

TERRACED SEMI-DETACHED HOUSES

7711 47 AVENUE N.W. BOWNESS, CALGARY, AB

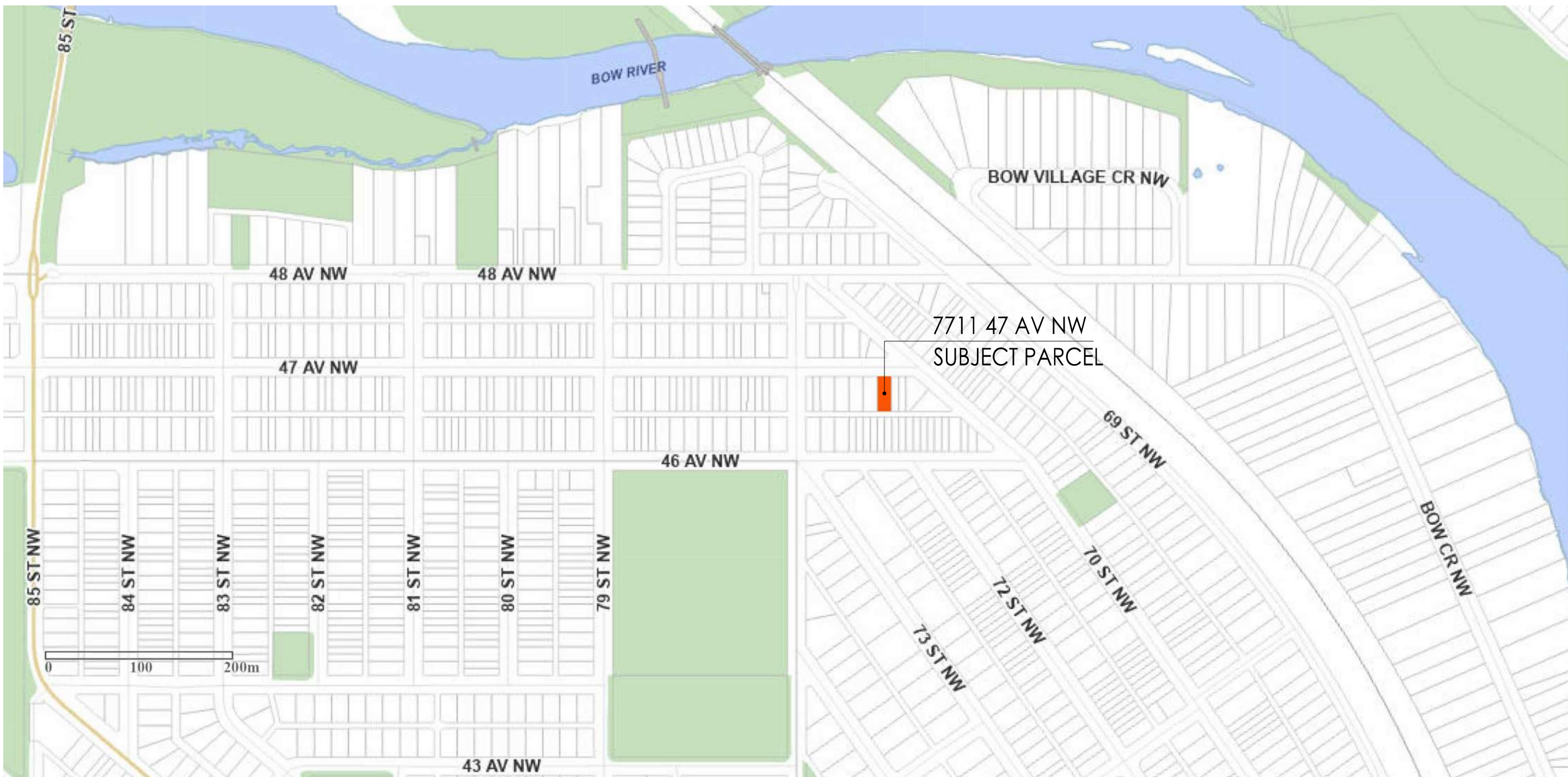
LOT 6, BLOCK 6, PLAN 2660 AP

DRAWING INDEX
ARCHITECTURAL

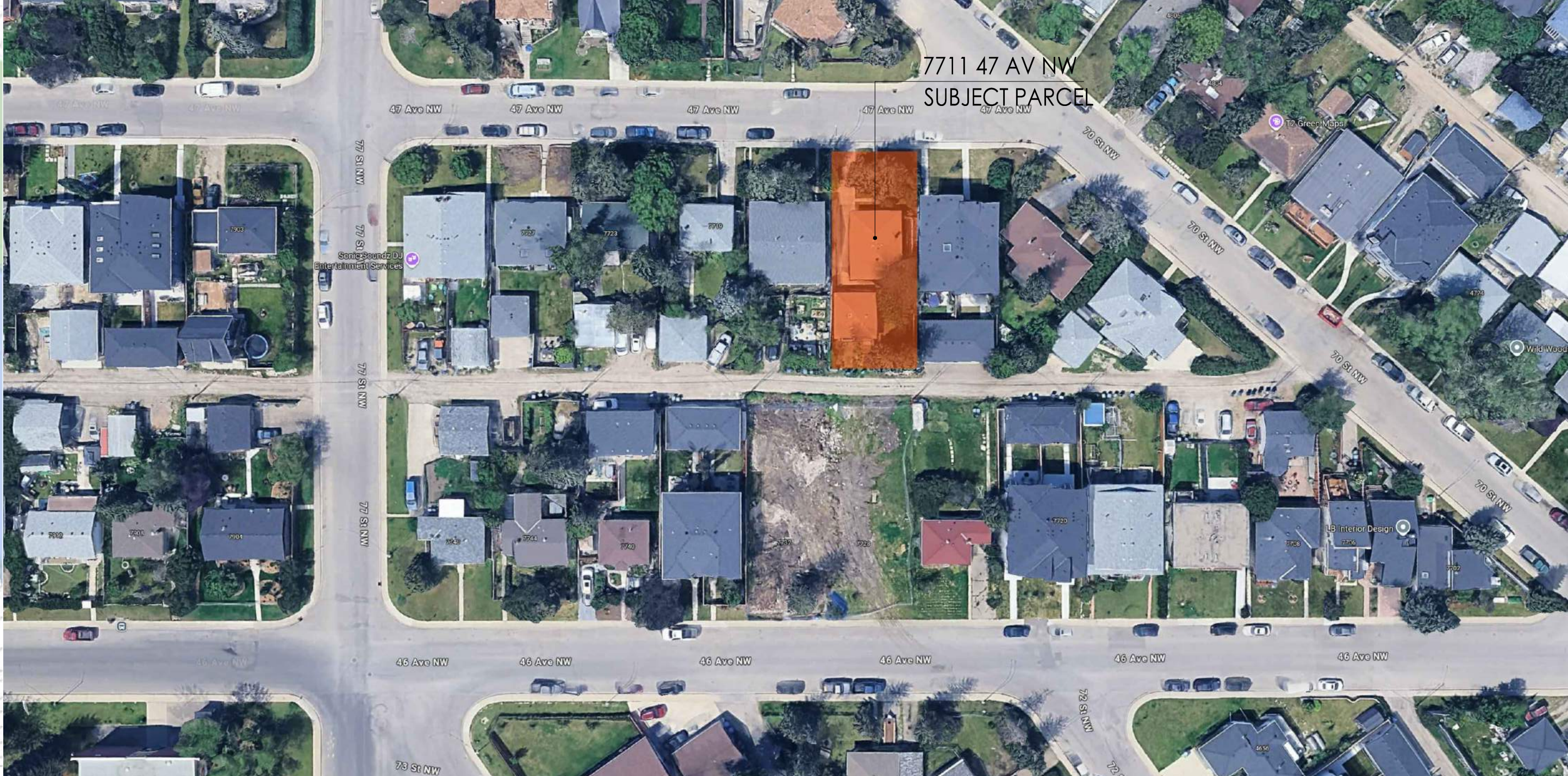
- A0.01 TITLE PAGE, DRAWING INDEX, LOCATION MAP, SITE & CONTEXT AERIAL VIEW, FACADE - B1
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2 FACADE - B1
A0.01 7/8" = 1'-0"

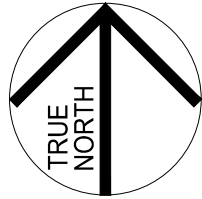


1 LOCATION MAP
A0.01 N.T.S.



2 SITE & CONTEXT AERIAL VIEW
A0.01 N.T.S.

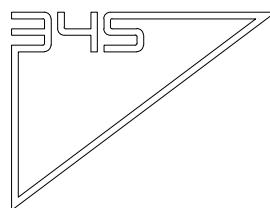
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ISSUED FOR DP APPLICATION

02	2024-12-22	ISSUED FOR DP APPLICATION
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NO.	YYYY-MM-DD	REVISION

345 architecture inc.



122 CRANLEIGH WAY S.E.
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SCALE AS NOTED
CLIENT

Canada-Downtown
Development
A Unique Construction & Real Estate Group

405, 1000 8th Ave. SW Calgary, AB, Canada T2P 3M7

PROJECT
TERRACED SEMI-DETACHED
HOMES

7711 47 AVENUE N.W. CALGARY, ALBERTA
LOT 6 BLOCK 6 PLAN 2660 AP

TRADE START DATE NOV. 17, 2025
DRAWING

TITLE PAGE, DRWAING INDEX
LOCATION MAP, FACADE B1

DESIGNED	AD	CHECKED	AD
DRAWN	AD, EH	JOB No.	25ABJL01
		DWG No.	A0.01

SITE PLAN

MUNICIPAL ADDRESS:
7711 47 AVENUE N.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 6
BLOCK 6
PLAN 2660 AP

PREPARED FOR: Dell Tech Development

DATE OF SURVEY: November 05th, 2025

SCALE: 1:200

- LEGEND:
- Subject Property Line
 - Right of Way Line
 - Eave Line
 - Fence Line
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T. Line
 - Door
 - Second Floor Window
 - Main Floor Window
 - Basement Floor Window
 - Calculation points
 - Power Pole
 - Power Anchor
 - Light Pole
 - Manhole
 - Catch Basin
 - Water Valve
 - Gas Valve
 - Sign
 - Fire Hydrant
 - Tree
 - Main Building Hatch
 - Detached Garage Hatch
 - Shed Hatch
 - Concrete and Asphalt Hatch
 - Wood Hatch
 - Roof Hatch

"2F."-Second Floor
"BC"-Back of Curb
"BW"-Back of Walkway
"Cant."-Cantilever
"Conc."-Concrete
"Elev."-Elevation

"Enc."-Encroach(es)
"L."-Length of Arc
"Lip"-Lip of Gutter
"M.F."-Main Floor
"MFE"-Main Floor Elevation
"R"-Radius

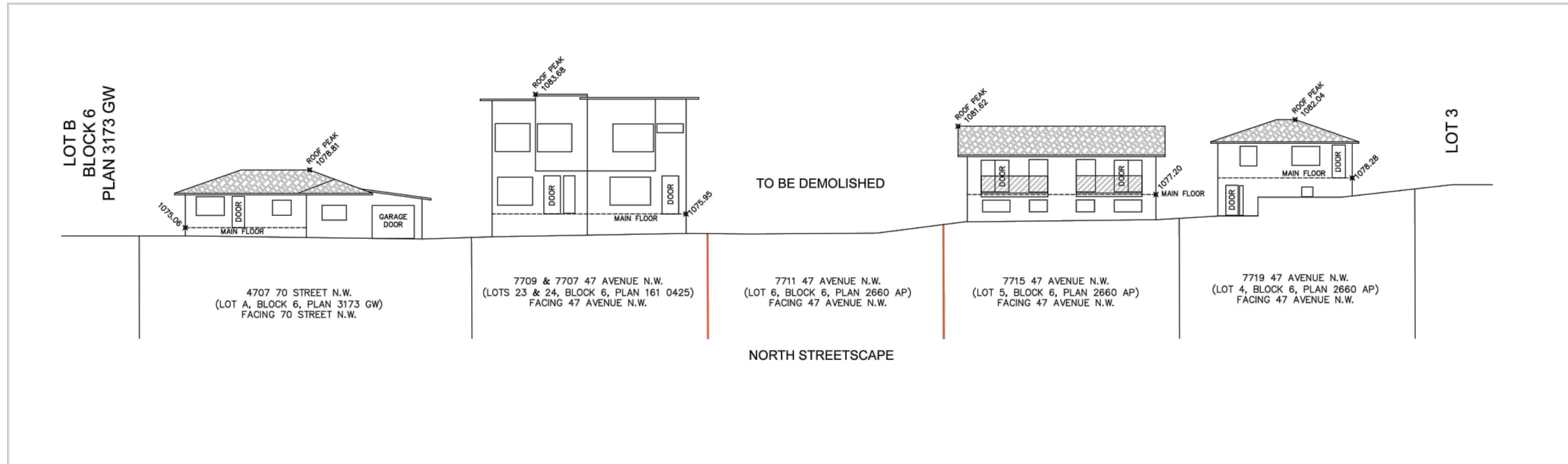
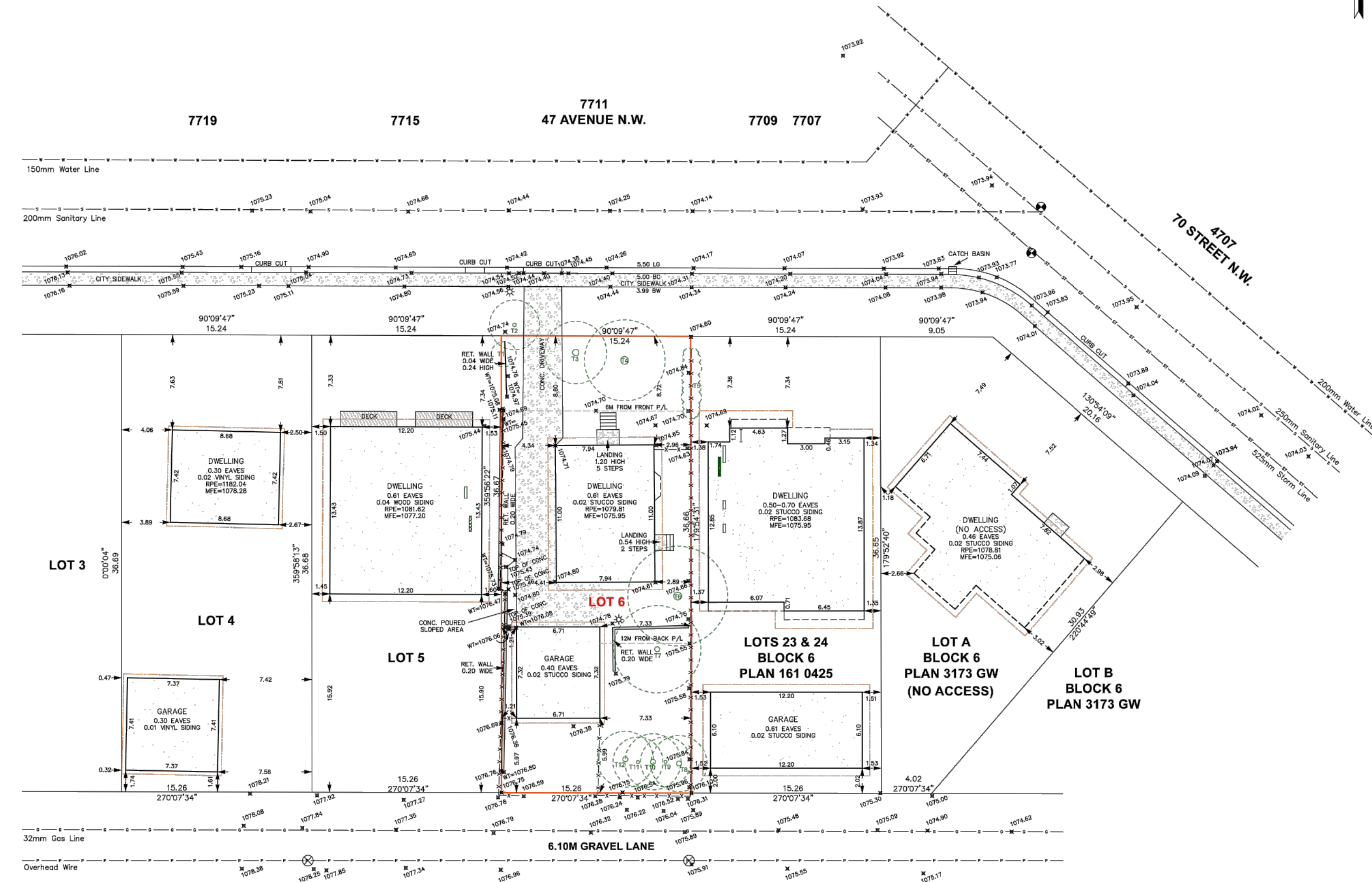
"R/W"-Right of Way
"Ret."-Retaining
"RPE"-Roof Peak Elevation
"WB"-Bottom of Wall
"WT"-Top of Wall

- NOTE:
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999736
 - Distances are in ground and are shown in metres and decimals thereof.
 - Distances along curves are arc distances.
 - Elevations are derived from ASGM 31773.
 - Existing spot elevations are shown thus: 1078.50
 - The Certificate of Title 231_350_113 which was Searched on the 4th day of November, 2025, and includes the following instruments:
No Registrations.

7. The utilities information is acquired from "The City of Calgary Engineering Department" Drawing No. 10, 76, 87 & 92 in Sec.34-Twp.24-Rge.2-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

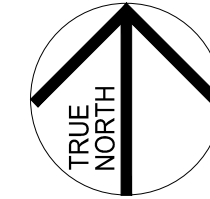
TREE SCHEDULE:

Tree No.	Variety	Trunk (cm)	Canopy (m)	Height (m)	Location
11	Bush	-	2.00	2.00	On Property Line
12	Deciduous	0.27	4.00	4.00	In City Property
13	Coniferous	0.91	5.00	13.00	In Subject Property
14	Coniferous	0.61	6.50	13.00	In Subject Property
15	Hedge	-	1.50	3.00	On Property Line
16	Deciduous	0.62	8.00	8.00	In Subject Property
17	Deciduous	0.40	7.00	5.00	In Subject Property
18	Coniferous	0.40	4.50	10.00	In Subject Property
19	Coniferous	0.25	4.00	8.00	In Subject Property
20	Coniferous	0.40	4.50	10.00	In Subject Property
21	Coniferous	0.25	4.00	8.00	In Subject Property
22	Coniferous	0.40	4.50	10.00	In Subject Property



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File No.: 251370 | Date: 09/Nov/2025
Surveyed: YR/TK | Drawn: LZ/SS
Horizon Land Surveys Inc.
130 Business Centre N.W. P. 403-719-0272
Calgary, Alberta, T3B 0M5 F. 403-775-4171

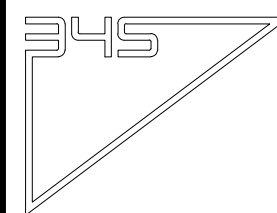
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PROJECT

TERRACED SEMI-DETACHED
HOMES

7711 47 AVENUE N.W. CALGARY, ALBERTA

LOT 6 BLOCK 6 PLAN 2660 AP

TRADE

START DATE
NOV. 17, 2025

DRAWING

SITE PLAN (EXISTING)
by Horizon Land Surveys Inc.

DESIGNED

AD

CHECKED

AD

DRAWN

AD, EH

JOB No.

25ABJL01

DWG No.

A0.03

PROJECT INFORMATION

MUNICIPAL ADDRESS: 7711 47 AVENUE N.W. CALGARY, AB

LEGAL DESCRIPTION: LOT 6, BLOCK 6, PLAN 2660 AP

LAND USE DESIGNATION: THE RESIDENTIAL - GRADE-ORIENTED INFILL (R-CG) DISTRICT

PARCEL AREA: 558.66 M²/ 6,013.4 SF

DENSITY:
EXISTING: 1: TO BE DEMOLISHED
PROPOSED: 75 UPH x 558.66/10,000 = 4.19

NUMBER OF DWELLING UNITS: 4 UNITS (4 PRINCIPAL DWELLING UNITS & 4 SECONDARY SUITES)

BUILDING FOOTPRINT:
BUILDING 1: 312.39 M²/ 3,362.6 SF
BUILDING 2: 99.35 M²/ 1,069.4 SF
GARAGE: 136.32 M²/ 1,467.4 SF
76.73 M²/ 825.9 SF

GROSS FLOOR AREAS:
BUILDING 1: 621.66 M²/ 6,691.5 SF
BUILDING 2: 272.28 M²/ 2,930.8 SF
GARAGE: 272.65 M²/ 2,934.8 SF
76.73 M²/ 825.9 SF

BUILDING DEPTH: 27.85 M/ 75.98%

SETBACKS:
FRONT: 3.0 M
REAR: 8.81M
SIDE: 1.2 M

BUILDING HEIGHTS:
BUILDING 1: 10.96 M
BUILDING 2: 8.56 M
GARAGE: 4.02 M

PARKING ANALYSIS

NO. OF PARKING STALL REQUIRED: 0.5 x 8 = 4 STALLS

NO. OF PARKING STALL PROPOSED: 4 STALLS

NO. OF CLASS 1 BICYCLE STALLS: 4 LOCKERS

AMENITY AREAS

AMENITY AREAS REQUIRED: 5.0 x 8 = 40 M²/ 430.6SF

AMENITY AREAS PROPOSED: 76.48 M²/ 832.2SF

PRIVATE AMENITY AREAS: 14.08 M²/ 151.6 SF
COMMON AMENITY AREAS: 62.40 M²/ 671.7 SF

AMENITY AREAS

AMENITY AREAS REQUIRED: 5.0 x 8 = 40 M²/ 430.6SF

AMENITY AREAS PROPOSED: 76.48 M²/ 832.2SF

PRIVATE AMENITY AREAS: 14.08 M²/ 151.6 SF
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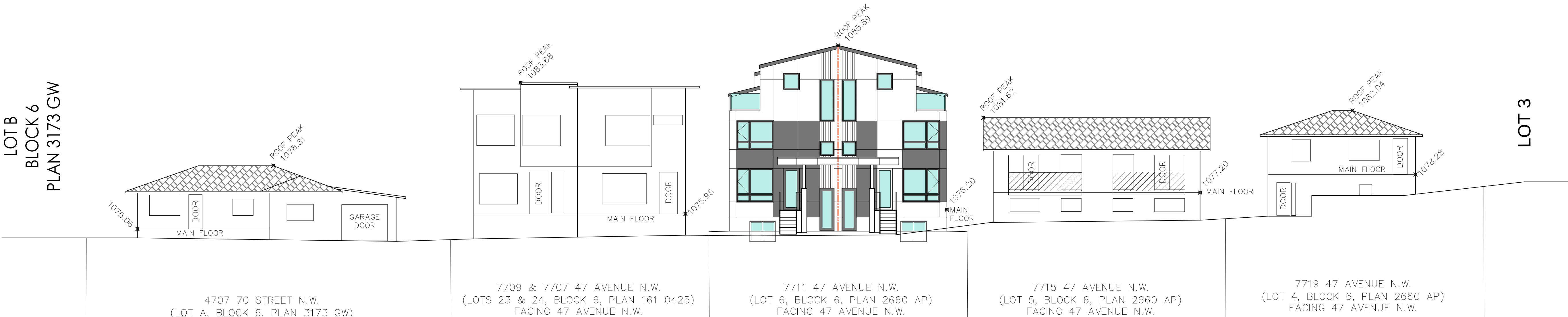
WASTE COLLECTION

ANTICIPATED TOTAL VOLUME: 0.24 M³ x (4+4) = 1.92 M³ PER WEEK

WASTE CONTAINERS ON SITE:
GARBAGE: 240L BLACK CART x 3 = 720L
RECYCLING: 240L BLUE CART x 4 = 960L
COMPOST: 240L GREEN CART x 1 = 240L

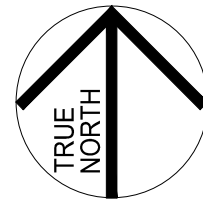
UNIT FLOOR AREA SCHEDULE

			BASEMENT	MAIN FLOOR	SECOND FLOOR	THIRD FLOOR	SUB-TOTAL	FLOOR AREA ABOVE GRADE
B1	UNIT 1	1	-	462.9 SF/ 43.01 M²	534.7 SF/ 49.67 M²	396.0 SF/ 36.79 M²	1,393.6 SF/ 129.47 M²	1,465.4 SF/ 136.14 M²
		BSMT 1	534.7 SF/ 49.67 M²	71.8 SF/ 6.67 M²	-	-	606.4 SF/ 56.34 M²	
	UNIT 2	2	-	462.9 SF/ 43.01 M²	534.7 SF/ 49.67 M²	396.0 SF/ 36.79 M²	1,393.6 SF/ 129.47 M²	1,465.4 SF/ 136.14 M²
		BSMT 2	534.7 SF/ 49.67 M²	71.8 SF/ 6.67 M²	-	-	606.4 SF/ 56.34 M²	
B2	UNIT 3	3	-	662.4 SF/ 61.54 M²	733.6 SF/ 68.15 M²	-	1,396.0 SF/ 129.69 M²	1,467.2 SF/ 136.30 M²
		BSMT 3	733.6 SF/ 68.15 M²	71.2 SF/ 6.62 M²	-	-	804.8 SF/ 774.77 M²	
	UNIT 4	4	-	662.4 SF/ 61.54 M²	733.6 SF/ 68.15 M²	-	1,396.0 SF/ 129.69 M²	1,467.2 SF/ 136.30 M²
		BSMT 4	733.6 SF/ 68.15 M²	71.2 SF/ 6.62 M²	-	-	804.8 SF/ 774.77 M²	
							GROSS FLOOR AREA	5,865.2 SF/ 544.89 M²



NORTH STREETSCAPE

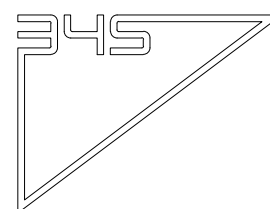
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LOT 6 BLOCK 6 PLAN 2660 AP

TRADE
DRAWING

START DATE
NOV. 17, 2025

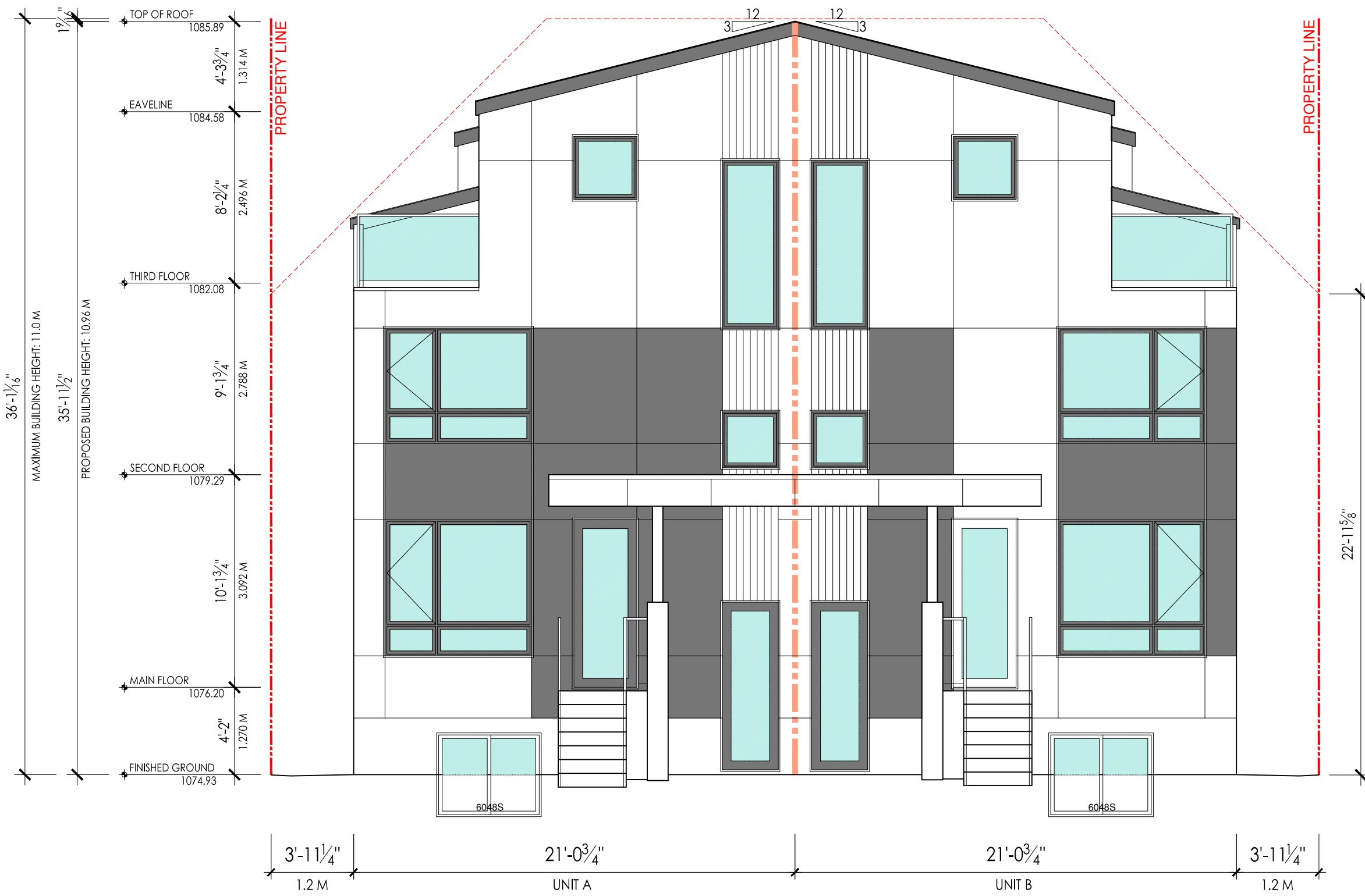
PROJECT INFORMATION
NORTH STREETSCAPE

DESIGNED AD CHECKED AD

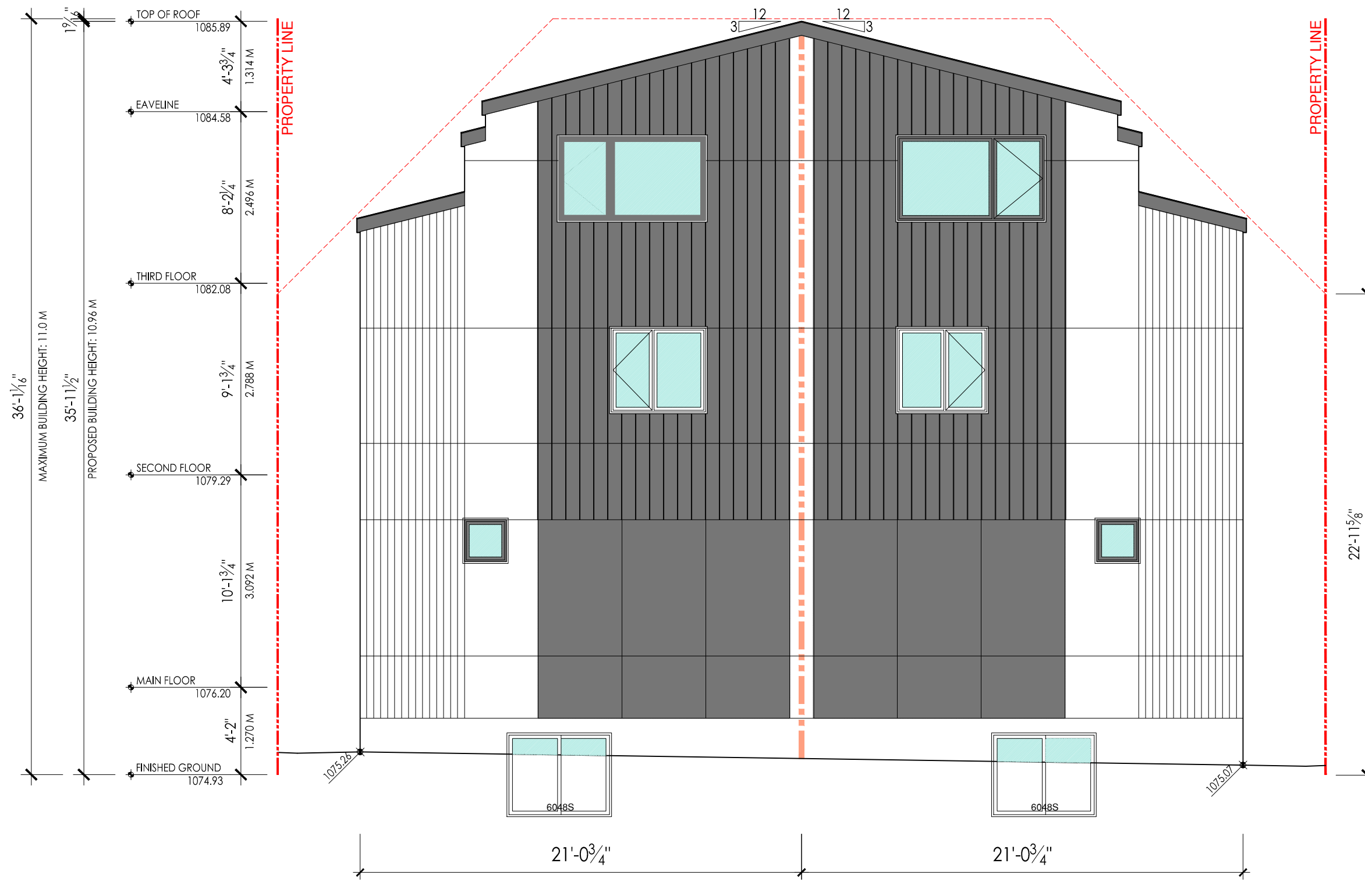
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DWG No.

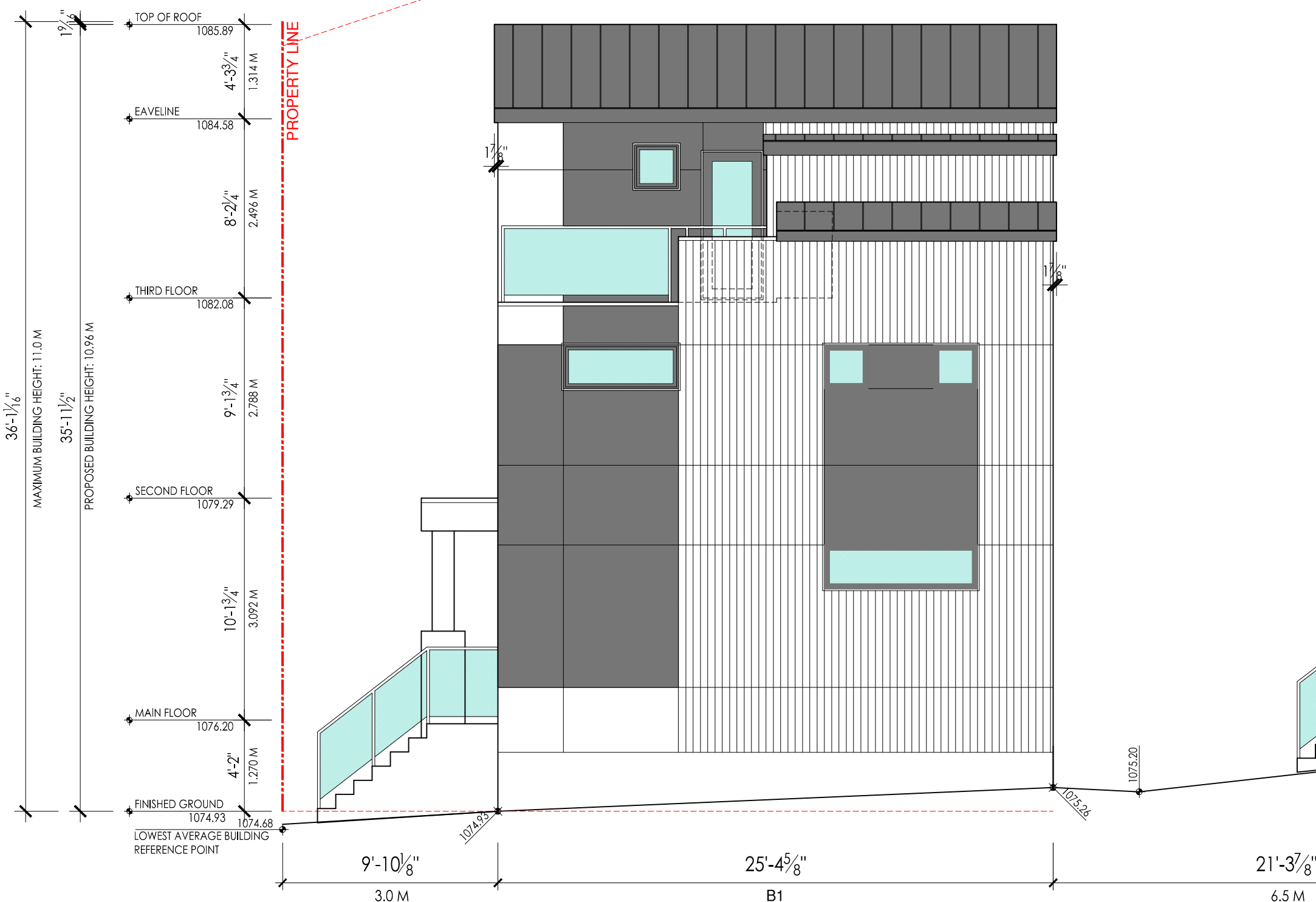
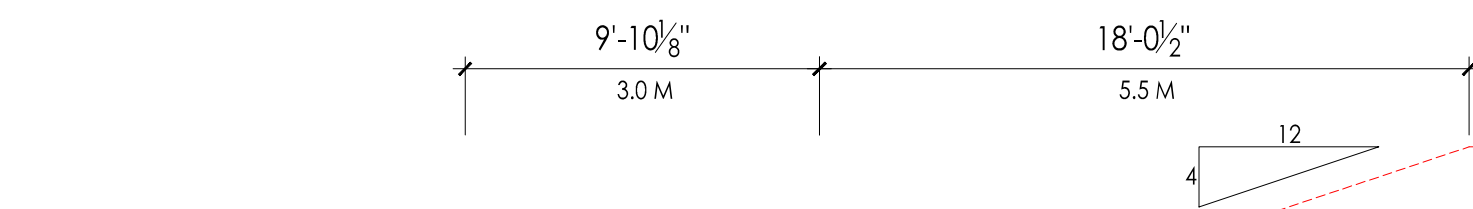
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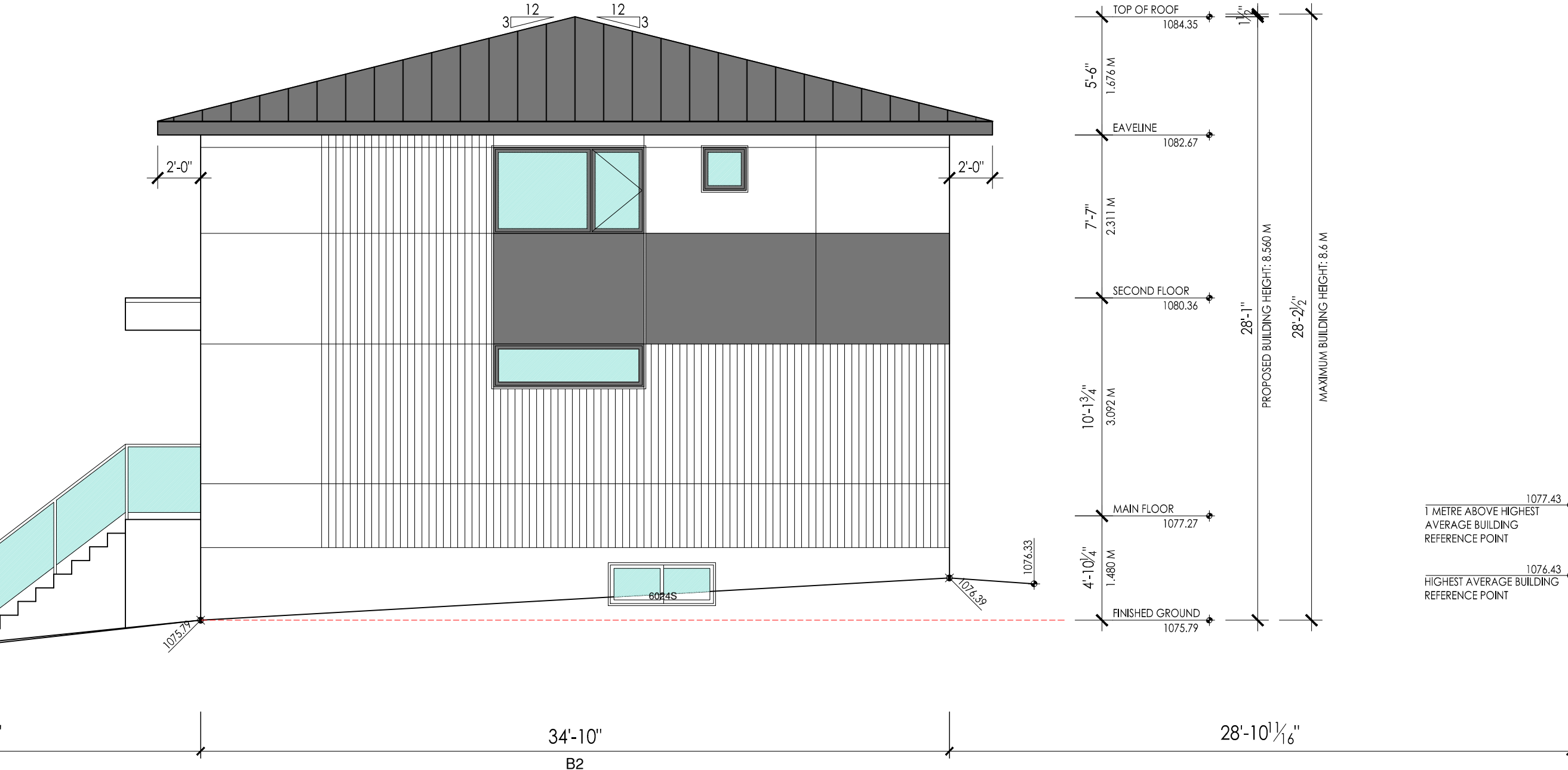
1 NORTH ELEVATION (B1)
3/16\"/>



2 SOUTH ELEVATION (B1)
3/16\"/>



3 WEST ELEVATION (B1)
3/16\"/>



4 WEST ELEVATION (B2)
3/16\"/>

Exposing Building Face: 786.2 SF/ 73.04 M²
Limiting Distance: 1.2 M

Unprotected Openings:

Maximum Aggregate Area Allowed (7%): 55.0 SF/5.11 M²
Unprotected Openings Proposed (6.90%): 54.3 SF/5.04 M²

Exposing Building Face: 768.7 SF/ 71.41 M²
Limiting Distance: 1.2 M

Unprotected Openings:

Maximum Aggregate Area Allowed (7%): 53.8 SF/5.00 M²
Unprotected Openings Proposed (6.94%): 53.3 SF/4.95 M²

- ACM/ MATT/ WHITE
- ACM/ MATT/ GRAY
- ALU. VERTICAL PANEL/ GLOSS/ WHITE
- METAL WALL & ROOF PANEL/ GRAY

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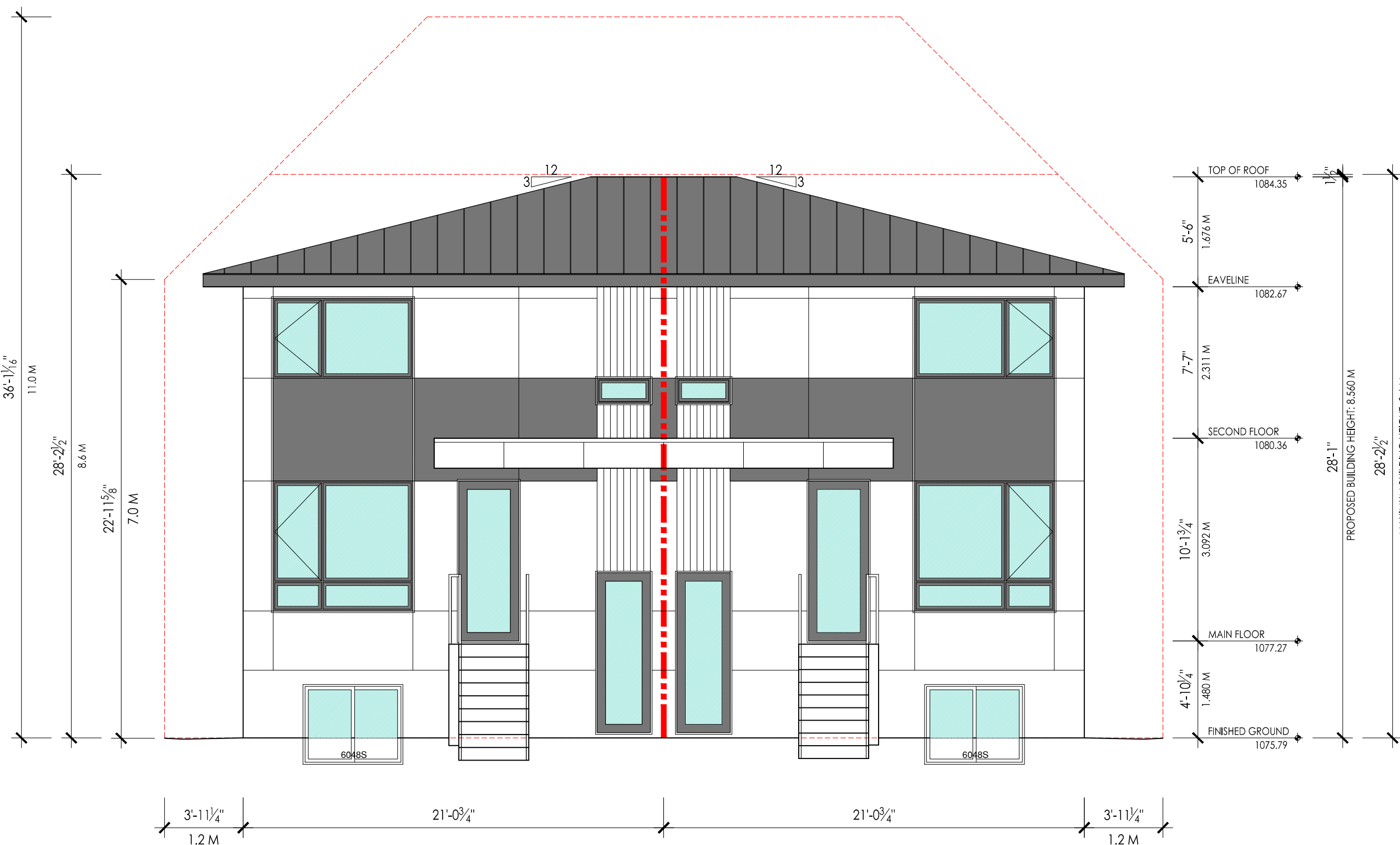
DRAWING

ELEVATIONS

DESIGNED	AD	CHECKED	AD
DRAWN	AD, EH	JOB No.	25ABJL01

DWG No.

A2.01



UNIT C

Exposing Building Face: 485.5 SF/ 45.11 M²
Limiting Distance: 4.0 M

Unprotected Openings:

Maximum Aggregate Area Allowed (28%): 135.9 SF/12.63 M²
Unprotected Openings Proposed (27.92%): 135.6 SF/12.59 M²

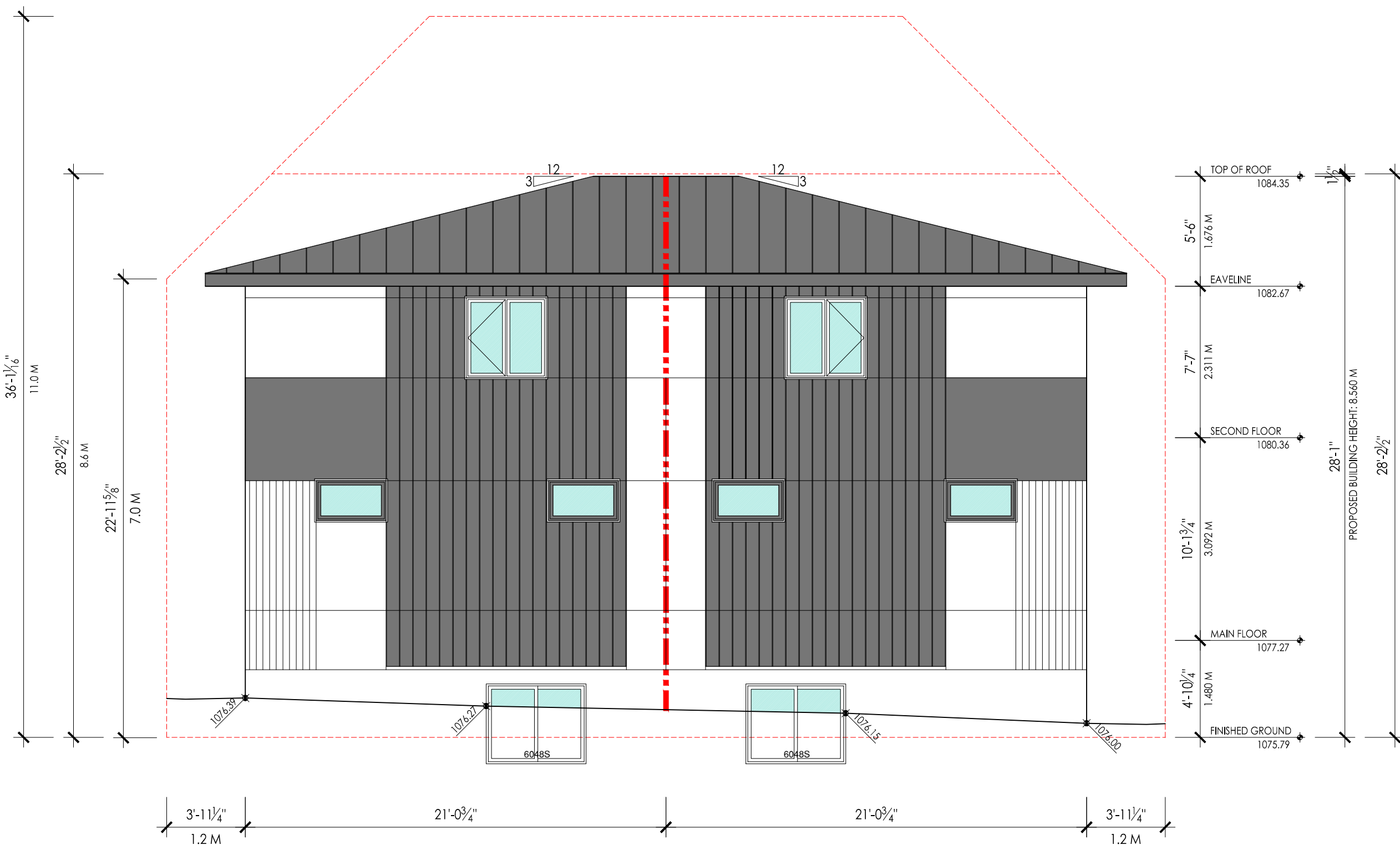
UNIT D

Exposing Building Face: 485.5 SF/ 45.11 M²
Limiting Distance: 4.0 M

Unprotected Openings:

Maximum Aggregate Area Allowed (28%): 135.9 SF/12.63 M²
Unprotected Openings Proposed (27.92%): 135.6 SF/12.59 M²

1 NORTH ELEVATION (B2)
3/16" = 1'-0"



UNIT C

Exposing Building Face: 450.7 SF/ 41.87 M²
Limiting Distance: 1.5 M

Unprotected Openings:

Maximum Aggregate Area Allowed (8%): 36.1 SF/3.45 M²
Unprotected Openings Proposed (7.94%): 35.8 SF/3.33 M²

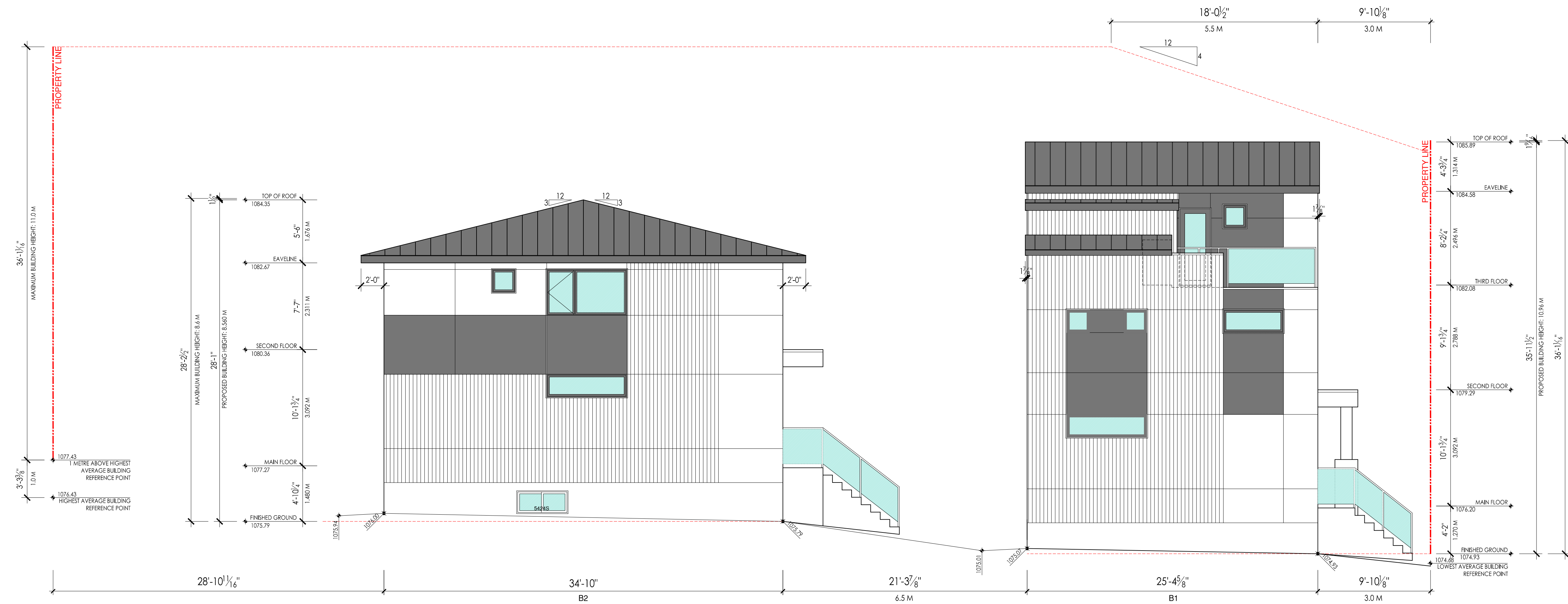
UNIT D

Exposing Building Face: 464.1 SF/ 43.11 M²
Limiting Distance: 1.5 M

Unprotected Openings:

Maximum Aggregate Area Allowed (8%): 37.1 SF/3.45 M²
Unprotected Openings Proposed (8%): 37.1 SF/3.45 M²

2 SOUTH ELEVATION (B2)
3/16" = 1'-0"



ACM/ MATT/ WHITE
ACM/ MATT/ GRAY
ALU. VERTICAL PANEL/
GLOSS/ WHITE
METAL WALL & ROOF PANEL/ GRAY

3 EAST ELEVATION (B2)
3/16" = 1'-0"

UNIT C

Exposing Building Face: 790.7 SF/ 73.46 M²
Limiting Distance: 1.2 M

Unprotected Openings:

Maximum Aggregate Area Allowed (7%): 55.4 SF/5.14 M²
Unprotected Openings Proposed (6.94%): 55.0 SF/5.11 M²

UNIT A

Exposing Building Face: 794.1 SF/ 73.77 M²
Limiting Distance: 1.2 M

Unprotected Openings:

Maximum Aggregate Area Allowed (7%): 55.6 SF/5.16 M²
Unprotected Openings Proposed (6.83%): 54.3 SF/5.04 M²

4 EAST ELEVATION (B1)
3/16" = 1'-0"

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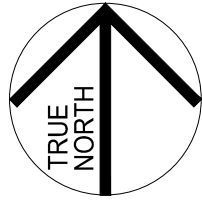
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DWG No.

A2.02

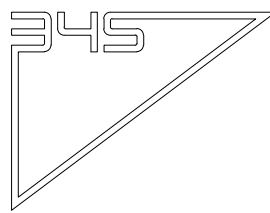
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GARAGE FLOOR PLANS,
ELEVATIONS,SECTIONS

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		DWG No.	G1.01