

MISCELLANEOUS NOTES:
PROFESSIONAL INVOLVEMENT
- THE FOLLOWING PROJECT MAY NEED TO BE DESIGNED BY A PROFESSIONAL ENGINEER OR ARCHITECT REGISTERED TO PRACTICE IN THE PROVINCE OF ALBERTA UPON THE DETERMINATION OF THE LOCAL BUILDING AUTHORITY AND SECTION 2.4 OF THE 2023 NATIONAL BUILDING CODE - ALBERTA EDITION

NOTE:
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CLIENT:

4 UNIT
DEVELOPMENT
WITH SECONDARY
SUITES

PROJECT:

4 UNIT DEVELOPMENT
WITH SECONDARY SUITE

PROJECT ADDRESS:

1128 18 AVENUE NW
CALGARY, ALBERTA

LOT 13 & 14
BLOCK 12
PLAN 3150 P

SHEET TITLE:

BLOCK PLAN &
STREETSCAPE

DRAWING DATE:

1/4/2026

SCALE:

AS NOTED

DRAWN BY:

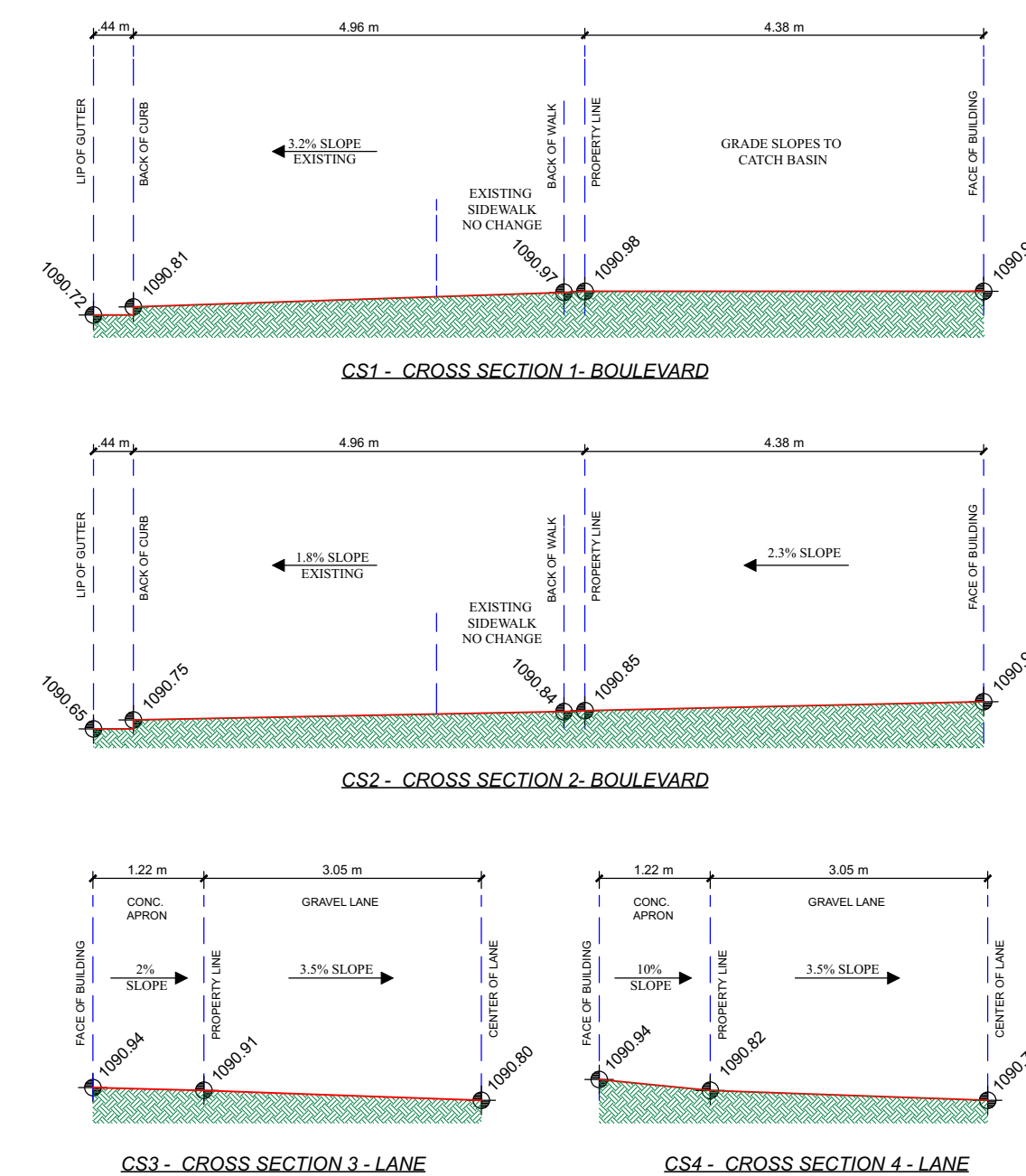
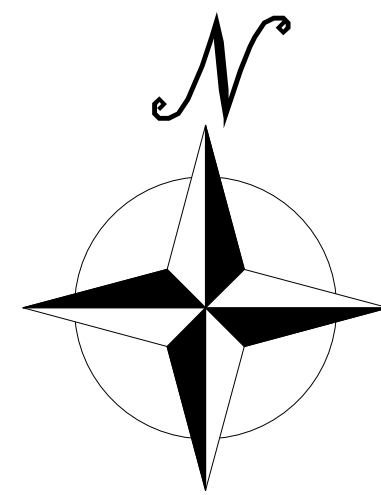
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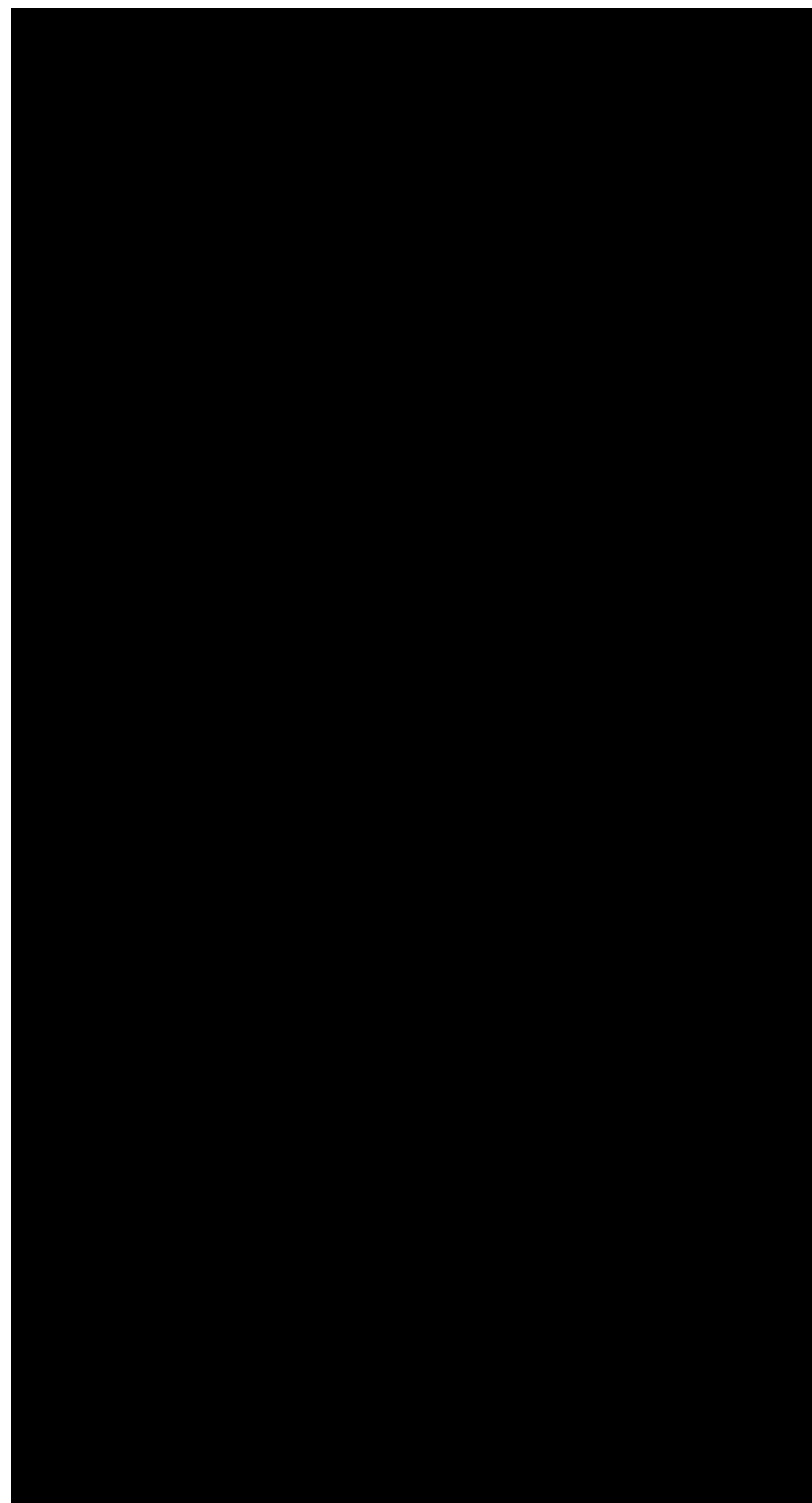
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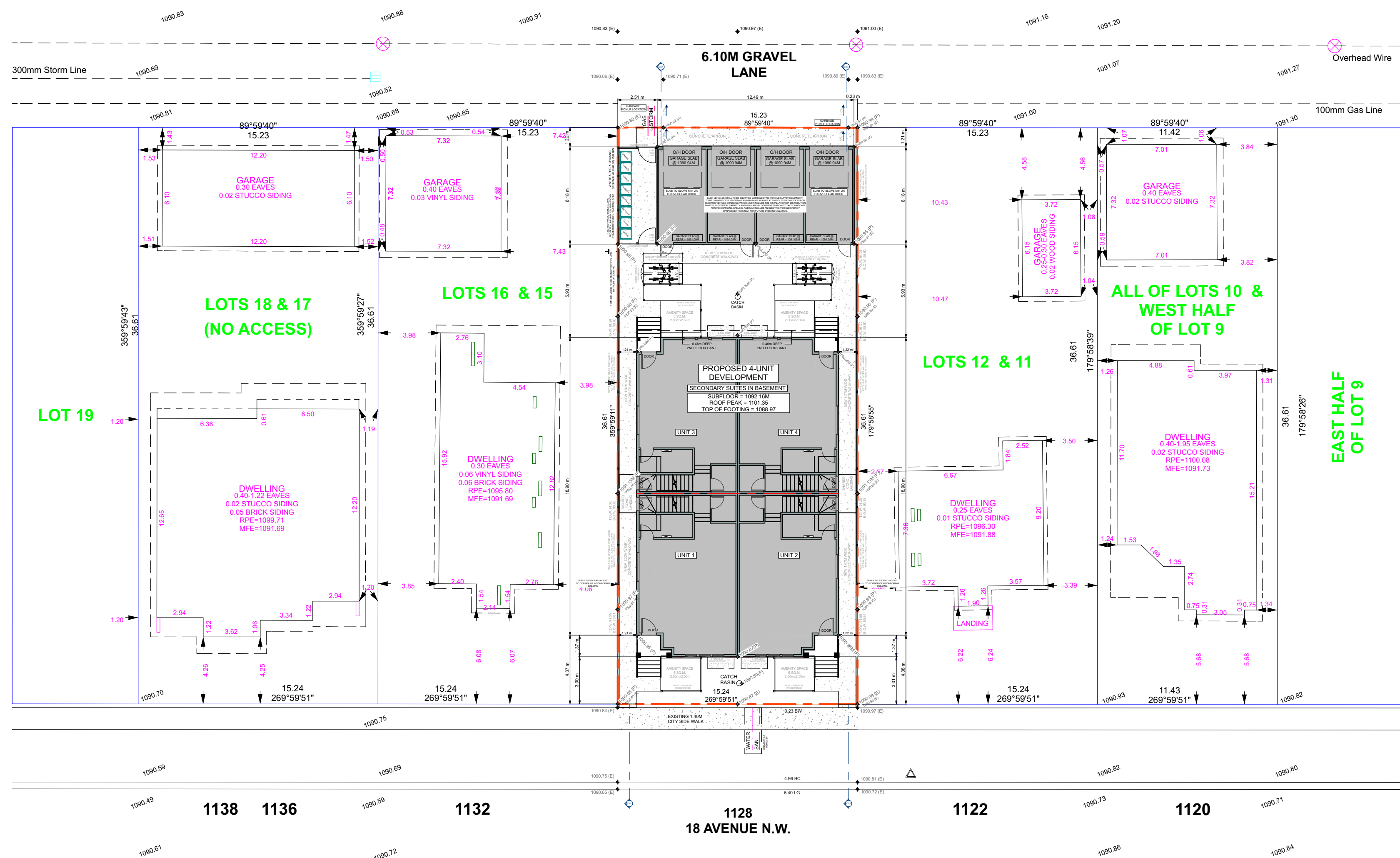
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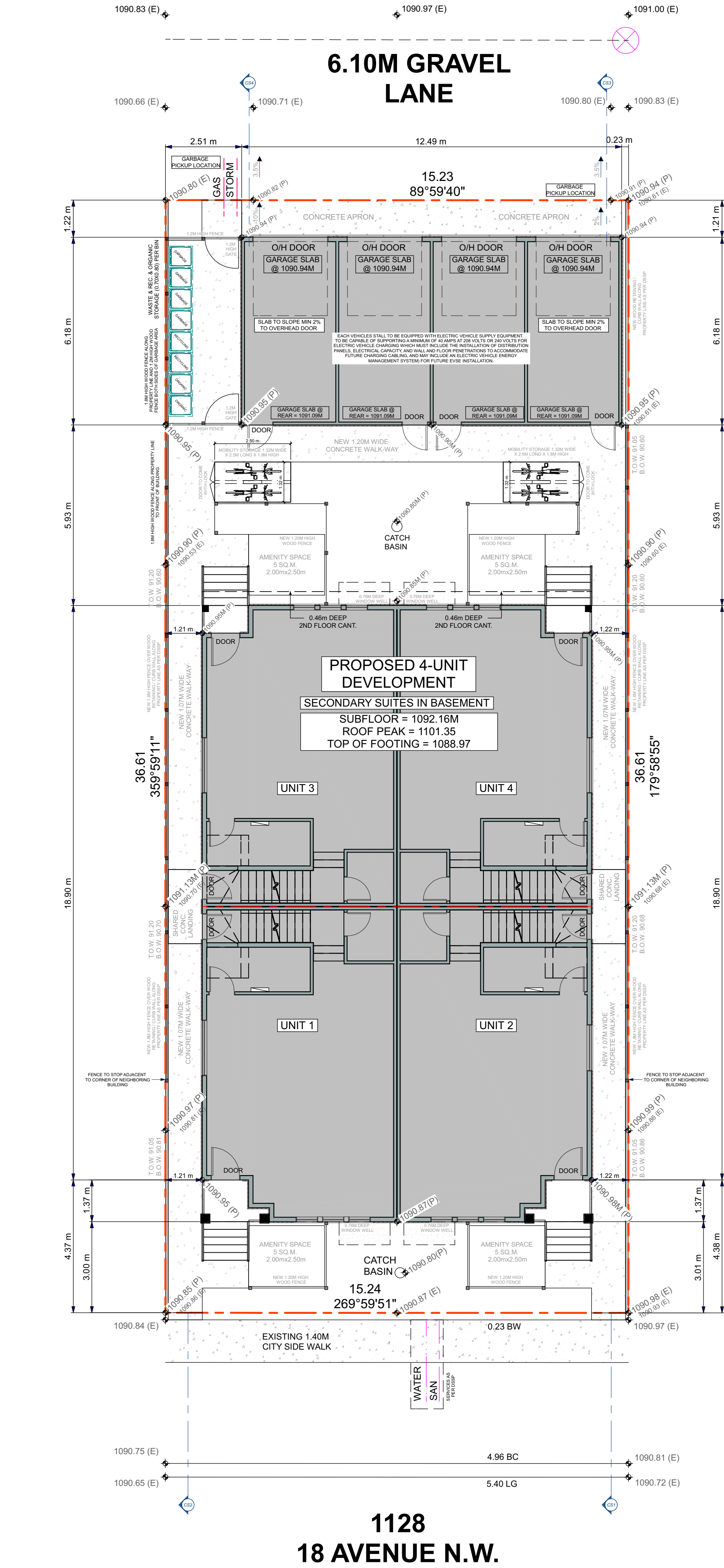


2
A1 SITE CROSS SECTIONS
SCALE = 1:75



1
A1 STREETSCAPE
SCALE = 1:200





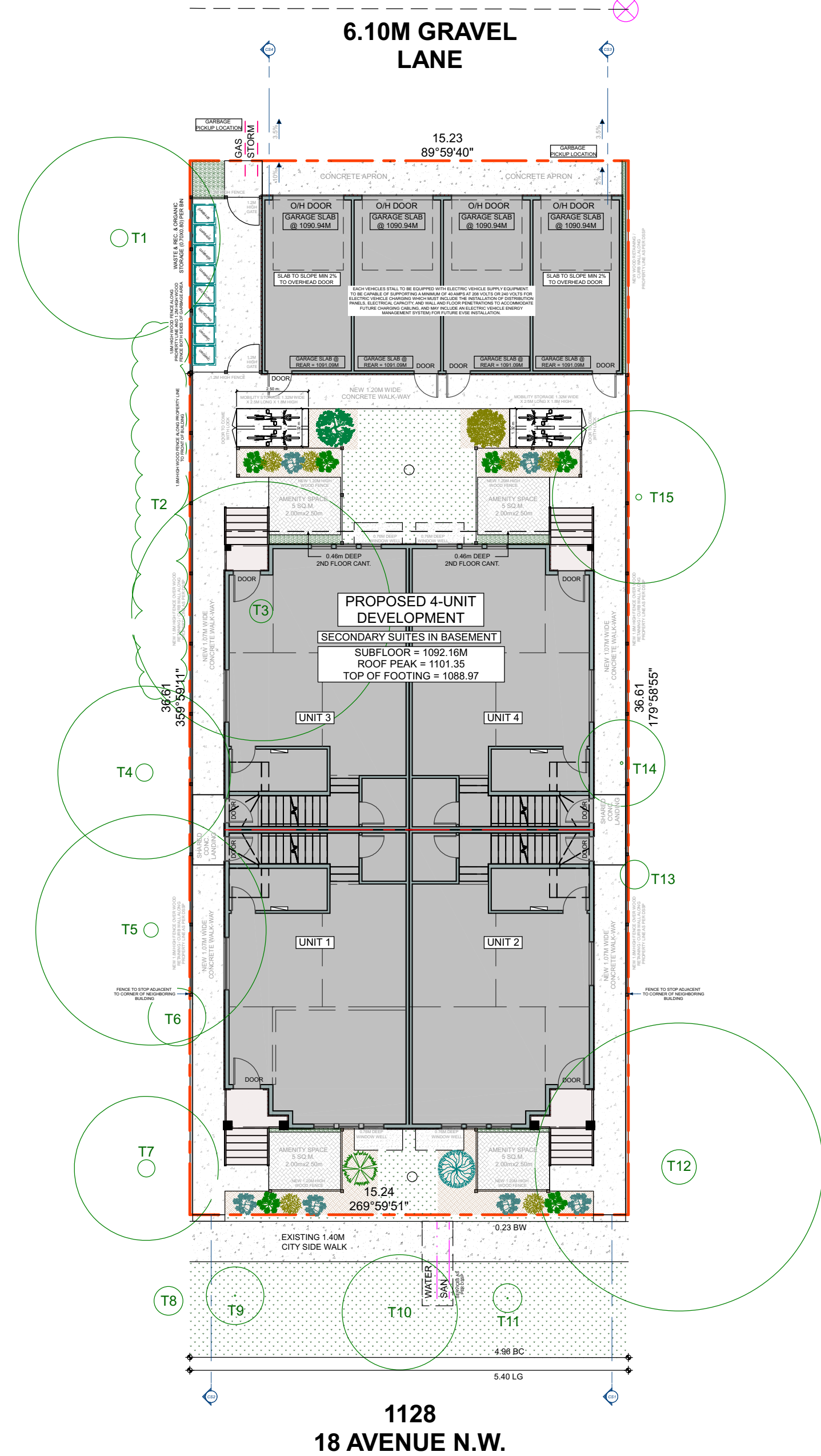
PROJECT INFORMATION				SITE INFORMATION				GROSS FLOOR AREA:			
MUNICIPAL ADDRESS: 1128 18 AVENUE NW, CALGARY, AB				COVERAGE: LOT AREA: 557.50 SQ. M. MAXIMUM COVERAGE: 334.50 SQ. M. PROPOSED BUILDING FOOTPRINT: 251.88 SQ. M. PROPOSED GARAGE FOOTPRINT: 77.13 SQ. M.				ALL AREAS ARE RESIDENTIAL MAIN FLOOR: 251.88 SQ. M. SECOND FLOOR: 263.34 SQ. M. THIRD FLOOR: N/A			
LEGAL DESCRIPTION: LOTS: 13 & 14				TOTAL COVERAGE: 329.01 SQ. M. % OF LOT COVERED: 59.02%				TOTAL GROSS FLOOR AREA (GFA): 515.79 SQ. M. FLOOR AREA RATIO (FAR): 93			
BLOCK: 12				DENSITY: NUMBER OF UNITS: 4 + 4 SECONDARY SUITES PROPOSED UNITS PER HECTARE: 72				PARKING ENCLOSED UNIT PARKING STALLS: 4 OUTDOOR VISITOR PARKING STALLS: N/A TOTAL PARKING STALLS: 4			
PLAN: 3150 P											
ZONING / COMMUNITY: R-CG RESIDENTIAL - GRADE-ORIENTED INFILL											
CAPITOL HILL											
CLIENT: OCEAN HOMES											

LANDSCAPE INFORMATION:				LANDSCAPE INFORMATION			
	TREE:	SIZE:	QTY:	LOT AREA = 557.50 SQ. M. MAX. LOT COVERAGE = 334.50 SQ. M. PROPOSED LOT COVERAGE = 329.01 SQ. M.			
	BLUE SPRUCE (PICEA PUNGENS)	2.0M HEIGHT	1	BUILDING COVERAGE = 329.01 SQ. M. WINDOW WELLS = 5.10 SQ. M. CONCRETE APRON = 15.25 SQ. M. LOCKER FOOTPRINT = 6.60 SQ. M. RETAINING WALLS = 7.18 SQ. M. WASTE STORAGE AREA = 4.48 SQ. M. TOTAL COVERED AREA = 387.62 SQ. M.			
	COLUMNAR SPRUCE (PICEA PUNGENS FASTIGATA)	4.0M HEIGHT	1 (COUNTS AS 2)	TOTAL LANDSCAPE AREA = 189.88 SQ. M. REQUIRED LANDSCAPE AREA = 223.00 SQ. M.			
	USSURIAN PEAR (PYRUS USSURIENSIS)	50mm	1	NOTE: IRRIGATION IS TO BE AUTOMATIC UNDERGROUND SPRINKLER SYSTEM - SPRINKLERS TO BE CONFINED TO TREES AND SHRUBS ONLY AS PER LUB			
	PIN CHERRY (PRUNUS PENNSYLVANICA)	85mm	1 (COUNTS AS 2)	NOTE: MIN. 300MM OF TOP SOIL REQ. IN ALL SOFT LANDSCAPE AREAS			
	SHRUB:	SIZE:	QTY:	NOTE: ALL SOD TO BE A DROUGHT TOLERANT SPECIES			
	CARPET JUNIPER (JUNIPERUS SABINA MONNA)	0.6M	6				
	BEARBERRY (ARCTOSTAPHYLOS UVA-URS)	0.6M	6				
	BLACK LACE ELDERBERRY (SAMBUCUS NIGRA 'EVA')	0.6M	6				

GROUND COVERS:			
	ITEM:	HARD/SOFT	AREA
	SODDED AREA	SOFT	23.23 SQ. M.
	MULCH	SOFT	27.02 SQ. M.
	CONCRETE BROOM FINISH	HARD	101.22 SQ. M.
	LANDING & STAIRS WOOD OR CONCRETE	HARD	13.70 SQ. M.
	AMENITY SPACE STAMPED CONCRETE OR PAVERS	HARD	20.00 SQ. M.
	DECORATIVE STONE	HARD	4.71 SQ. M.

EXISTING TREE SCHEDULE:

Tree No.	Variety	Trunk (DIA. +/-)	Canopy (DIA. +/-)	Height (+/-)	Location	Retain/Remove
T1	Coniferous	0.60	7.00	15.00	In Adjacent Property	Retain
T2	Hedge	-	2.00	2.50	In Adjacent Property	Retain
T3	Deciduous	0.80	9.00	6.00	In Subject Property	Remove
T4	Deciduous	0.60	6.00	10.00	In Adjacent Property	Retain
T5	Coniferous	0.50	8.00	15.00	In Adjacent Property	Retain
T6	Bush	-	2.00	2.50	In Adjacent Property	Retain
T7	Coniferous	0.60	5.00	4.00	In Adjacent Property	Retain
T8	Bush	-	1.00	2.00	In City Property	Remove
T9	Deciduous	0.05	2.00	4.00	In City Property	Remove
T10	Bush	-	4.00	2.00	In City Property	Remove
T11	Deciduous	0.05	1.00	15.00	In Adjacent Property	Retain
T12	Coniferous	1.20	10.00	1.00	In Adjacent Property	Retain
T13	Bush	-	1.00	3.00	In Subject Property	Remove
T14	Deciduous	0.10	3.00	3.00	In Subject Property	Remove
T15	Deciduous	0.20	6.00	5.00	In Adjacent Property	Retain



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SHEET TITLE:

SITE PLAN /
LANDSCAPE PLAN

DRAWING DATE:
1/4/2026

SCALE: DRAWN BY:
AS NOTED IAN

FILE #:
CWD 2026-002

SHEET:

A2

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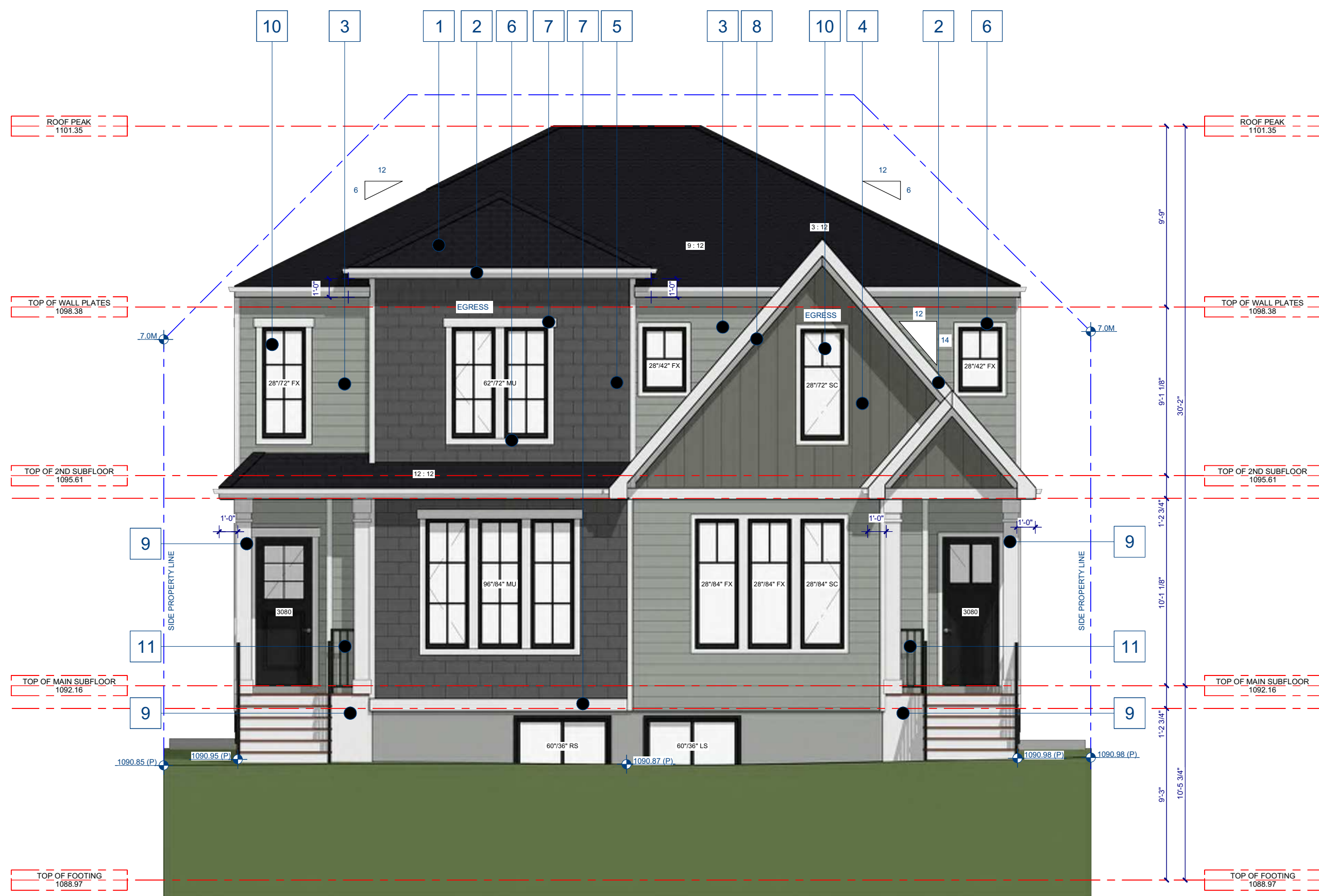
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FILE #:

CWD 2026-002

SHEET:

A5



EXTERIOR KEY NOTES:

1. ASPHALT SHINGLES - BLACK
2. 2X6 ALUMINUM FASCIA AND SOFFIT - WHITE
3. HORIZONTAL HARDIE BOARD SIDING - GREY
4. VERTICAL HARDIE BOARD AND BATON - GREY
5. HARDIE BOARD SHAKES - WHITE
6. 4" SMART BOARD TRIM - WHITE
7. 6" SMART BOARD TRIM - WHITE
8. 4" SHADOW BOARD - WHITE
9. SMART BOARD PANEL - WHITE
10. WINDOWS & DOORS - BLACK
11. ALUMINUM RAILING - BLACK

ELEVATION NOTES:

PROVIDE FLASHING OVER ALL EXTERIOR DOORS AND WINDOWS AND ANY OTHER AREA REQUIRED FOR WEATHER PROOFING

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING
3. IF THERE IS A DISCREPANCY BETWEEN THESE ELEVATIONS AND THE SITE PLAN THE SITE PLAN WILL RULE

WINDOW & DOOR NOTES:

MANUFACTURED DOORS, WINDOWS & SKYLIGHTS SHALL HAVE THE PRODUCTS PERFORMANCE LABELS PER CSA A440S1 2023 NBC (AE) 5.10.2.2.

WINDOW PERFORMANCE REQUIREMENTS
MINIMUM PERFORMANCE GRADE: 15 (PG)
MINIMUM POSITIVE DESIGN PRESSURE: 720 PA
MINIMUM NEGATIVE DESIGN PRESSURE: -720 PA
MINIMUM WATER PENETRATION: 220 PA
RESISTANCE TEST PRESSURE MINIMUM
CANADIAN AIR INFILTRATION/ EXFILTRATION: A2
TERRAIN TYPE: ROUGH

THERMAL CHARACTERISTIC OF FENESTRATION AND DOORS
FENESTRATION & DOORS - MAX U VALUE = 1.61
FENESTRATION & DOORS - MIN. ENERGY RATING = 25

OVERALL THERMAL TRANSMITTANCE OF SKYLIGHTS
SKYLIGHTS = 2.75

1 FRONT ELEVATION

A5 SCALE = 3/16" = 1'-0"



2 LEFT ELEVATION

A5 SCALE = 3/16" = 1'-0"

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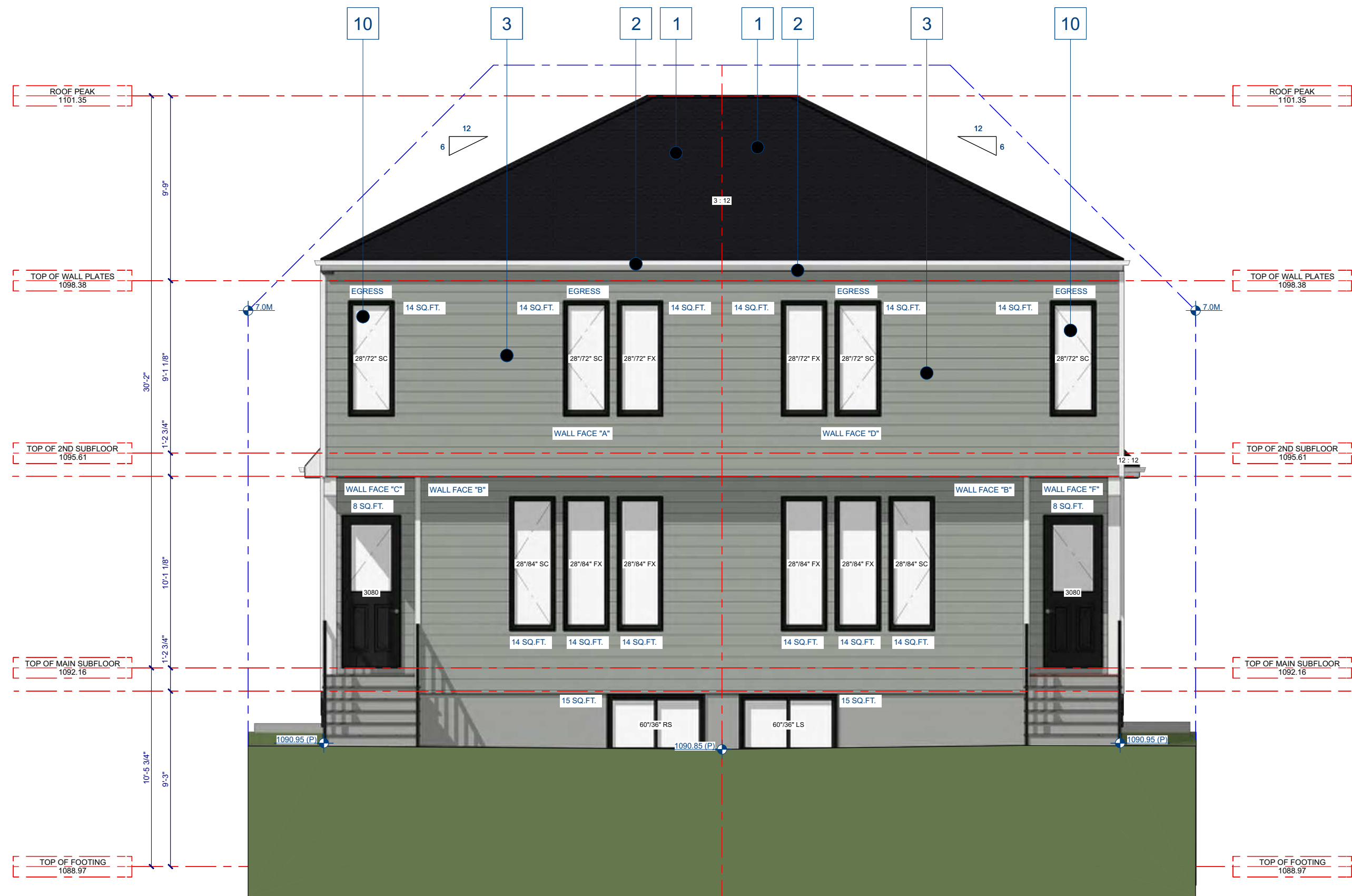
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FILE #:

CWD 2026-002

SHEET:

A6



1
A6 REAR ELEVATION
SCALE = 3/16" = 1'-0"

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MINIMUM NEGATIVE DESIGN PRESSURE:	-720 PA
MINIMUM WATER PENETRATION:	220 PA
RESISTANCE TEST PRESSURE MINIMUM	
CANADIAN AIR INFILTRATION/ EXFILTRATION:	A2
TERRAIN TYPE:	ROUGH

THERMAL CHARACTERISTIC OF FENESTRATION AND DOORS
FENESTRATION & DOORS - MAX U VALUE = 1.61
FENESTRATION & DOORS - MIN. ENERGY RATING = 25

OVERALL THERMAL TRANSMITTANCE OF SKYLIGHTS
SKYLIGHTS = 2.75



2
A6 RIGHT ELEVATION
SCALE = 3/16" = 1'-0"