BASEMENT SECONDARY SUITES
= (8) TOTAL SUITES

(4) PRIVATE GARAGES
= (4) TOTAL PARKING STALLS

PROPOSED GROSS BUILDING AREA:

BASEMENT: 248 SM (2,673 SF)
MAIN: 254 SM (2,729 SF)
SECOND: 255 SM (2,747 SF)

TOTAL: 757 SM (8,148 SF)

SITE INFORMATION:

MUNICIPAL ADDRESS: 431 35th AVENUE N.W., CALGARY, AB
LEGAL ADDRESS: LOT 44, BLOCK 9, PLAN 3674s.
COMMUNITY: HIGHLAND PARK
LAND USE: R-CG RESIDENTIAL - GRADE-ORIENTED INFILL DISTRICT
LOT SIZE: 15.24m X 36.54m
SITE AREA: 556.87 SM (5,994.10 SF)
BUILDING FOOTPRINT: 254 SM (2,729 SF)
GARAGE FOOTPRINT: 78 SM (842.17 SF)

GENERAL BYLAW REQUIREMENTS AS PER R-CG LAND USE:

LANDSCAPING LEGEND:

- PROPERTY LINE
- PROPOSED BUILDINGS
- PROPOSED CONCRETE ± 103 SM (1,104 SF)
- ▨ PROPOSED SOFT SURFACE (MULCH) ± 37 SM (396 SF)
- PROPOSED GRASS/ SOD ± 31 SM (331 SF)
- SHRUB TYPE 1 X 16 GLOBE CARAGANA HEIGHT: 0.6-0.9M SPREAD: 0.6-0.9M
- TREE TYPE 1 X 5 DECIDUOUS SWEDISH COLUMNAR ASPEN (600mm CALLIPER, MIN. 2M HEIGHT) CALLIPER: 0.6M HEIGHT: 2M MINIMUM
- Ⓜ PROPOSED WATER METER LOCATION
- EXISTING TREE TO REMAIN
- ⊖ EXISTING TREE TO BE REMOVED

BYLAW REVIEW REQUIREMENTS

DENSITY: MAXIMUM DENSITY IS 75 UNITS PER HECTARE
PROPOSED DENSITY: 68.9 UNITS PER HECTARE

PARCEL COVERAGE: THE MAXIMUM CUMULATIVE BUILDING COVERAGE IS 60% OF THE AREA OF THE PARCELS SUBJECT TO A SINGLE DEVELOPMENT PERMIT FOR A DEVELOPMENT WITH A DENSITY OF 60 UNITS PER HECTARE OR GREATER
PROPOSED PARCEL COVERAGE: 59.6% (332 SM (3,573 SF))

BUILDING DEPTH: THE MAXIMUM BUILDING DEPTH IS 65% OF THE PARCEL DEPTH FOR A BUILDING CONTAINING A UNIT
PROPOSED BUILDING DEPTH: 65% (23.75 M)

MINIMUM SETBACKS: FRONT = 3.0M, SIDES = 1.2M, REAR = 1.2M

BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT IS 11.0 M.
PROPOSED BUILDING HEIGHT: 9.48 M

PERMITTED PROJECTIONS INTO SETBACKS: PORTIONS OF A BUILDING LOCATED ABOVE THE SURFACE OF THE GROUND EAVES MAY PROJECT ≤ 0.6 m (2'-0") UNENCLOSED STAIRS MAY PROJECT INTO ANY SETBACK AREA

LANDSCAPING: BYLAW 542 (7): ALL AREAS OF A PARCEL, EXCEPT FOR THOSE PORTIONS SPECIFICALLY REQUIRED FOR MOTOR VEHICLE ACCESS, MOTOR VEHICLE PARKING STALLS, OR GARBAGE FACILITIES MUST BE A LANDSCAPED AREA. A MINIMUM OF 30.0% OF THE LANDSCAPED AREA MUST BE COVERED WITH SOFT SURFACED LANDSCAPING (MAY INCLUDE MULCH, GRASS, SOD).
LANDSCAPING AREA: 137 SM / 1,485 SF
PROPOSED SOFT SURFACE LANDSCAPING: 26% (35 SM / 377SF)

PLANTING: BYLAW 542.2(2): 1 TREE AND 3 SHRUBS REQUIRED PER 110 SM OF PARCEL AREA (TOTAL PARCEL AREA = 557.48 SM / 6,000.66 SF)
REQUIRED: 5 TREES & 15 SHRUBS
PROPOSED: 5 TREES & 16 SHRUBS

AMENITY SPACE: BYLAW 543: EACH UNIT AND SUITE MUST HAVE AN AMENITY SPACE THAT IS LOCATED OUTDOORS.

PARKING: 4.0 PARKING STALLS ARE REQUIRED BASED ON THE SUM OF ALL DWELLING UNITS AND SUITES AT A RATE OF 0.5 STALLS PER DWELLING UNIT OR SUITE FOR THE HIGHLAND PARK
REQUIRED: 4 PARKING STALLS
PROPOSED: 4 PARKING STALLS

BICYCLE PARKING STALLS: BYLAW 546.2(1) THE MINIMUM NUMBER OF BICYCLE PARKING STALLS - CLASS 1 IS CALCULATED BASED ON THE SUM OF ALL UNITS AND SUITES AT A RATE OF 10.5 STALL PER UNIT OR SUITE WHERE A UNIT OR SUITE IS NOT PROVIDED A MOTOR VEHICLE PARKING STALL LOCATED IN A PRIVATE GARAGE.
8 UNITS X 0.5 STALL: 4 STALLS PROPOSED

GENERAL NOTES:

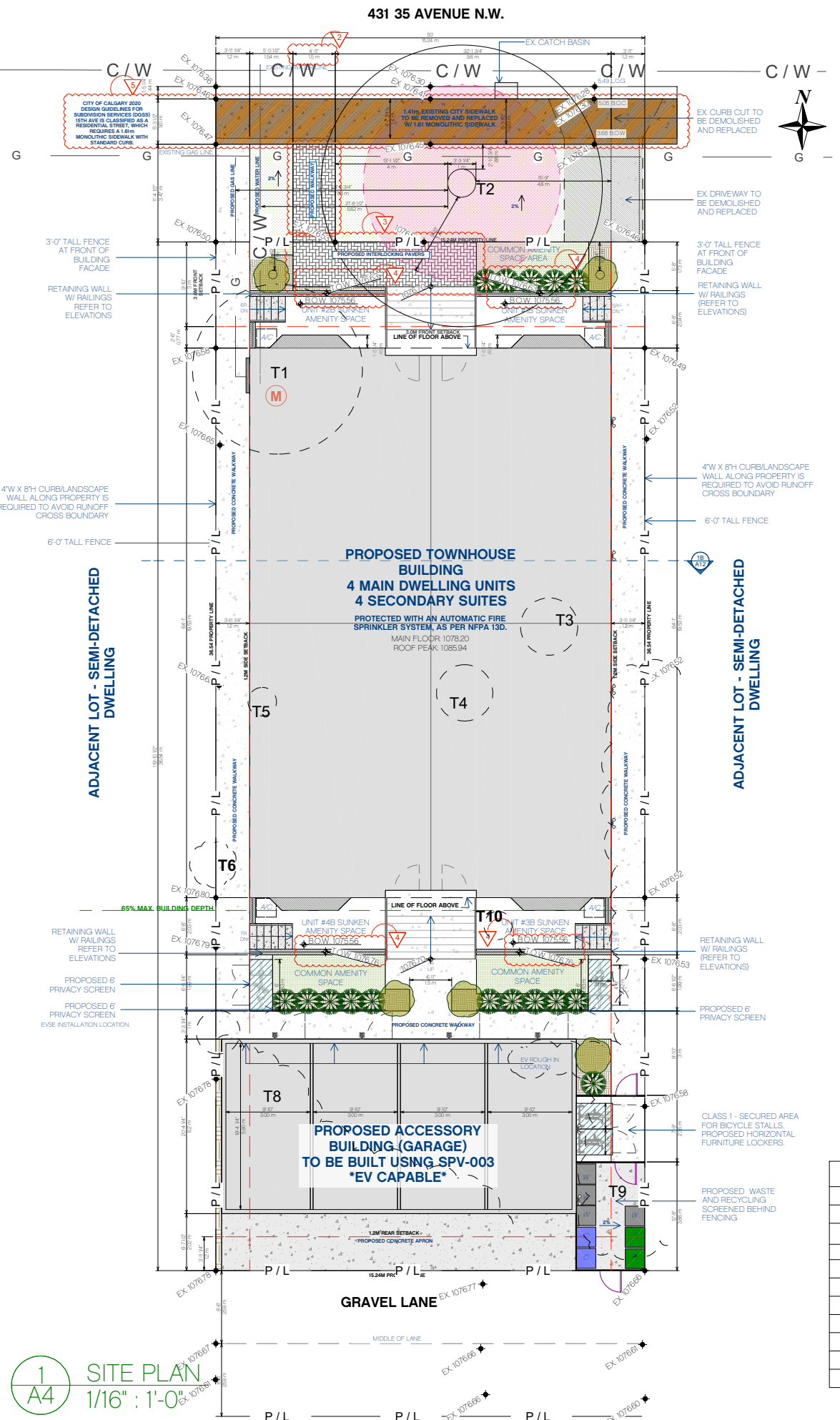
- LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT.
- ALL SOFT SURFACE LANDSCAPED AREA WILL HAVE AN UNDERGROUND IRRIGATION SYSTEM.
- ALL SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- MINIMUM SOIL DEPTH OF 1200mm FOR TREES, 600mm FOR PLANTING BEDS WITH SHRUBS & 300mm IN ALL OTHER AREAS.
- EXCAVATION INCLUDING TO LAY THE PAVERS MUST BE VIA HYDROVAC WITHIN 4m OF THE TREE UNDER THE SUPERVISION OF THE URBAN FORESTRY TREE TECHNICIAN.

Tree Schedule

Tree	Type	Ø	Spread	Height	PROPOSED ACTION
T1	Coniferous	0.45	600	1500	PRIVATE TO BE REMOVED
T2	AMERICAN ELM (ULMUS AMERICANUS)	1.00	10.00	12.00	PUBLIC TO BE RETAINED
T3	Deciduous	0.10	200	300	PRIVATE TO BE REMOVED
T4	Deciduous	0.10	200	300	PRIVATE TO BE REMOVED
T5	Deciduous	0.10	100	250	PRIVATE TO BE REMOVED
T6	Bush	---	150	200	PRIVATE TO BE REMOVED
T7	Deciduous	0.05	150	300	PRIVATE TO BE REMOVED
T8	Bush	---	300	250	PRIVATE TO BE REMOVED
T9	Bush	---	300	300	PRIVATE TO BE REMOVED
T10	Deciduous	0.10	100	250	PRIVATE TO BE REMOVED

WASTE AND RECYLING: THE ANTICIPATED TOTAL VOLUME OF WASTE PRODUCED PER WEEK IS CALCULATED USING 0.24 m³ (0.3 yd³) MULTIPLIED BY THE TOTAL NUMBER OF DWELLING UNITS
8 UNITS x 0.24 yd³ / UNIT = 1.92 yd³ PER WEEK STORAGE CAPACITY REQUIRED.

PROVIDED:
WASTE 2 X 0.24 yd³ = 0.48 m³
RECYCLING 2 X 0.24 yd³ = 0.48 m³
ORGANICS 2 X 0.24 yd³ = 0.48 m³



1 SITE PLAN
A4 1/16" : 1'-0"

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SCALE: 1/8" : 1'-0"

EAST
EXTERIOR
ELEVATION

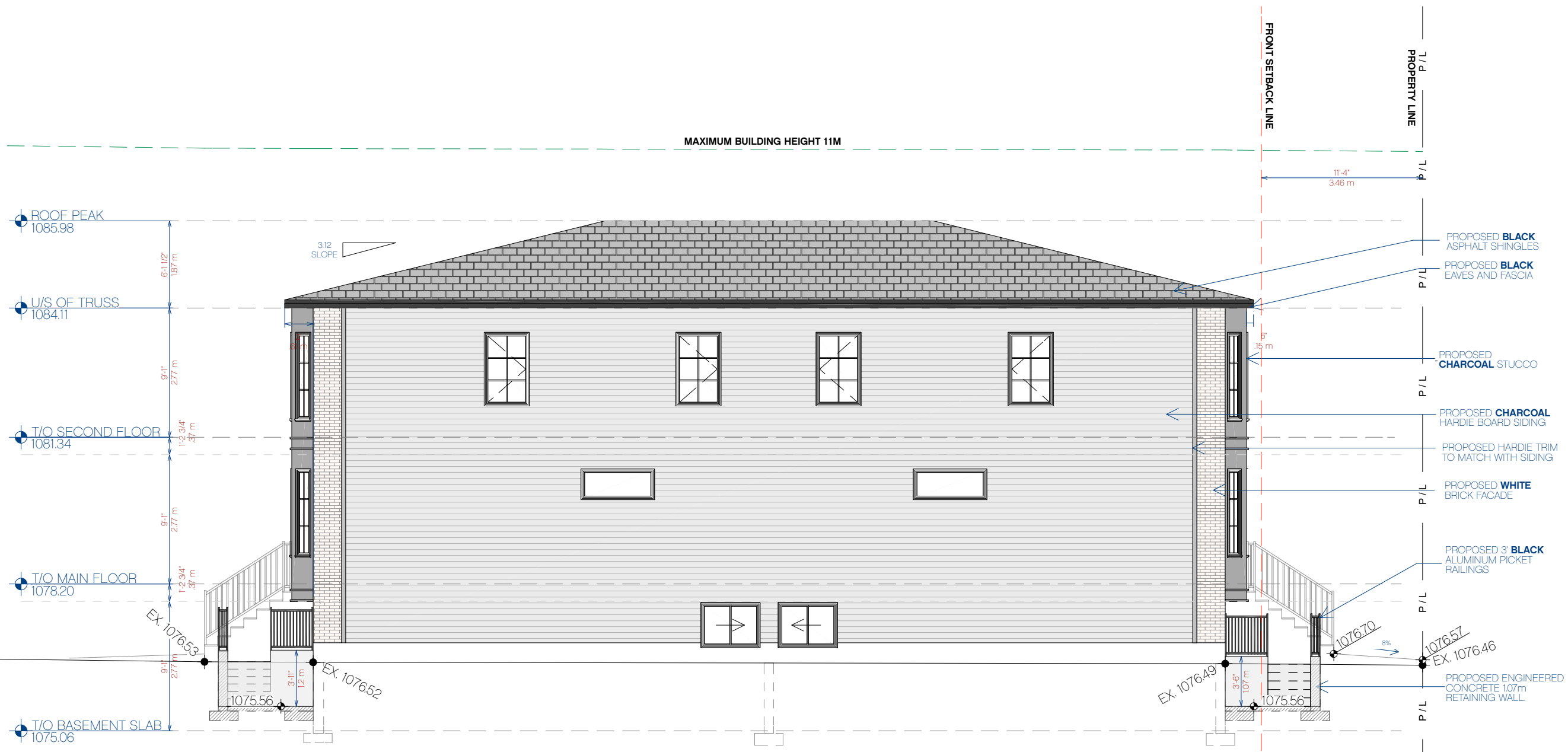
A9

431 35th Avenue N.W.

DR2 RESPONSE

DATE: May 8, 2026

rectangle



**DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN**

1 EAST ELEVATION (SIDE)
A9 1/8" : 1'-0"

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SCALE: 1/8" : 1'-0"

NORTH
EXTERIOR
ELEVATION

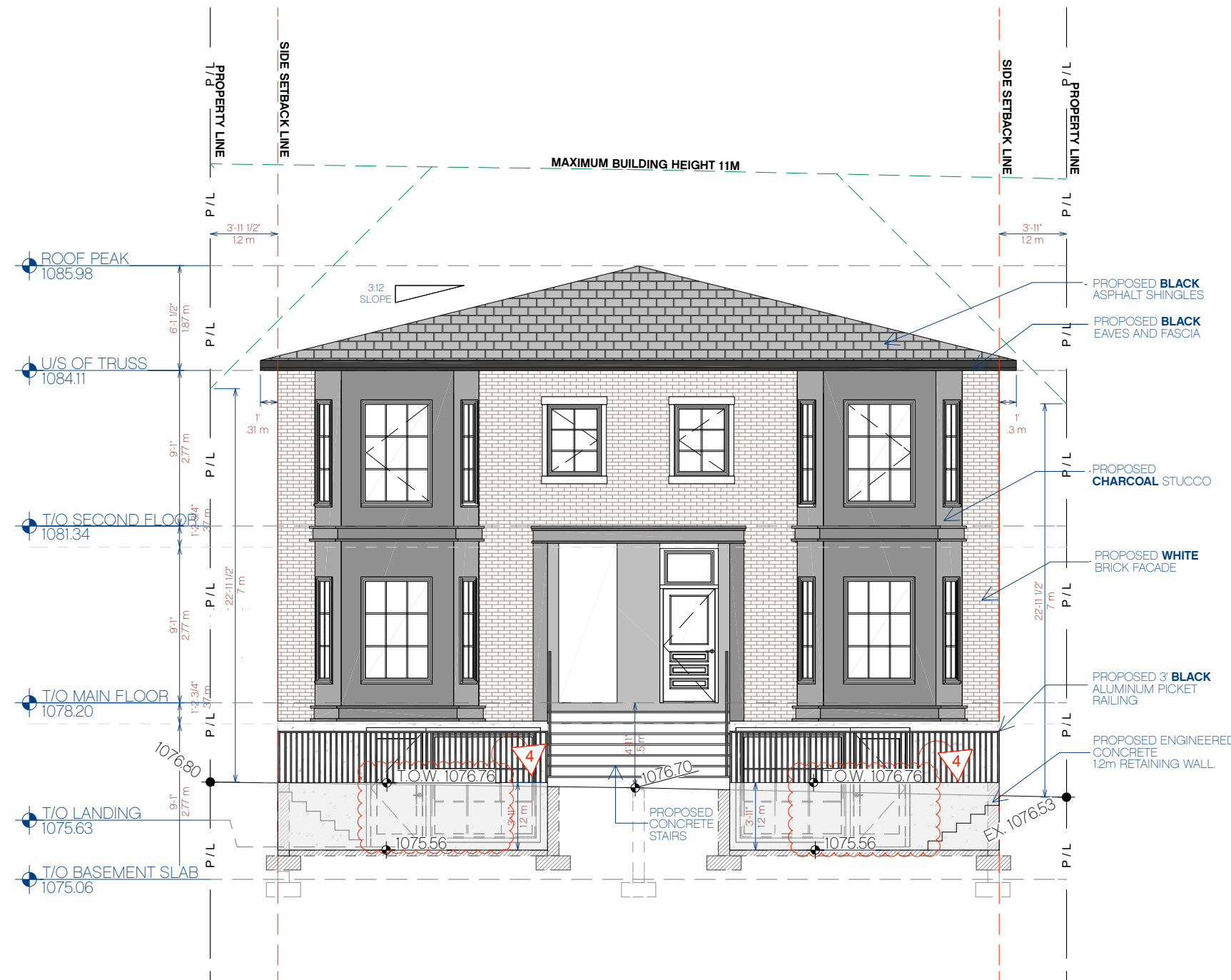
A10

431 35th Avenue N.W.

DR2 RESPONSE

DATE: May 8, 2026

rectangle



**DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN**

1 SOUTH ELEVATION (REAR)
A10 1/8" : 1'-0"

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SCALE: 1/8" : 1'-0"

WEST
EXTERIOR
ELEVATION

A11

431 35th Avenue N.W.

DR2 RESPONSE

DATE: May 8, 2026

rectangle



1 WEST ELEVATION (SIDE)
A11 1/8" : 1'-0"

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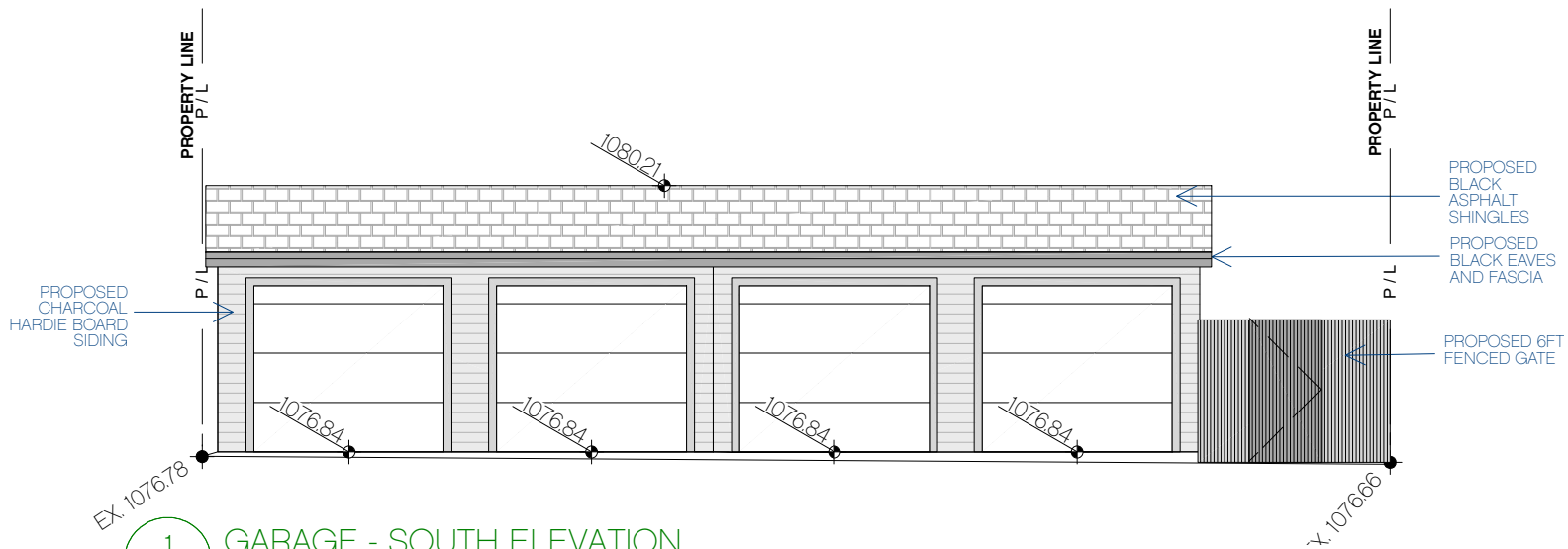
SCALE: 1/8" : 1'-0"
ACCESSORY BUILDING & FENCE DETAILS
EXTERIOR ELEVATIONS

A12
431 35th Avenue N.W.

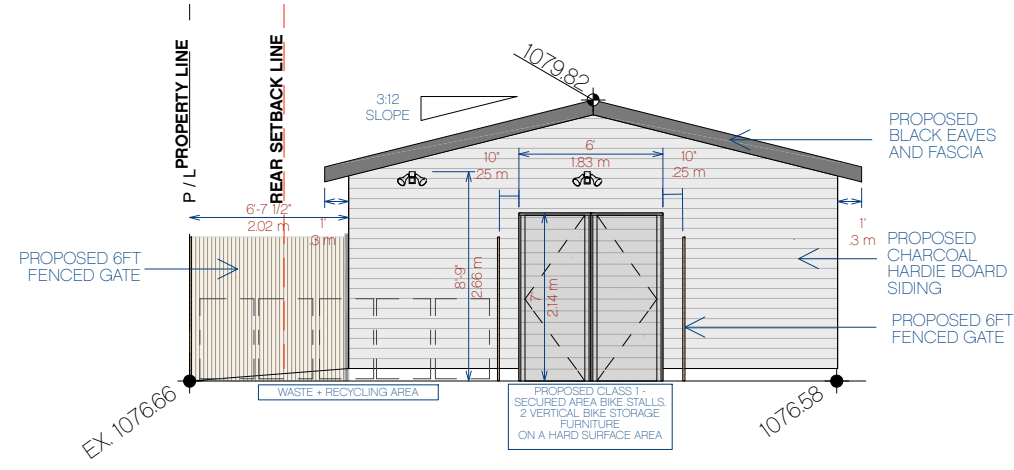
DR2 RESPONSE

DATE: May 8, 2026

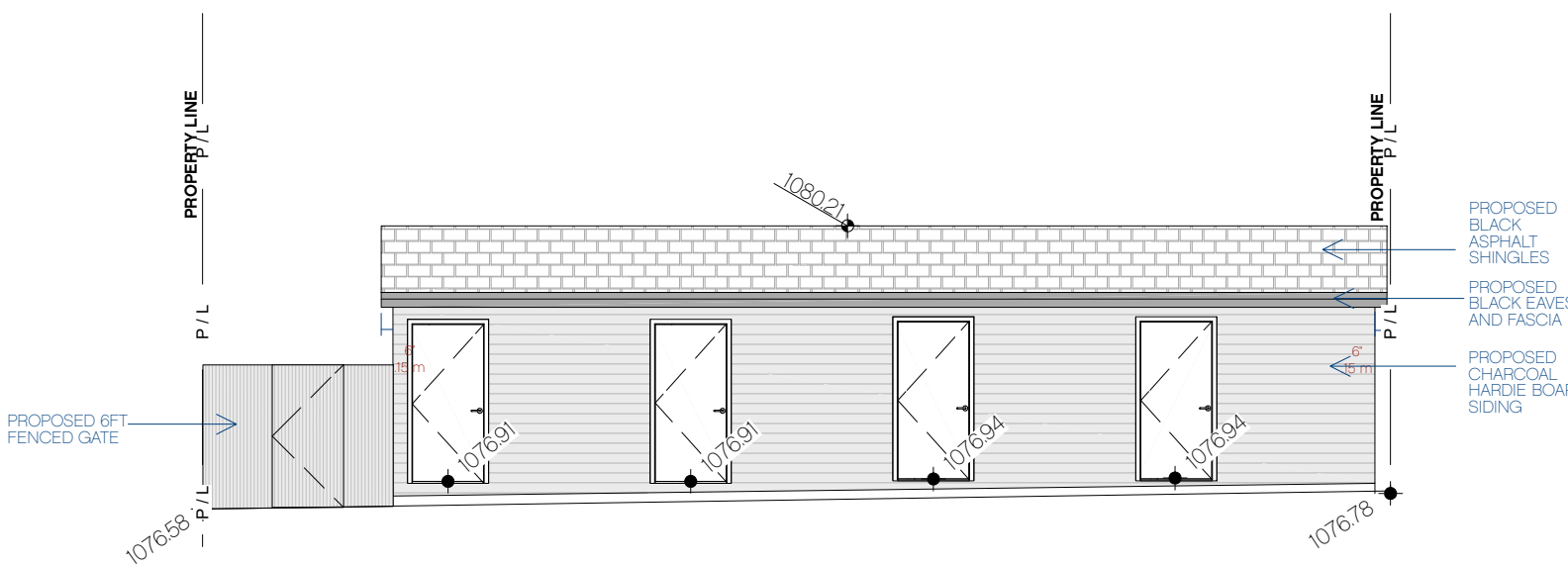
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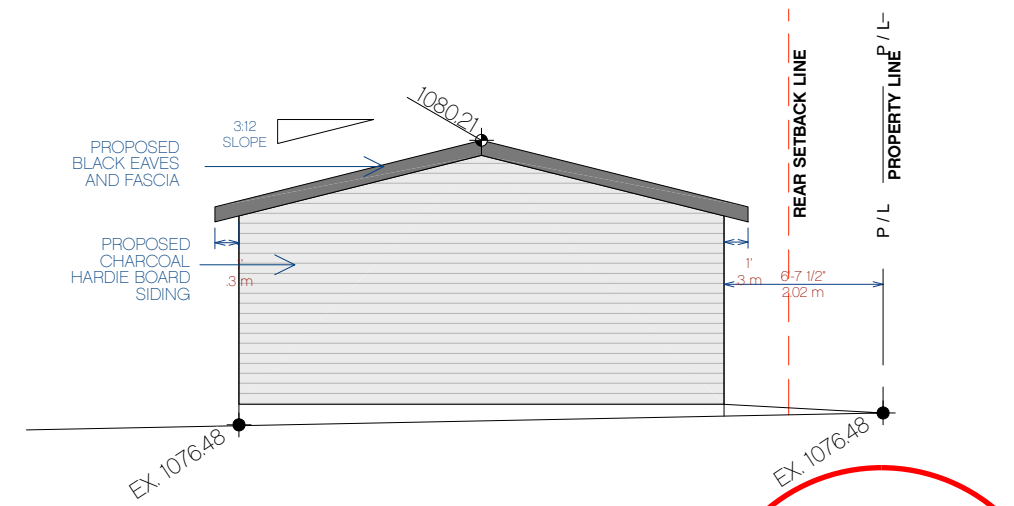
1 GARAGE - SOUTH ELEVATION
A12 1/8" : 1'-0"



2 GARAGE - EAST ELEVATION
A12 1/8" : 1'-0"

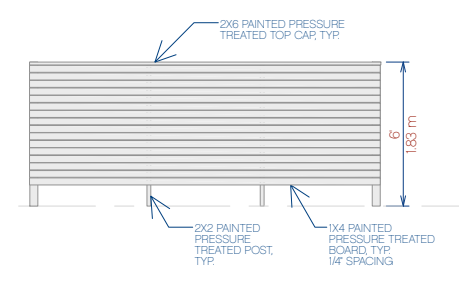


3 GARAGE - NORTH ELEVATION
A12 1/8" : 1'-0"

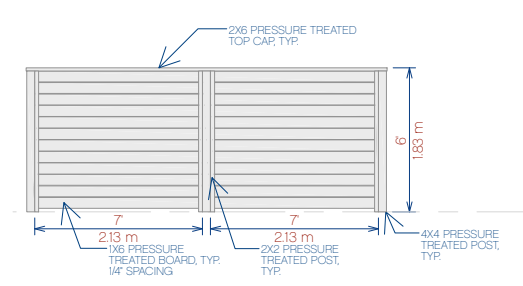


4 GARAGE - WEST ELEVATION
A12 1/8" : 1'-0"

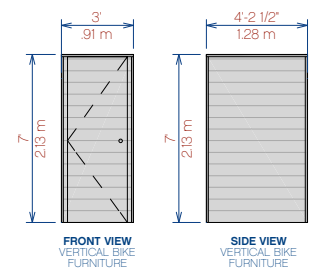
DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



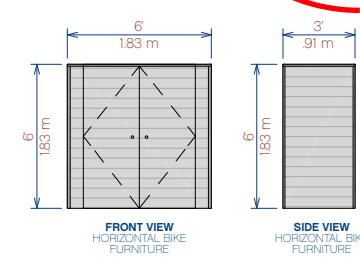
5 TYP. PRIVACY SCREEN
A12 1/8" : 1'-0"



6 TYP. FENCE
A12 1/8" : 1'-0"



7 BIKE STORAGE - VERTICAL
A12 1/8" : 1'-0"



8 BIKE STORAGE - HORIZONTAL
A12 1/8" : 1'-0"

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DO NOT SCALE DRAWINGS.

SCALE: NTS

SITE SURVEY

A15
431 35th Avenue N.W.

DR2 RESPONSE

DATE: May 8, 2026



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lots 44 & 45
Block 9
Plan 3674 S

MUNICIPAL ADDRESS: 431 35 Avenue N.W.
Calgary, Alberta

DATE OF SURVEY: December 4th, 2025.

SCALE: 1:200

NOTES:

Elevations are shown thus: \square = 1000.00 metres. (Geodetic)
Elevations are geodetic and derived from ASCM: 207605 ELEV: 1076.182
All dimensions are ground in metres and decimals thereof unless otherwise shown.
All distances on curves are arc distances.
Bearings are grid (31M, QM14) and derived from GNSS Observations.
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Acc. - Accessory	Calculation points shown thus:	X
A/C - Air Conditioner	Elevations shown thus:	□
Bdy - Building	Found Iron Posts shown thus:	⊕
BOC - Back of Curb	Fire Hydrants shown thus:	⊙
BOW - Back of Walk	Lamp Standards shown thus:	⊕
Calc. - Calculated	Manholes shown thus:	⊕
Cont. - Contender	Power Poles shown thus:	⊕
Conc. - Concrete	Street Signs shown thus:	⊕
C.S. - Countersink	Electrical Meter shown thus:	⊕
DH - Drill Hole	Gas Meter shown thus:	⊕
Enc. - Encroaches	Property Lines shown thus:	—
ELEV. - Elevation	Right of Ways shown thus:	—
Fd. - Found	Fences shown thus:	—
I. - Iron Post	Overhead Lines shown thus:	—
LOG. - Lip of Gutter	Gasline shown thus:	—
M.A. - Maintenance Access	Sanitaryline shown thus:	—
M.F. - Main Floor	Stormline shown thus:	—
Mk. - Mark	Waterline are shown thus:	—
O.D. - Overland Drainage		
Ret. - Retaining		
R.P. - Roof Peak		
R/W - Right of Way		
W/O - Walkout Basement		
W.W. - Window Well		

This plan represents the best information at the time of survey
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All underground installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

Tree Schedule

Tree	Type	Ø	Spread	Height
1	Coniferous	0.45	6.00	15.00
2	Deciduous	0.60	10.00	12.00
3	Deciduous	0.10	2.00	3.00
4	Deciduous	0.10	2.00	3.00
5	Deciduous	0.10	1.00	2.50
6	Bush	---	1.50	2.00
7	Deciduous	0.05	1.50	3.00
8	Bush	---	3.00	2.50
9	Bush	---	3.00	3.00
10	Deciduous	0.10	1.00	2.50

ALBERTA LAND SURVEYORS
PERMIT NUMBER
P 335
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**DEVELOPMENT
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ON THIS PLAN**

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