



PROPOSED COMMERCIAL & INDUSTRIAL DEVELOPMENT: ISSUED FOR DEVELOPMENT PERMIT

DRAWING LIST

ARCHITECTURAL

- A0.00 - COVER SHEET
- A0.01 - EXISTING SITE PHOTOS
- A0.02 - EXISTING SITE PHOTOS
- A0.03 - RENDERING FOR NOTICE POSTING
- A0.04 - RENDERINGS
- A1.00 - EXISTING SITE PLAN
- A1.01 - PROPOSED SITE PLAN
- A1.02 - PROPOSED FIRE TRUCK ROUTE
- A1.03 - PROPOSED W&R TRUCK ROUTE
- A1.04a - PROPOSED VEHICLE ACCESS ROUTE 01
- A1.04b - PROPOSED VEHICLE ACCESS ROUTE 02
- A1.05 - PROPOSED PASSENGER PARKING ROUTE
- A1.06 - PROPOSED LOADING TRUCK ROUTE
- A1.07 - PROPOSED LANDSCAPE PLAN
- A1.08 & A1.09 - YARD DETAILS
- A2.01 - PROPOSED MAIN FLOOR PLAN
- A2.02 - EAST & WEST ELEVATION
- A2.03 - NORTH & SOUTH ELEVATION

b2d

architecture Inc.

214 - 3016 5 Ave NE | Calgary, AB | T2A 6K4

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addis@b2darchitecture.ca

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SIGN / SEAL

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Revision Schedule			
Rev. No.	Revision	By	Date

**WATER TECH
PLUMBING &
HEATING LTD.
PROPOSED COMM.
& INDUST'L DEV'T**

5277 - 28 AVE. SE
CALGARY, AB

COVER PAGE

JOB NUMBER			
SCALE		DATE	
		2025-12-23	
DRAWN		CHECKED	
ED		AG	
APP'D		REV. NO	

DWG NUMBER

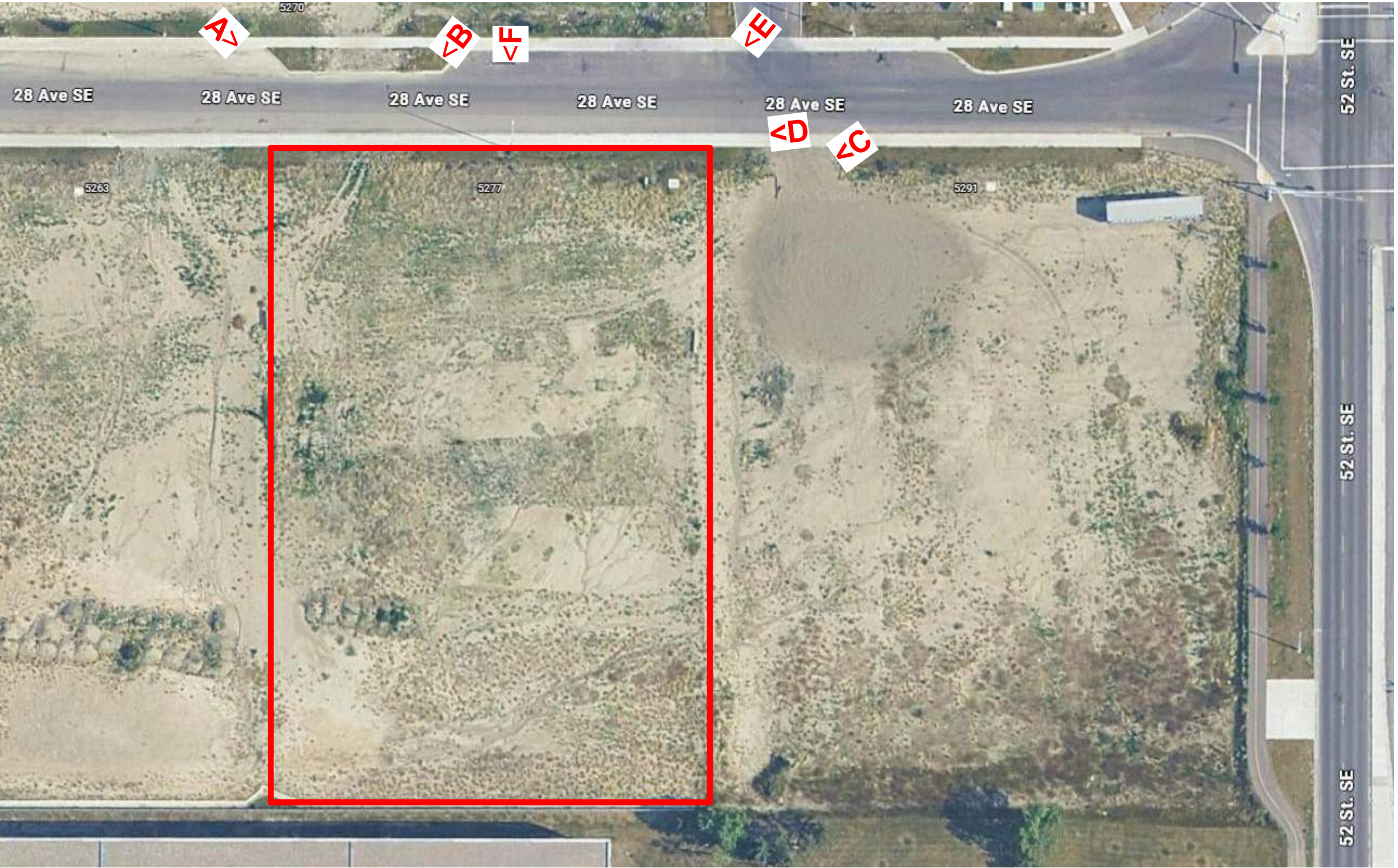
A0.00



A - NORTHWEST CORNER VIEW



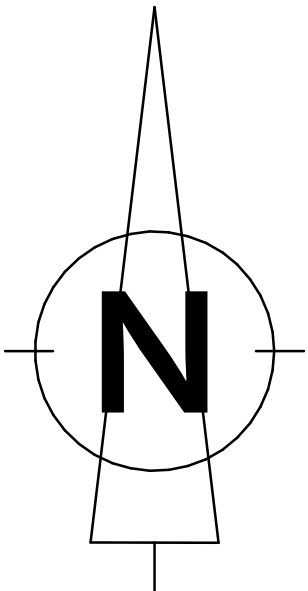
B - NORTHWEST VIEW



LOCATION PLAN SCALE: N.T.S.



C - NORTHEAST CORNER VIEW



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& INDUST'L DEV'T

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CALGARY, AB

EXISTING SITE

PHOTOS

JOB NUMBER

SCALE

DATE

DRAWN

CHECKED

APP'D

REV. NO

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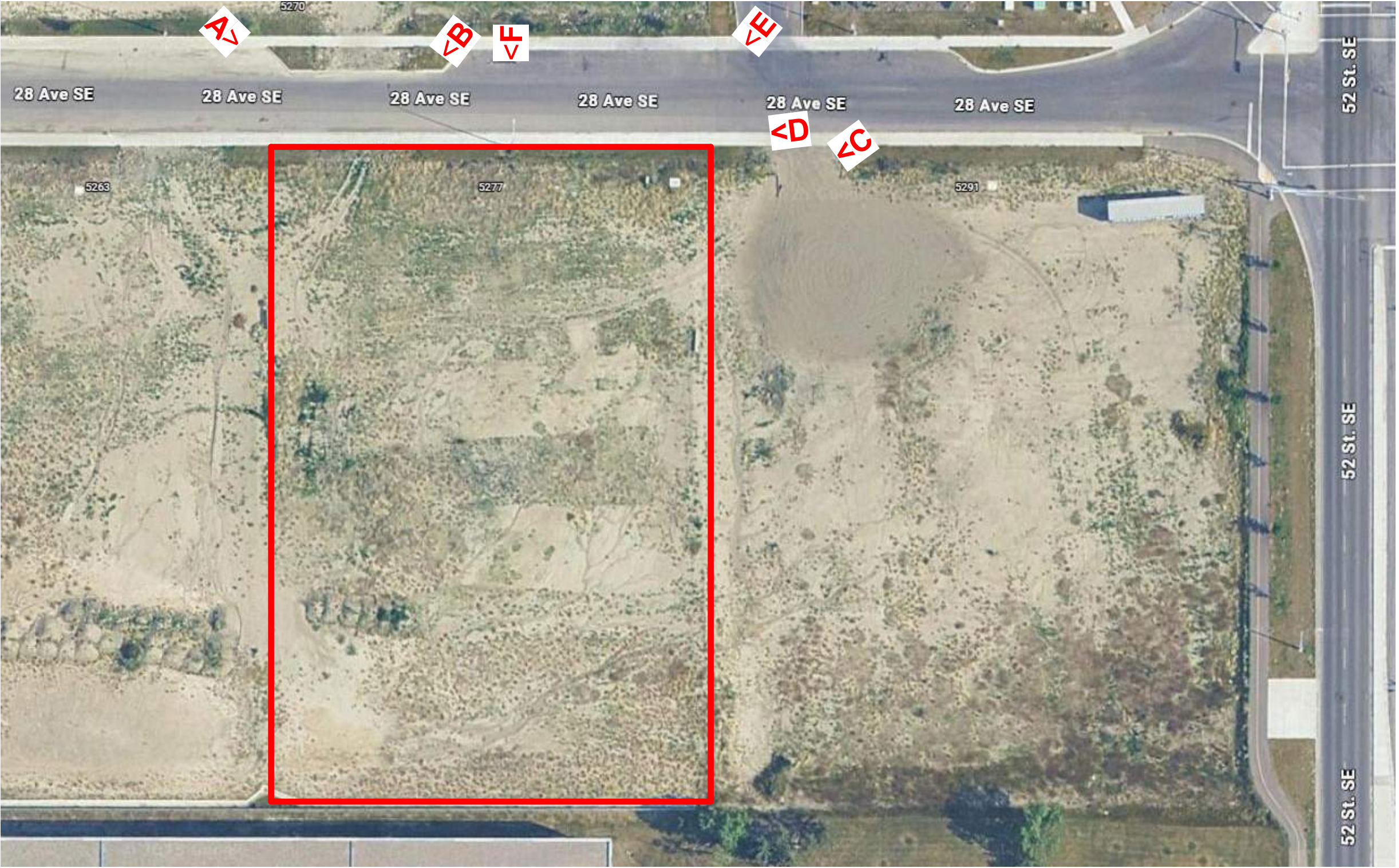
A0.01



D - EAST VIEW



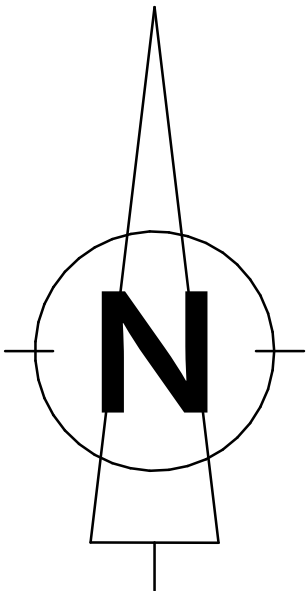
E - NORTHEAST VIEW



LOCATION PLAN SCALE: N.T.S.



F - NORTH VIEW





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5277 - 28 AVE. SE
CALGARY, AB

**EXISTING SITE
PHOTOS**

JOB NUMBER	
SCALE	DATE 2025-12-23
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A0.02



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WATER TECH
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PROPOSED COMM.
& INDUST'L DEV'T

5277 - 28 AVE. SE
CALGARY, AB

RENDERING FOR
NOTICE POSTING

JOB NUMBER			
SCALE		DATE	
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APP'D		REV. NO	
DWG NUMBER			
A0.03			



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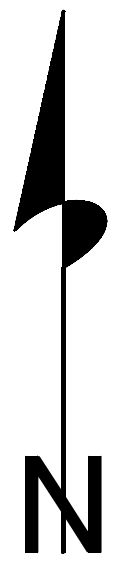
5277 - 28 AVE. SE
CALGARY, AB

RENDERINGS

JOB NUMBER			
SCALE	DATE 2025-12-23		
DRAWN ED	CHECKED AG		
APP'D	REV. NO		

DWG NUMBER

A0.04



Fire Hydrant

Fire Hydrant

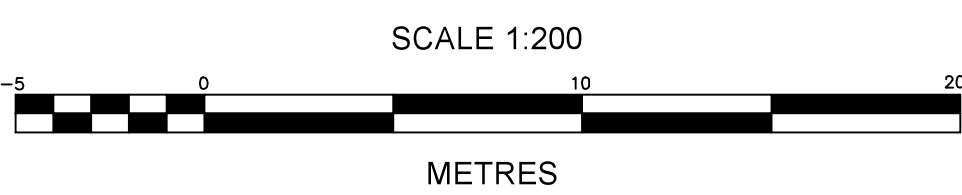
CITY OF CALGARY
ALBERTA
PLAN SHOWING
TOPOGRAPHIC SURVEY
AFFECTING
UNIT 13, PLAN 201 2087
WITHIN
S.E. 1/4 SEC.10-24-29-W4M

NOTES:
Distances shown are in metres and decimals thereof.
All Elevations are geodetic elevations and are derived from ASCM 2005/51. Elevation = 1051.737
Contour Interval = 0.25m

PROPERTY DESCRIPTION:

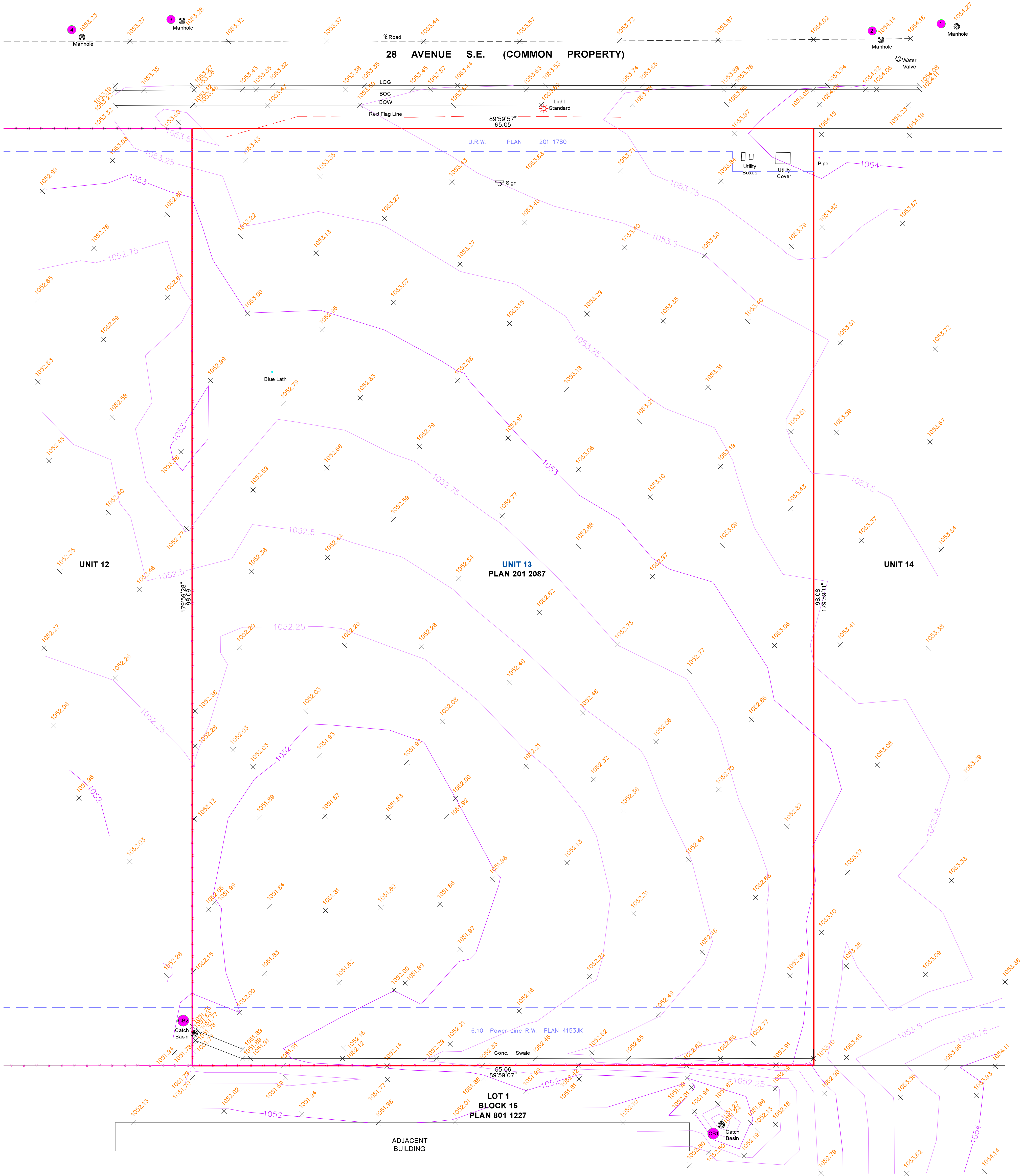
MUNICIPAL ADDRESS:
5277 - 28 AVENUE S.E.
CALGARY, ALBERTA

DATE OF SURVEY:
JULY 23, 2025

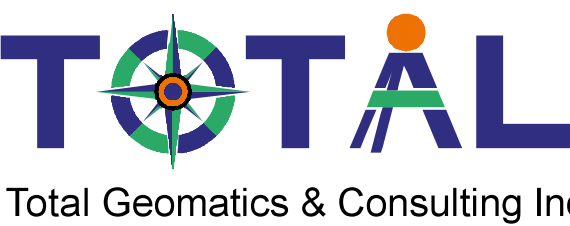


- LEGEND
- Spot elevations are shown thus
 - Subject Property is shown thus
 - Eave Fascia are shown thus
 - Fences are shown thus
 - Building foundation shown thus
 - Overhead Utilities shown thus
 - Gas line shown thus
 - Sanitary Lines shown thus
 - Storm lines shown thus
 - Water lines shown thus
 - AGT Lines shown thus
 - E.L. Lines shown thus
 - Coniferous trees are shown thus
 - Deciduous trees are shown thus
 - Shrubs are shown thus
 - Tree Canopy shown thus
 - Power Poles shown thus
 - Manhole shown thus
 - Light Standards shown thus
 - Sign shown thus
 - Catch Basins shown thus
 - Water Valves shown thus
 - Fire Hydrant shown thus

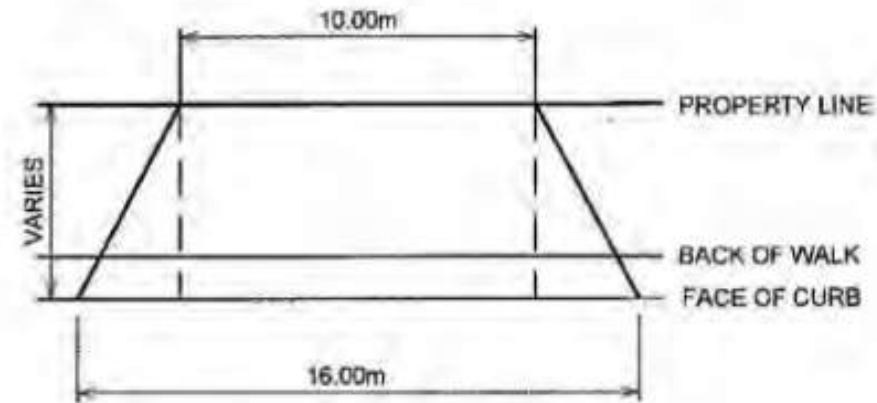
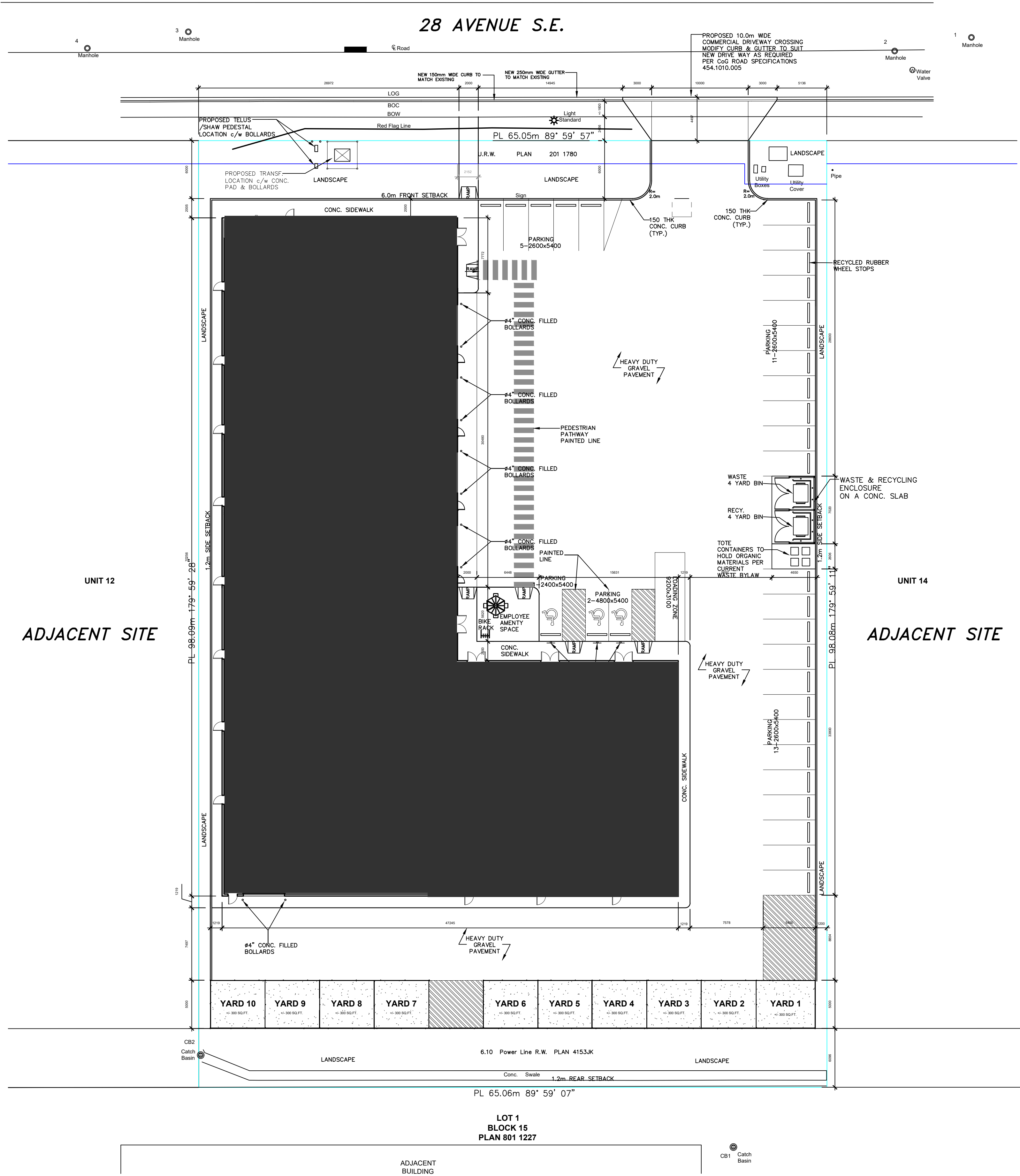
INVERT TABLE			
MANHOLE	ELEVATION	INVERT	DIA
1	1054.27	N. INV=1051.83	0.3
		W. INV=1051.68	0.5
2	1054.14	N. INV=1050.89	0.2
		W. INV=1050.62	0.3
3	1053.28	N. INV=1051.73	0.1
		N.W. INV=1051.69	0.3
		W. INV=1051.38	0.5
		E. INV=1051.40	0.5
4	1053.23	W. INV=1050.33	0.3
		S. INV=1050.44	0.2
		E. INV=1050.35	0.3
CATCH BASIN			
1	1051.24	S.E. INV=1050.17	0.3
2	1051.63	NOT ACCESSIBLE	



DISCLAIMER:
This plan represents best information at the time of Survey.
Total Geomatics and Consulting Inc. and its employees take
no responsibility for the location of any Underground Conduits,
Pipes or any other facilities whether shown on or omitted from this plan.
All underground installation should be located by the
respective authorities prior to Construction.
CALL ALBERTA ONE CALL: 1-800-242-3447



NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC.	DATE: August 12, 2025
DIN BY/CD	89 ROYAL CREST VIEW N.W., CALGARY	JOB NO: T025-0280
CK'D BY:NB	750 SW6, ALBERTA, PH: (403) 478 3639	ACAD FILE NO: T025-0280DP

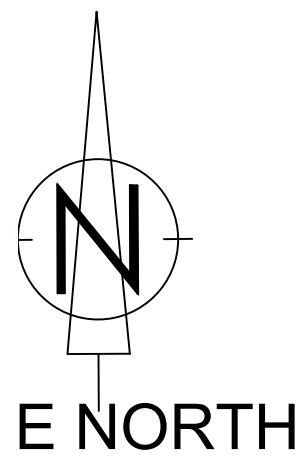


10.00m COMMERCIAL

- FOR USES SUCH AS LARGE DEVELOPMENTS, SHOPPING CENTRES, APARTMENT COMPLEXES ETC.
- FOR TRUCK ACCESS
- TWO WAY TRAFFIC

- NOTES:**
1. ALL SIGNALIZED DRIVEWAYS SHALL HAVE CURB RETURNS.
 2. ALL DRIVEWAYS ARE TO BE TIE TO BACK OF WALK. IF NO WALK IS REQUIRED THEN THE DRIVEWAY IS TO BE TIE TO BACK OF CURB. THE ADJACENT DEVELOPMENT IS RESPONSIBLE FOR THE TIE.
 3. THE DRIVEWAY FLARE SHALL NOT EXTEND BEYOND THE PROJECTION OF THE COMMON PROPERTY LINE.
 4. DRIVEWAY DIMENSIONS INDICATED ARE MINIMUMS.
 5. DRIVEWAY FLARES CAN BE INCREASED TO FACILITATE MOVEMENT OF LARGE TRUCKS.
 6. EXIT DIRECTIONAL TO BE REVERSE OF 7.20m OR 10.00m ENTRANCE DIRECTIONAL.
 7. FOR BACK TO BACK DIRECTIONAL DRIVEWAYS, AN ISLAND IS REQUIRED BETWEEN THE TWO DRIVEWAYS. THE ISLAND SHALL BE CONSTRUCTED WITH STANDARD CURB AND GUTTER WITH CONCRETE FILL.

2/A1.01 - TYPICAL DRIVEWAY LAYOUT FOR MONOLITHIC SIDEWALK (NTS)
ROADS SPEC 454.1010.005



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WATER TECH PLUMBING & HEATING LTD. PROPOSED COMM. & INDUST'L DEV'T

5277 - 28 AVE. SE
CALGARY, AB

PROPOSED SITE PLAN

JOB NUMBER

SCALE
1:250

DATE
2025-12-23

DRAWN
ED

CHECKED
AG

APP'D

REV. NO

DWG NUMBER

A1.01

1. ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT CONC. CURB RADIUS WHICH ARE NOTED IN METERS.

2. ALL CONSTRUCTION WITHIN THE PROPERTY LINES IS NEW U.N.O.

3. DRAWING IS NOT TO BE SCALED.

4. THIS SITE PLAN WAS CREATED FROM SURVEY DRAWING FILE NO TG25-0280 BY TOTAL GEOMATICS & CONSULTING INC. THE SURVEY CONDUCTED ON JULY 23, 2025. CONTRACTOR TO CONFIRM ALL EXISTING SITE INFORMATION PRIOR TO START OF CONSTRUCTION. SHOULD SUBSTANTIAL DISCREPANCIES BECOME APPARENT, CONTACT THE CONSULTANT.

5. ALL DIMENSIONS TO BE CHECKED & VERIFIED ON THE SITE, BY SURVEY, PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING.

6. CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION ON MUNICIPAL PROPERTY IS TO THE LATEST MUNICIPAL STANDARDS.

7. THE TRAVEL PATH OF THE WASTE AND RECYCLING VEHICLE TO BE PAVED WITH ASPHALT SURFACE DESIGN TO STRUCTURALLY SUPPORT A MINIMUM OF 25,000KG LOAD.

8. ELECTRICAL SUPPLY TO FREESTANDING SIGN TO BE LOCATED UNDERGROUND.

9. WHEEL STOPS TO BE CONSTRUCTED FROM RECYCLED RUBBER & BE A MAXIMUM 100mm HIGH. WHEEL STOPS TO BE POSITIONED 600mm FROM THE FRONT OF THE PARKING STALL (AS PER CITY OF CALGARY STANDARDS). WHEEL STOPS TO BE SECURED TO THE ASPHALT SURFACE AS PER THE MANUFACTURER'S RECOMMENDATIONS.

LEGAL DESCRIPTION
PLAN 210001 BLOCK LOT UNIT 13

MUNICIPAL ADDRESS
277 - 28 AVE SE
CALGARY, ALBERTA

ZONING
INDUSTRIAL COMMERCIAL - IC, LAND USE BYLAW 192007

PERMITTED USES
GENERAL INDUSTRIAL - LIGHT;
(LUB PART 4, DIV 2, 20.103) THE WAREHOUSING, SHIPPING AND DISTRIBUTION OF GOODS, INCLUDING THE FUNCTIONS OF REPACKAGING AND WHOLESALE, PROVIDED THE GROSS FLOOR AREA OF THE WAREHOUSE IS LESS THAN 20,000 SQUARE METRES;

PROPOSED USE
COMMERCIAL & INDUSTRIAL BASE BUILDING, GROSS FLOOR AREA = 2,287m²

LOT AREA
46,399m²

LOT COVERAGE
25.5%

FLOOR AREA RATIO (LUB PART 4, DIV 2, 911)
1.0 MAX PERMITTED, 0.35 PROPOSED

BUILDING HEIGHT (LUB PART 4, DIV 2, 912)
NO MAXIMUM HEIGHT LIMIT, 8.87m PROPOSED

SITE AREAS
BUILDING AREA = 2,287 m²
LANDSCAPE AREA = 5,611.33m²
TOTAL AREA = 7,900m²

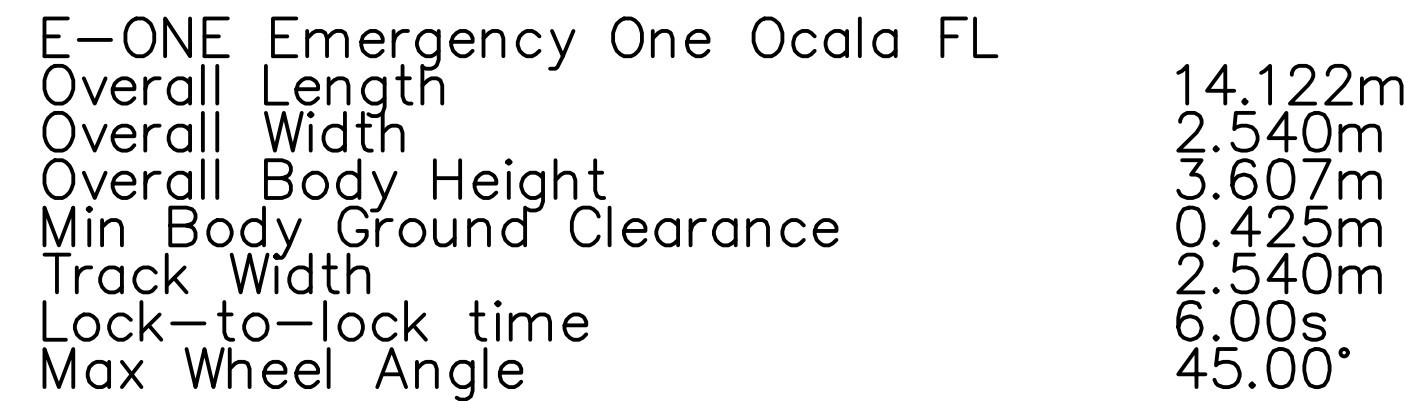
BUILDING SETBACKS
FRONT SETBACK TO STREET = 6.0m
REAR SETBACK TO 1-2 PARCELS = 1.2m
SIDE SETBACK TO 1-2 PARCELS = 1.2m

PARKING (LUB PART 3, DIV 6, 12(1))
REQUIRED: THE MINIMUM PARKING STALLS REQUIRED FOR CALCULATING BARRIER FREE STALLS IS:
GENERAL INDUSTRIAL - LIGHT: 1/1000m² OF GROSS USABLE FLOOR AREA.
NOTE: GROSS USABLE FLOOR AREA OF THE BUILDING WERE TAKEN BY EXCLUDING THE AREA USED FOR LOADING/UNLOADING.
2181m² / 100 = 21.81 = 22 STALLS
BASED ON A/C TABLE 8.2.1
1 BARRIER FREE STALL REQUIRED FOR 2-10 PARKING STALLS
PROVIDED: 29 REGULAR STALLS (2800 x 5400)
3 BARRIER FREE STALLS (2400 x 5400)
TOTAL = 32 STALLS

LOADING STALLS (LUB PART 3, DIV 6, 12(3)(a))
REQUIRED: LOADING ZONE REQUIRED FOR INDUSTRIAL:
1.0 LOADING STALL PER 500m² OF GROSS FLOOR AREA

LOADING ZONE PROVIDED:
1 LOADING STALL (2100 x 1900)

BICYCLE PARKING STALLS
REQUIRED: A MINIMUM OF 1.0 BICYCLE PARKING STALLS — CLASS 2 PER 200.0 SQUARE METRES OF GROSS USABLE FLOOR AREA.



2 FIRE TRUCK PROFILE
A1.02

FIRE ACCESS ROUTE NOTE:

1. THE HATCHED AREA INDICATES THE MINIMUM 6.0m ACCESS ROUTE
2. THE FIRE ACCESS ROUTE WILL BE DESIGNED TO SUPPORT A 38,556KG/85,000 LBS LOAD AND DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517 KPA (75 PSI) OVER A 2.0'X2.0' (4 SQ. FT.) AREA. OWNER/CONTRACTOR TO ENSURE THE ACCESS ROUTE DESIGN TO MEET THIS REQUIREMENT OF THE DETAIL DESIGN THAT WILL BE PROVIDED FOR THE CONSTRUCTION.

WATER SUPPLY FOR FIRE FIGHTING NOTE:
THE PROPOSED BUILDING WILL BE CLASSIFIED AS GROUP F2 MAJOR OCCUPANCY (LOW HAZARD INDUSTRIAL OCCUPANCY), WHICH FALLS UNDER 3.2.2.85 CLASSIFICATION OF THE NATIONAL BUILDING CODE OF CANADA - 2023 (A/E).
BASED ON THIS CLASSIFICATION, THE BUILDING SIZE, AND THE NUMBER OF STOREYS, A SPRINKLER SYSTEM AND A FIRE DEPARTMENT CONNECTION ARE NOT REQUIRED.
THE EXISTING FIRE HYDRANT, LOCATED WITHIN 90 METERS OF THE PRINCIPAL ENTRANCE, WILL BE USED AS THE PRIMARY WATER SUPPLY FOR FIRE FIGHTING PURPOSES.
A FIRE FLOW LETTER, PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER, WILL BE PROVIDED.



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[illegible]

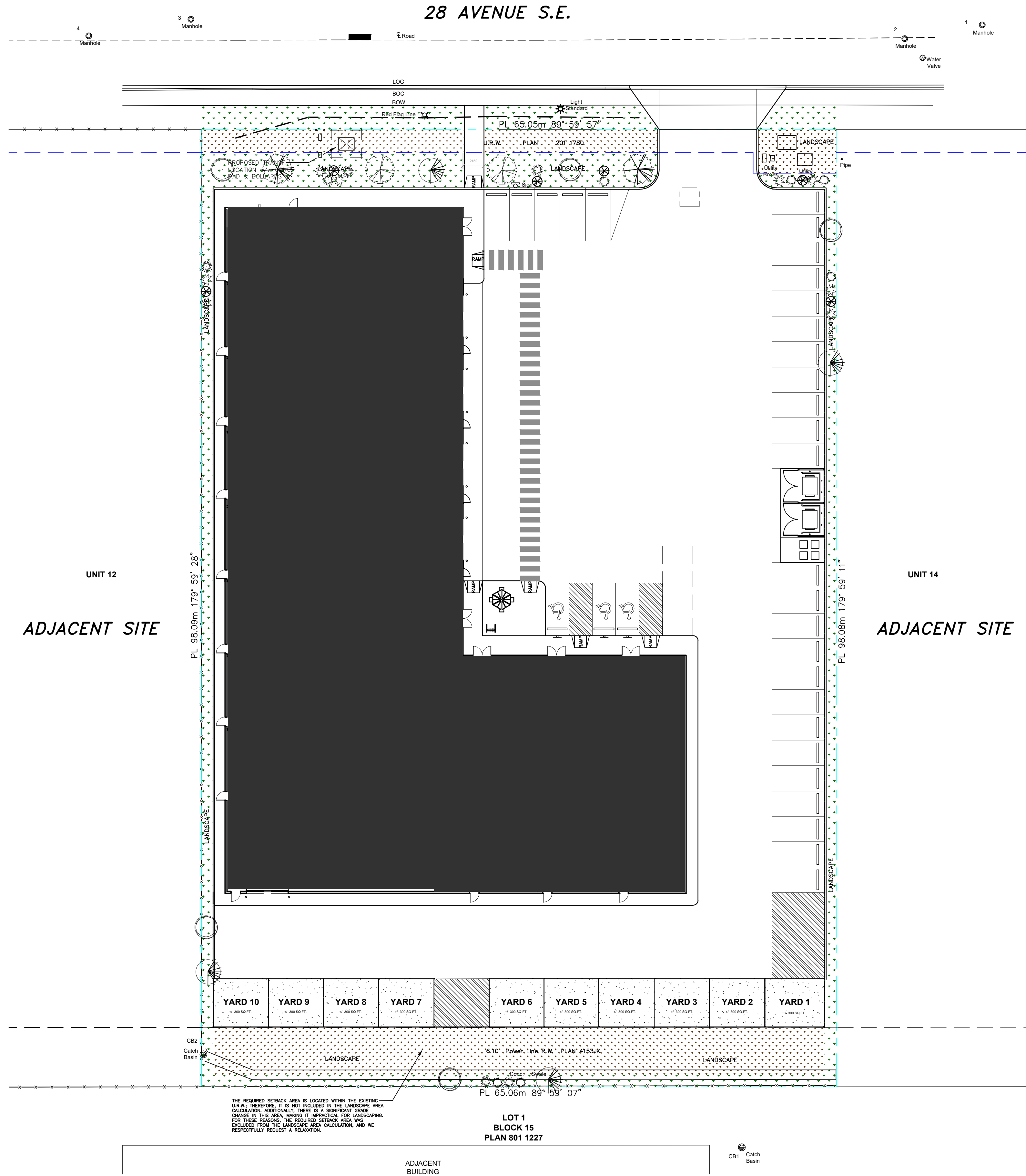
**WATER TECH
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5277 - 28 AVE. SE
CALGARY, AB

PROPOSED FIRE TRUCK ACCESS ROUTE

JOB NUMBER	
SCALE 1:250	DATE 2025-12-23
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A1.02



GENERAL NOTES:

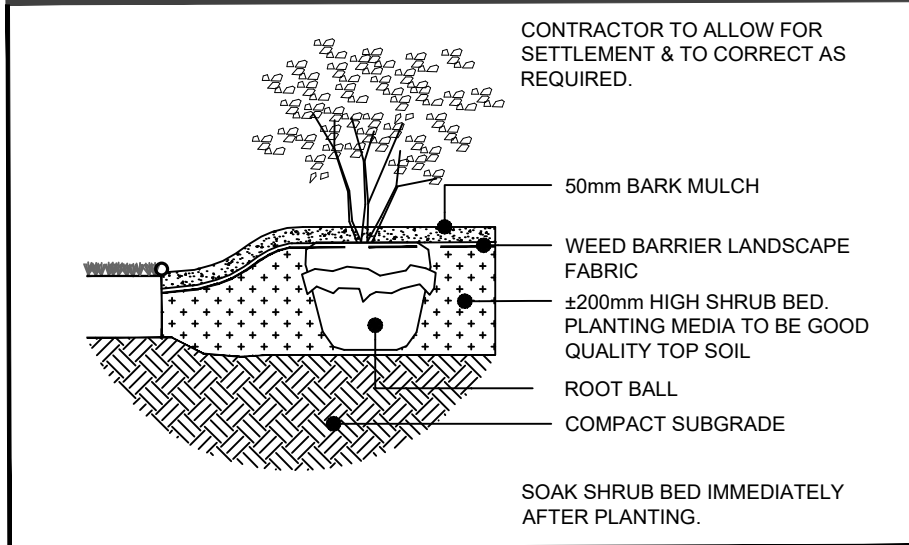
1. ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
2. ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
3. ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
4. THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES AND WALLS FOR DURATION OF CONSTRUCTION.
5. ALL OFF-SITE WORKS TO CONFORM TO CALGARY CONSTRUCTION STANDARDS.
6. ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH LOW WATER IRRIGATION SYSTEM. THE GENERAL CONTRACTOR TO PROVIDE ALL THE NECESSARY IRRIGATION DETAIL PLANS OR SHOP DRAWINGS THAT COMPLY WITH THE REQUIREMENTS OF THE CITY OF CALGARY LAND USE BYLAW, AND TO BE REVIEWED BY THE CONSULTANTS PRIOR TO THE INSTALLATIONS.
7. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
8. ALL TREE PITS & SHRUB BEDS TO BE PREPARED TO 450mm DEPTH (MIN.) OR TO DESIRED PLANTING DEPTH USING COMPOST MIX:
 - 1/3 SCREENED TOPSOIL
 - 1/3 PEAT MOSS
 - 1/3 WELL ROTTED MANURE
9. FINISHED GRADE TO BE COMPLETE w/ 75mm THICK DOUGLAS FIR BARK MULCH.
10. PROVIDE BLACK DIAMOND EDGING BETWEEN SOFT AREA(S) AND ADJOINING TREE PITS AND SHRUB BEDS.
11. STAKE ALL TREES USING GUYWIRES OR 50x50x2400mm LONG, OR LONGER, CEDAR STAKES AND FLEXIBLE STRAPS.
12. CONTRACTOR TO CONTACT 'ALBERTA ONE' TO LOCATE ALL UTILITIES IN FIELD PRIOR TO CONSTRUCTION.
13. ALL PLANT MATERIAL TO HAVE A ONE YEAR MAINTENANCE & WARRANTY PERIOD STARTING FROM THE APPROVAL OF THE CONSTRUCTION COMPLETION DATE
14. ONLY TREES AND SHRUBS MUST BE IRRIGATED AND THE EXTENT OF WATER DELIVERY MUST BE CONFINED TO THE TREE AND SHRUB AREA.
15. TREES AND SHRUBS THAT HAVE SIMILAR WATER CONSUMPTION REQUIREMENTS ARE TO BE GROUPED TOGETHER.
16. MINIMUM SIZE OF DECIDUOUS TREES CALLIPER IS 50mm. AT LEAST 50.0% OF THE TREES MUST HAVE MINIMUM CALLIPER OF 75mm AT THE TIME OF PLANTING.
17. CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0 METRES AND AT LEAST 50.0 PER CENT OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0 METRES IN HEIGHT AT THE TIME OF PLANTING.

PLANT LEGEND:

DECIDUOUS TREES					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SPREAD
	5	POPULUS TREMULOIDES	TREMBLING ASPEN	12m HEIGHT	2.0M
	4	MALUS JEFSPIRE	PURPLE SPIRE COLUMNAR CRABAPPLE	8m HEIGHT	2.4m
ALL 13 OF DECIDUOUS TREES MUST BE MIN. OF 50mm CALLIPER. 3 OF TREMBLING ASPEN & 2 OF PURPLE SPIRE COLUMNAR MUST BE A MIN. 75mm CALLIPER AT THE TIME OF PLANTING.					
CONIFEROUS TREES					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SPREAD
	2	PINUS CONTORTA	LODGE POLE PINE	20.0M	6.0M
	2	PICEA PUNGENS	COLORADO SPRUCE	18.0M	5.0M

DECIDUOUS SHRUBS					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SPREAD
	8	HELIOTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	0.9M HEIGHT	0.9M
	6	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	0.9M HEIGHT	0.9M
	6	CORNUS SERICIA 'FARROW'	ARCTIC FIRE DOGWOOD	0.90M	0.9M
	6	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1.5M HEIGHT	0.9M
ALL 26 SHRUBS MUST BE MIN. HEIGHT OR SPREAD OF 0.6 METERS AT THE TIME OF PLANTING.					

SHRUB PLANTING DETAIL



SITE INFORMATION

PLAN:2012087.BLOCK:LOT:UNIT 13 I-C INDUSTRIAL - COMMERCIAL
CALGARY, ALBERTA

5277 - 28 AVENUE S.E. LOT AREA: ±6,381m²
CALGARY, ALBERTA

LANDSCAPE REQUIREMENTS

964 (11&4)
WHERE A SETBACK AREA SHARES A P/L WITH A STREET OR A PARCEL DESIGNATED AS AN INDUSTRIAL ZONE:
MUST BE PROVIDED WITH SOFT SURFACED LANDSCAPED AREA
- A MIN. OF 1.0 TREES & 2.0 SHRUBS FOR EVERY 50.0 SQ.M. WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM.
25% OF THE TREES REQUIRED SHOULD BE CONIFEROUS

LANDSCAPE AREA REQUIRED:

FRONT SETBACK (NORTH)- SETBACK AREA SHARES A PROPERTY LINE WITH A STREET - 28 AVE SE. TOTAL LANDSCAPE AREA=315.15m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
315.15m² = 6.30
50m²

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
315.15m² = 6.30 x 2 = 12.60
50m²

SIDE SETBACK (WEST)- SETBACK AREA SHARES A PROPERTY LINE WITH INDUSTRIAL PARCEL (2012087,U-1).TOTAL LANDSCAPE AREA= 109.06m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
109.06m² = 2.18
50m²

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
109.06m² = 2.18 x 2 = 4.36
50m²

SIDE SETBACK (EAST)- SETBACK AREA SHARES A PROPERTY LINE WITH INDUSTRIAL PARCEL (2012087,U-3). TOTAL LANDSCAPE AREA= 109.05m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
109.05m² = 2.18
50m²

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
109.05m² = 2.18 x 2 = 4.36
50m²

REAR SETBACK (SOUTH)- SETBACK AREA SHARES A PROPERTY LINE WITH A PARCEL (2955GU). TOTAL LANDSCAPE AREA= 78.07m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
78.07m² = 1.56
50m²

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
78.07m² = 1.56 x 2 = 3.12
50m²

LANDSCAPE AREA PROVIDED:

TOTAL SOFT LANDSCAPING = ±611.33m²

REQUIRED
TREES: 13 DECIDUOUS - 9 CONIFEROUS - 4

PROVIDED
TREES: 13 DECIDUOUS - 9 CONIFEROUS - 4

REQUIRED
SHRUBS/GRASSES: 26 MIXED VARIETY

REQUIRED
SHRUBS/GRASSES: 26 MIXED VARIETY

1. ALL DECIDUOUS TREE CALLIPER MUST BE 50mm.
2. AT LEAST 50% DECIDUOUS TREE CALLIPER MUST BE MINIMUM 75mm AT THE TIME OF PLANTING.
3. ALL CONIFEROUS TREES MUST BE A MIN. OF 2.0M HIGH.
4. AT LEAST 50% OF CONIFEROUS TREES MUST BE 3.0m HIGH.
5. SHRUBS MINIMUM HEIGHT OR SPREAD OF 0.6m AT THE TIME OF PLANTING.

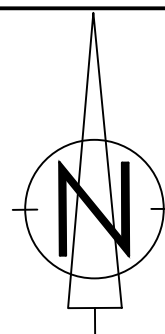
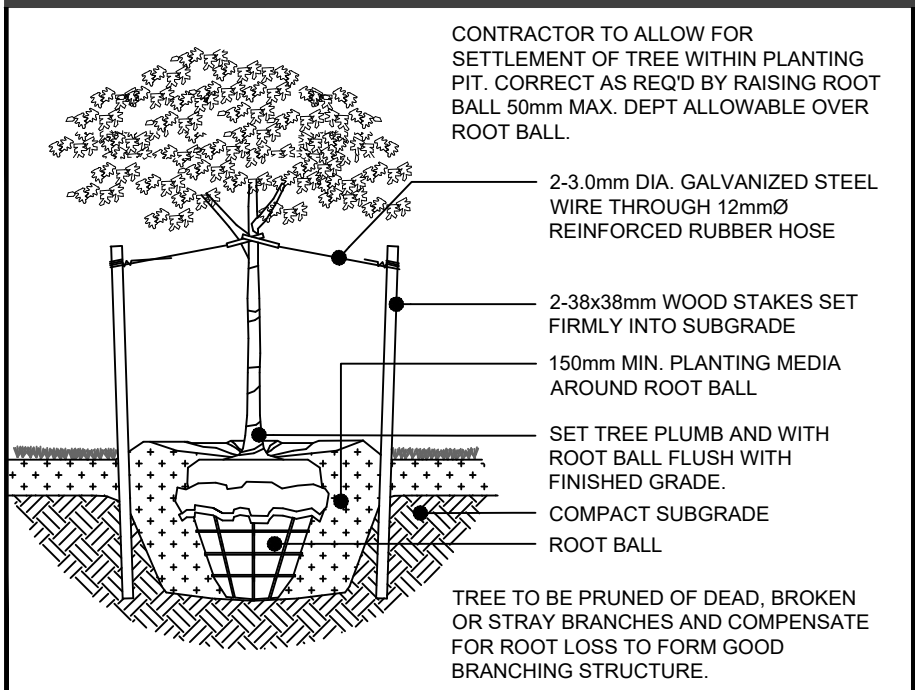
NOTES:

1. ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
2. TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100mm AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING FROM 50mm FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
3. ALL SOFT LANDSCAPE AREA TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM

SURFACING LEGEND:

PRODUCT	AREA	PRODUCT
SOD		
	±611.3m²	

TREE PLANTING DETAIL



TRUE NORTH

b2d
architecture Inc.

214 - 3016 5 Ave NE | Calgary, AB | T2A 6K4
(403) 389-8332
addis@b2darchitecture.ca
b2darchitecture.ca

SIGN / SEAL

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Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design documents are prepared Solely for the use by the Party with whom the b2d has entered into a Contract and there no Representations of any kind made by the b2d to any Party with whom the b2d has not entered into contract.

Revision Schedule			
Rev. No.	Revision	By	Date

**WATER TECH
PLUMBING &
HEATING LTD.
PROPOSED COMM.
& INDUST'L DEV'T**

5277 - 28 AVE. SE
CALGARY, AB

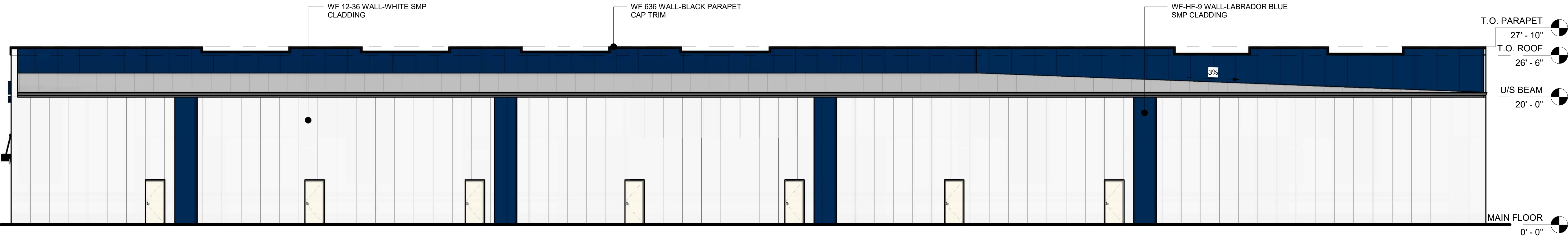
**PROPOSED
LANDSCAPE PLAN**

JOB NUMBER	
SCALE 1:250	DATE 2025-12-23
DRAWN ED	CHECKED AG
APP'D	REV. NO
DWG NUMBER	

A1.07



1 EAST ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100



b2d
architecture Inc.

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Revision Schedule			
Rev. No.	Revision	By	Date

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& INDUST'L DEV'T**

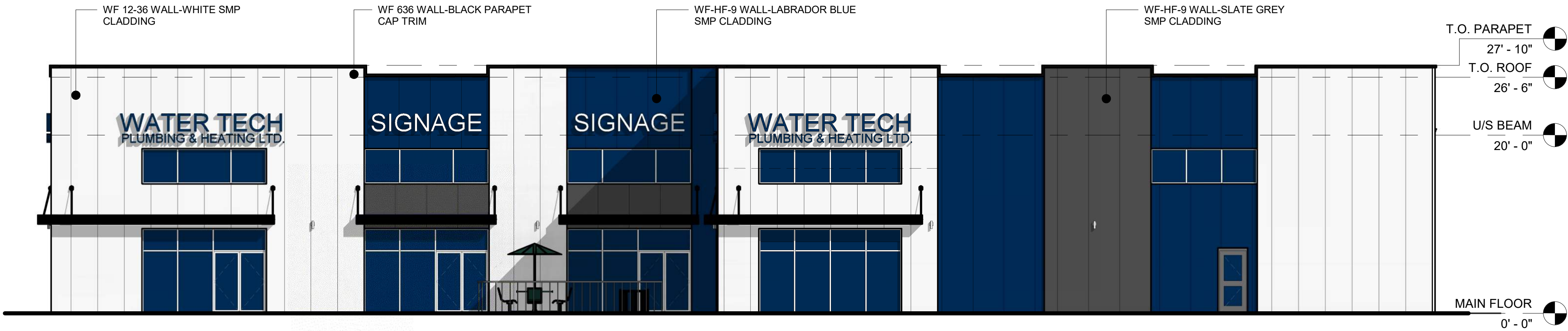
5277 - 28 AVE. SE
CALGARY, AB

**EAST & WEST
ELEVATION**

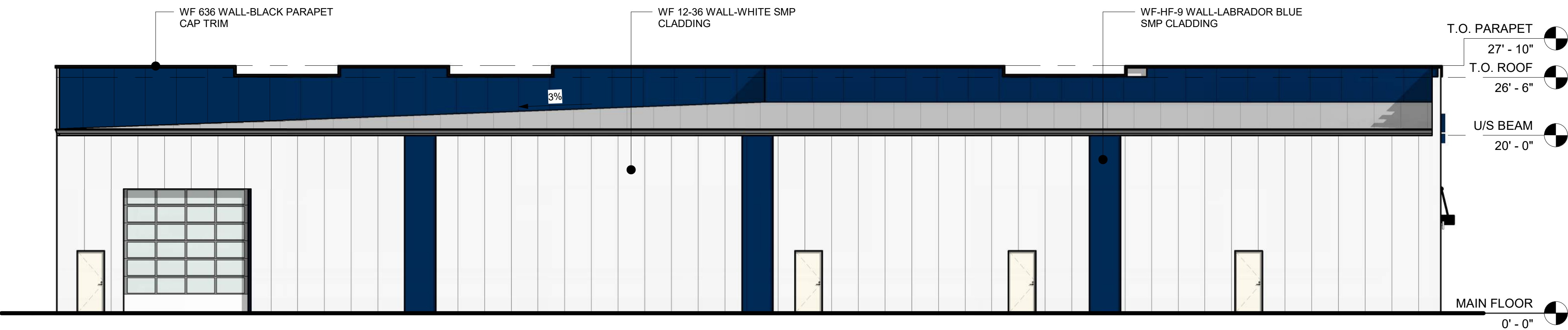
JOB NUMBER			
SCALE 1 : 100	DATE 2025-12-23		
DRAWN ED	CHECKED AG		
APP'D	REV. NO		

DWG NUMBER

A2.02



1 NORTH ELEVATION
1 : 100



2 SOUTH ELEVATION
1 : 100

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Revision Schedule			
Rev. No.	Revision	By	Date

**WATER TECH
PLUMBING &
HEATING LTD.
PROPOSED COMM.
& INDUST'L DEV'T**

5277 - 28 AVE. SE
CALGARY, AB

**NORTH & SOUTH
ELEVATION**

JOB NUMBER			
SCALE 1 : 100		DATE 2025-12-23	
DRAWN ED		CHECKED AG	
APP'D		REV. NO	
DWG NUMBER			

A2.03