

BUILDER:

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MAIN FLOOR :	2640.0
UPPER FLOOR:	2840.0
TOTAL AREA:	5480.0
GARAGE :	
BSMT DEV. :	2762.6

**BOWCORE
DEV.**

8012 36 AVE NW
CALGARY, AB
LOT 2, BLOCK D
PLAN 2429HG

[illegible]

STATUS:
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:

DRAWING NAME:
FRONT & REAR
ELEVATION - PROPOSED

CHECKED BY: A.K.	DRAWN BY: A.K.
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SCALE: 1/4" = 1'-0"
PRINTED ON 24x36 PAPER

SHEET #:

A3.0

NOTES:



HIGH REQUIREMENTS:
(HIGH INTENSITY RESIDENTIAL FIRES)

APPLY TO DWELLINGS WHERE THERE IS 2.5m OR LESS PROPERTY LINE

PROVIDE 1/2" TYPE X DRYWALL @ 24" OC OR 1/2" TYPE X WITH STUDS @ 16" OC TO INTERIOR OF FACE AND SIDE WALLS OF AN ENCLOSED PROJECTING EAVES SYSTEM.

PROVIDE 5/8" TYPE X DRYWALL WITH STUDS @ 24" OR 1/2" TYPE X WITH STUDS @ 16" OC TO INTERIOR SIDE OF ASSEMBLY FOR EXTERIOR WALLS FACING THE PROPERTY LINE.

EAVES PROJECTING WITHIN 1.2m (4') FROM THE PROPERTY LINE SHALL HAVE NON-VENTED SOFFITS

ROOF SOFFITS ARE NOT PERMITTED WITHIN 0.45m (1'-6") OF THE PROPERTY LINE.

PROVIDE 1/2" TYPE X DRYWALL TO THE UNDERSIDE OF THE ENCLOSING PROJECTION WITHIN 1.2m (4') OF PROPERTY LINE AND IS GREATER THAN 0.6m (2'-0")

COMBUSTIBLE SIDING OR EIFS SYSTEMS ON WALL ASSEMBLIES WITHIN 1.2m (4') OF THE PROPERTY LINE SHALL BE APPLIED DIRECTLY OVER 12.7mm (1/2")

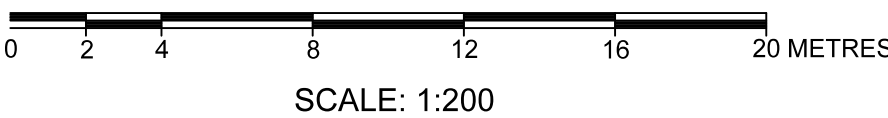
SITE PLAN

MUNICIPAL ADDRESS:
8012 36 AVENUE N.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 2
BLOCK D
PLAN 2429 HG

PREPARED FOR: BowCore Developments

DATE OF SURVEY: December 05th, 2025

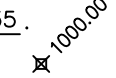


LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

'2F.'-Second Floor
'BC'-Back of Curb
'BW'-Back of Walkway
'Cant.'-Cantilever
'Conc.'-Concrete
'Elev.'-Elevation
'Enc.'-Encroach(es)
'L'-Length of Arc
'LO'-Lip of Outter
'M.F.'-Main Floor
'MFE'-Main Floor Elevation
'R'-Radius
'R/W'-Right of Way
'Ret.'-Retaining
'RPE'-Roof Peak Elevation
'WB'-Bottom of Wall
'WT'-Top of Wall

NOTE:

- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999736
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 195735.
- Existing spot elevations are shown thus:  500.00
- The Certificate of Title 181 268 130 which was Searched on the 14th day of February, 2025, and includes the following instruments:
No Registrations.
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 31, 43, 67 & 100 in Sec.34-Twp.24-Rge.2-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø)	Canopy (Ø)	Height (S)	Location
T1	Bush	1.00	1.00	1.50	In Subject Property
T2	Hedge	-	1.00	1.50	In Subject Property
T3	Bush	1.00	1.50	1.50	In Subject Property
T4	Deciduous	0.70	8.50	9.00	In Subject Property
T5	Hedge	-	3.00	4.00	On Property Line
T6	Coniferous	0.75	10.00	15.00	In Subject Property

