

RESIDENTIAL CONSTRUCTION

#7136, 36th. Avenue N.W.

4-UNIT MULTI-RESIDENTIAL DEVELOPMENT w/SECONDARY SUITES & 4-STALL DETACHED GARAGE: ISSUED for REVIEW

CONSULTANT LIST

ARCHITECTURAL

Vaughn Scott
Architectural Technologist
Calgary, AB.
403-901-5115

STRUCTURAL

MECHANICAL

ELECTRICAL

DRAWING LIST

ARCHITECTURAL

A-1 COVER SHEET
A-2 SITE PLAN & DETAILS
A-3 BLOCK PLAN, LANDSCAPE PLAN. & STREETSCAPES
A-4 DWELLING: ELEVATIONS (3)
A-5 DWELLING: ELEVATIONS (1) & ROOF PLAN & FIREWALL
A-6 DWELLING: MAIN & UPPER FLOOR PLANS
A-7 DWELLING: FDN. PLAN with BSMT. SUITE LAYOUT
A-8 GARAGE: ACCESSORY BUILDING PLAN

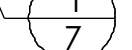
SYMBOLS

 NORTH ARROW

 BUILDING SECTION

 EXTERIOR ELEVATION

 INTERIOR ELEVATION

 DETAIL

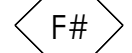
 CEILING TYPE

 WINDOW CALLOUT

 DOOR CALLOUT

 WALL TYPE

 ROOF TYPE

 FLOOR TYPE

ABBREVIATIONS

A.F.F. - ABOVE FINISHED FLOOR
AR. GWB. - ABUSE RESISTANT GWB
ACT. - ACOUSTIC CEILING TILE
ALUM. - ALUMINUM
ANOD. - ANODIZED
ARCH. - ARCHITECTURAL
B.B. - BASE BUILDING
BATT. - BATT INSULATION
BF. - BARRIER FREE
BM. - BEAM
BLDG. - BUILDING
CPT. - CARPET
CLG. - CEILING
CL. - CENTRE LINE
COL. - COLUMN
C/W. - COMPLETE WITH
CONC. - CONCRETE
CMU. - CONCRETE MASONRY UNIT
CONT. - CONTINUOUS
CG. - CORNER GUARD
CORR. - CORRIDOR
DEMO - DEMOLITION
DP. - DEEP
DIM. - DIMENSION
DIA. - DIAMETER
DN. - DOWN
DWG. - DRAWING
EA. - EACH
EL. - ELEVATION
ELEC. - ELECTRICAL
EQ. - DQUAL
EXIST. - EXISTING
EXT. - EXTERIOR
F.O. - FACE OF
FIN. - FINISH
FR. - FIRE RATED
FR.R. - FIRE RESISTANCE RATING
FL. - FLOOR
FD. - FLOOR DRAIN
FE. - FIRE EXTINGUISHER
FS. - FULL SIZE
GA. - GAUGE
GL. - GLASS
GR. - GRADE
GWB. - GYPSUM WALL BOARD
HC. - HOLLOWCORE
HD. - HIGH DENSITY
HP. - HIGH POINT
HORIZ. - HORIZONTAL
H.S.S. - HOLLOW STEEL SECTION
INT. - INTERIOR
I.F. - INSIDE FACE
INSUL. - INSULATION
LAM. - LAMINATED
LAV. - LAVATORY
LTTP. - LONG TERM THERMAL PERFORMANCE
MAX. - MAXIMUM
MECH. - MECHANICAL
MTL. - METAL
MISC. - MISCELLANEOUS
MIN. - MINIMUM
MUA. - MAKE PAIR UNIT
NAT. - NATURAL
N.I.C. - NOT IN CONTRACT
N.T.S. - NOT TO SCALE
NO. - NUMBER
O.C. - OFF CENTRE
OPG. - OPENING
O.TOO. - OUT TO OUT
O.F. - OUTSIDE FACE
PTD. - PAINTED
PR. - PAIR
PL. - PLATE
PLM. - PLASTIC LAMINATE
PTN. - PARTITION
PREFIN. - PREFINISHED
PLVD. - PLYWOOD
POLU. - POLYETHYLENE
PS. - PRESSED STEEL
Q.T. - QUARRY TILE
R.W.L. - RAINWATER LEADER
RCV. - RECEIVE
REINF. - REINFORCED
REQ. - REQUIRED
REV. - REVISED
RM. - ROOM
R.D. - ROOF DRAIN
R.Q. - ROUGH OPENING
RCP. - REFLECTED CEILING PLAN

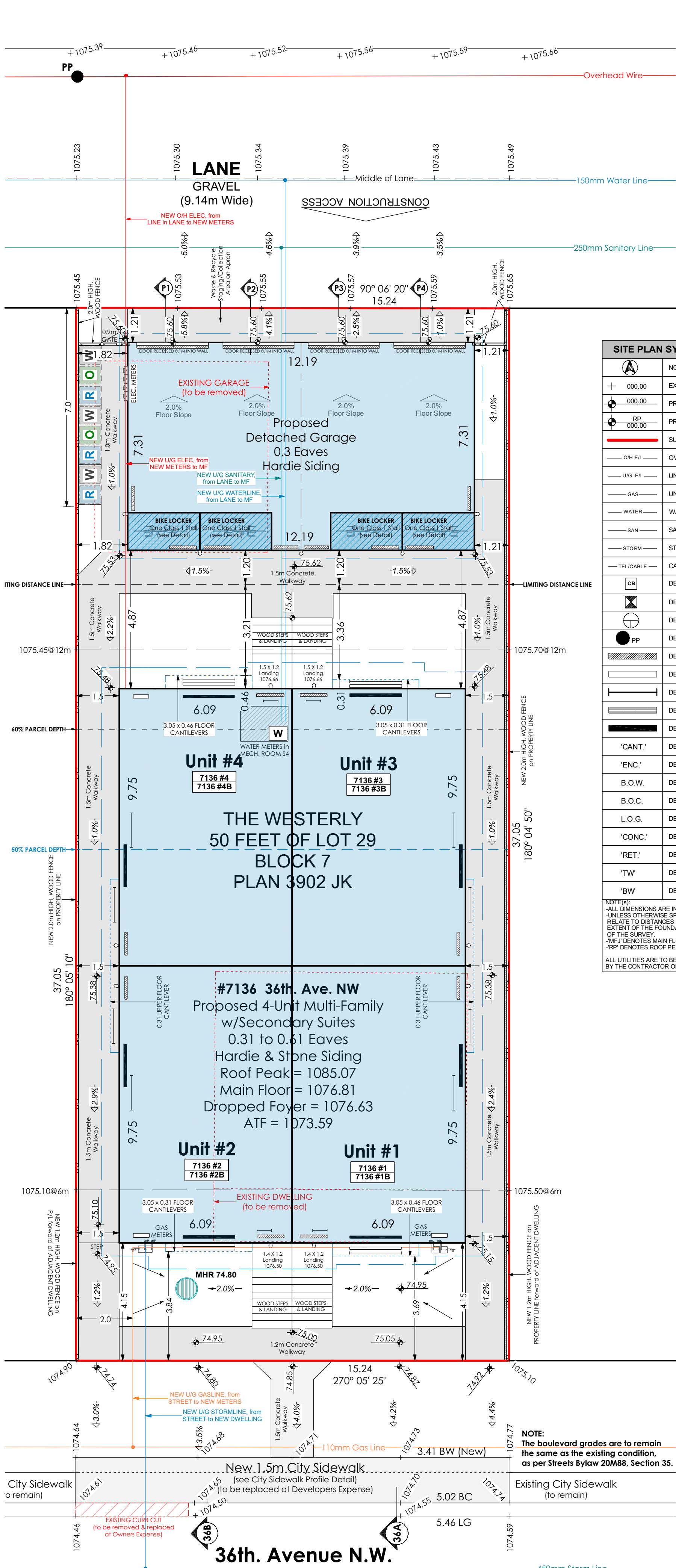
SIM. - SIMILAR
SPEC. - SPECIFICATION
S.C. - SOLID CORE
STD. - STAINED
SS. - STAINLESS STEEL
STL. - STEEL
STRUCT. - STRUCTURAL
T.O. - TOP OF
T&G. - TONGUE AND GROOVE
T.I. - TENANT IMPROVEMENT
TYP. - TYPICAL
US. - UNDERSIDE
U.L.C. - UNDERWRITER LABORATORIES OF CANADA
VB. - VAPOUR BARRIER
VEN. - VENEER
VERT. - VERTICAL
V.C.T. - VINYL COMPOSITE TILE
V.B. - WEATHER BARRIER
W.P. - WATERPROOF
WD. - WOOD

CCMC REGISTRY #s

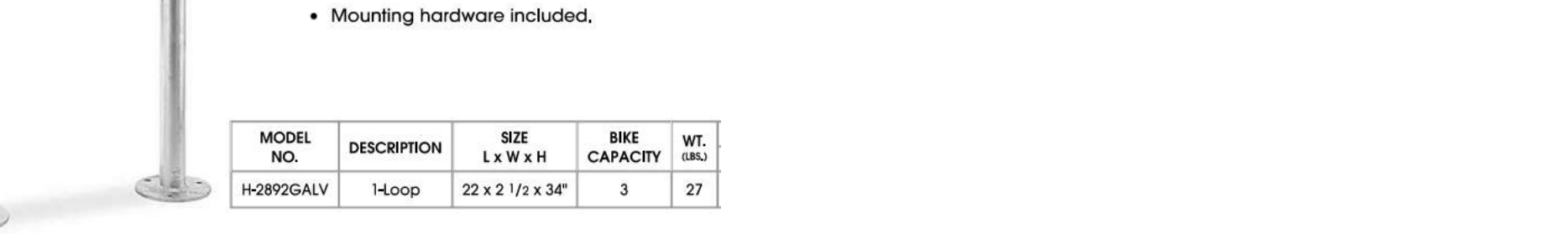
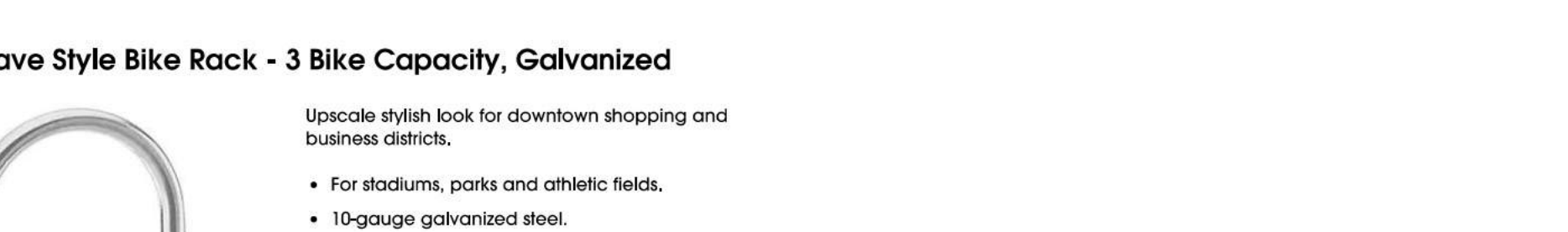
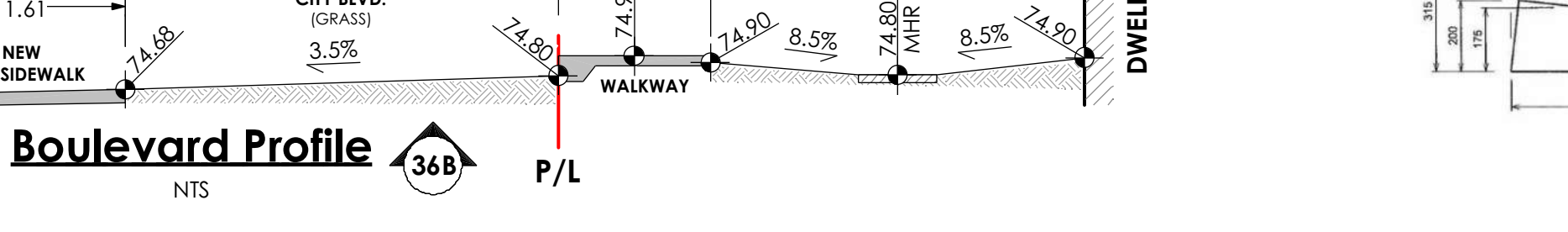
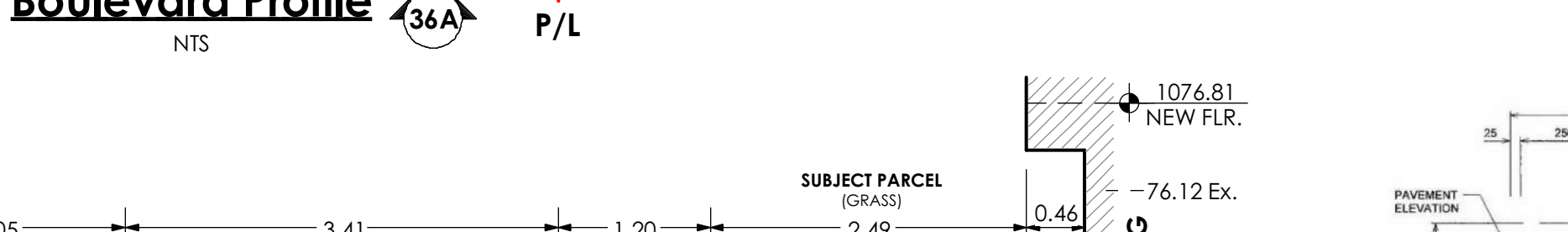
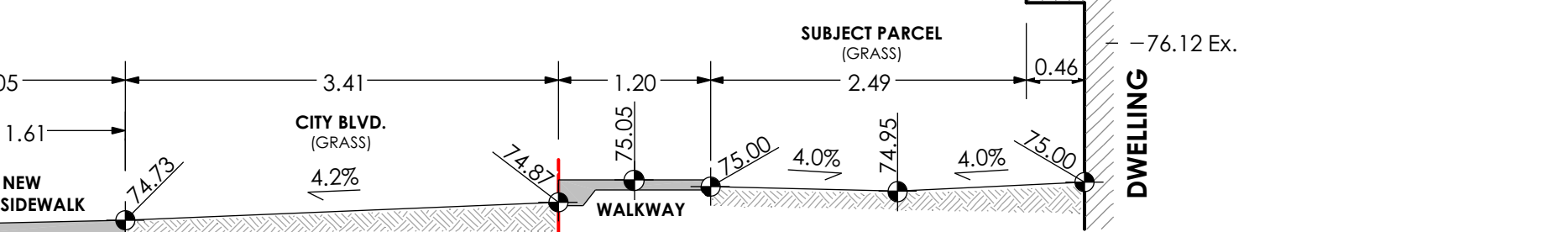
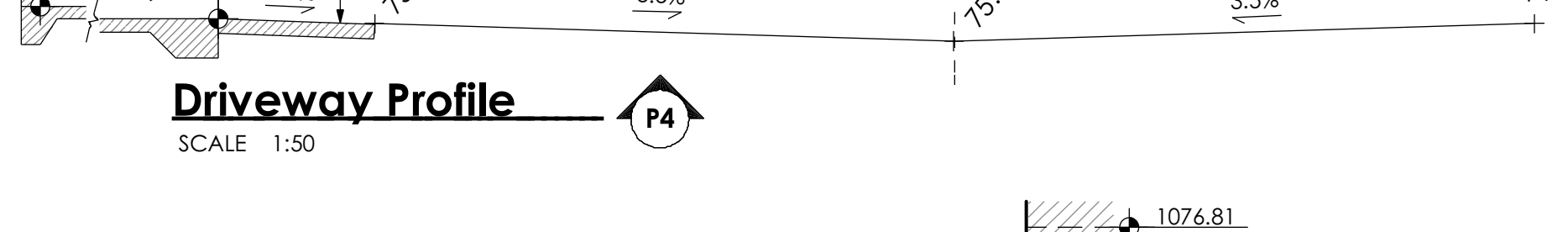
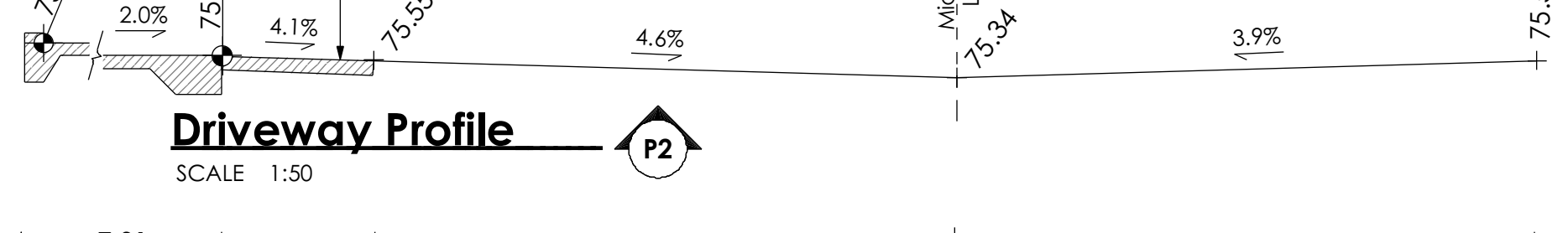
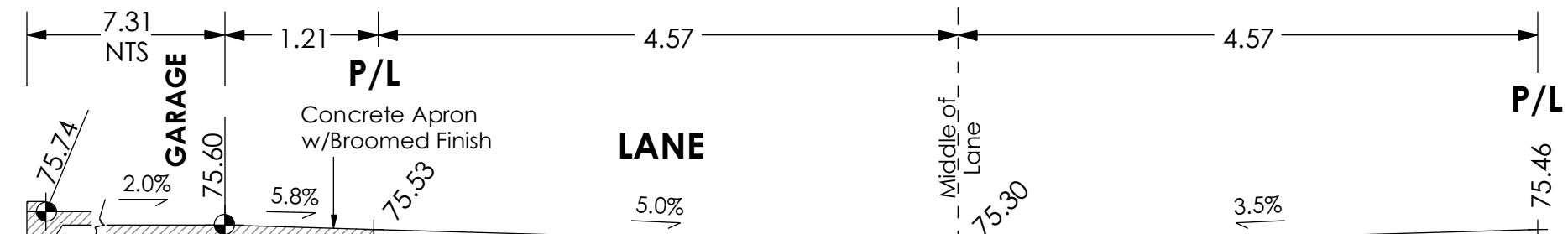
JAMES HARDIE - PLANK, PANEL, SHINGLE 12075-R
BLUESKIN SA (WBR) 13207-R
ARRILON PRO-RS (EPS) 13262-R
DUREX EPS (combustible & non-combustible) 13103-R
INSULROCK & PUCC EPS 12969-R
DOW CHEMICAL POLYISO (FACE) INSULATION 08493-L
HAMBRO FLOORING INSULATION ASSEMBLY 00262-R
COL PHEIX FOUNDATION WATERPROOFING 13877-R
ROUX FOUNDATION DRAINBOARD SYSTEM 12716-R
KORNER SCREW PILES 13193-R
CHANCE HELICAL PILES 13244-L
MEDIUM DENSITY SPRAY FOAM (2lb closed cell) 13244-L
- PEACH 13244-L
- GREEN 13244-L
MINERAL FIBRE BLOWN-IN INSULATION 13155-L
LOOSE FILL INSULATION DRY (CANULC-S703) 13198-R
VINYL SIDING 09799-L
CERTANTEED-MINERAL FIBRE BLOWN INSULATION 13094-L
ROYAL VINYL SIDING 12344-L
"NIDURAK" INSULATED CONCRETE FORMS (ICF) 13063-R
"LOGIC" INSULATED CONCRETE FORMS (ICF) 13110-R
DENGLAS GOLD EXT. GUARD GYPSUM BOARD 12064-R
MANSCO FLEX COAT ACRYLIC STUCCO 13334-R
COMPOSITE DECKING (TREX) 13125-R

NUMBER	QTY	FLOOR	ROOM NAME	EX	IN	SIZE	WIDTH	HEIGHT	U-FACTOR	COMMENTS	NUMBER
D01	2	1	BIKE LOCKER	EX	3068 L EX	36"	80"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D01
D02	2	1	BIKE LOCKER	EX	3068 R EX	36"	80"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D02
D03	1	1	GARAGE 1&2	EX	2868 L EX	32"	80"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D03
D04	2	1	GARAGE 1&2	EX	8080	96"	96"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D04
D05	1	1	GARAGE 3&4	EX	2868 L EX	32"	80"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D05
D06	2	1	GARAGE 3&4	EX	8080	96"	96"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D06
D07	1	1	GARAGE 3&4	EX	2868 L EX	32"	80"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D07
D08	1	1	GARAGE 3&4	EX	2868 R EX	32"	80"	1.1		45 FRR WS METAL SELF CLOSER LOCK	D08
D09	1	0	S1 BDRM. CLOSET/S1 BDRM.	IN	5068 L/R IN	60"	80"	0.3			D09
D10	1	0	S1 BDRM. CLOSET/S1 BDRM.	IN	2868 L IN	30"	80"	0.3			D10
D11	1	1	S1 ENTRY	EX	3080 R EX	36"	96"	1.1		INSULATED PANEL DOOR	D11
D12	1	0	S1 ENTRY CLOSET/S1 HALLWAY	IN	2468 R IN	28"	80"	0.3			D12
D13	1	0	S1 FULL BATH/S1 HALLWAY	IN	2868 R IN	30"	80"	0.3			D13
D14	1	0	S1 PANTRY/S1 KIT./LIV.	IN	2868 R IN	30"	80"	0.3			D14
D15	1	0	S2 BDRM. CLOSET/S2 BDRM.	IN	2868 L/R IN	60"	80"	0.3			D15
D16	1	0	S2 BDRM./S2 HALLWAY	IN	2868 R IN	30"	80"	0.3			D16
D17	1	1	S2 ENTRY	EX	3080 L EX	36"	96"	1.1		INSULATED PANEL DOOR	D17
D18	1	0	S2 ENTRY CLOSET/S2 HALLWAY	IN	2468 L IN	28"	80"	0.3			D18
D19	1	0	S2 FULL BATH/S2 HALLWAY	IN	2868 L IN	30"	80"	0.3			D19
D20	1	0	S2 MECH./S2 HALLWAY	IN	7068 R IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D20
D21	1	0	S2 MECH./S2 HALLWAY	IN	7068 L IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D21
D22	1	0	S2 WATER METER RM/S2 KIT./LIV.	IN	2868 L IN	30"	80"	0.3			D22
D23	1	1	S3 BDRM. CLOSET/S3 BDRM.	IN	2868 L/R IN	60"	80"	0.3			D23
D24	1	0	S3 BDRM./S3 HALLWAY	IN	2868 R IN	30"	80"	0.3			D24
D25	1	1	S3 ENTRY	EX	3080 L EX	36"	96"	1.1		INSULATED PANEL DOOR	D25
D26	1	0	S3 ENTRY CLOSET/S3 HALLWAY	IN	2468 L IN	28"	80"	0.3			D26
D27	1	0	S3 FULL BATH/S3 HALLWAY	IN	2868 L IN	30"	80"	0.3			D27
D28	1	0	S3 MECH./S3 HALLWAY	IN	7068 L IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D28
D29	1	0	S3 PANTRY/S3 KIT./LIV.	IN	2868 L IN	30"	80"	0.3			D29
D30	1	0	S4 BDRM. CLOSET/S4 BDRM.	IN	2868 L/R IN	60"	80"	0.3			D30
D31	1	0	S4 BDRM./S4 HALLWAY	IN	2868 L IN	30"	80"	0.3			D31
D32	1	1	S4 ENTRY	EX	3080 R EX	36"	96"	1.1		INSULATED PANEL DOOR	D32
D33	1	0	S4 ENTRY CLOSET/S4 HALLWAY	IN	2468 R IN	28"	80"	0.3			D33
D34	1	0	S4 FULL BATH/S4 HALLWAY	IN	2868 R IN	30"	80"	0.3			D34
D35	1	0	S4 MECH./S4 HALLWAY	IN	7068 R IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D35
D36	1	0	S4 PANTRY/S4 KIT./LIV.	IN	2868 R IN	30"	80"	0.3			D36
D37	1	2	U1 BDRM. 1 CLOSET/U1 BDRM. 1	IN	5068 L/R IN	60"	80"	0.3			D37
D38	1	2	U1 BDRM. 1 ENSUITE/U1 BDRM. 1	IN	2468 R IN	28"	80"	0.3		GLASS PANEL DOOR	D38
D39	1	2	U1 BDRM. 1 UT LOFT AREA	IN	2868 R IN	30"	80"	0.3			D39
D40	1	2	U1 BDRM. 2 CLOSET/U1 BDRM. 2	IN	4068 L/R IN	48"	80"	0.3			D40
D41	1	2	U1 BDRM. 2 UT LOFT AREA	IN	2868 L IN	30"	80"	0.3			D41
D42	1	2	U1 BDRM. 3 CLOSET/U1 BDRM. 3	IN	4068 L/R IN	48"	80"	0.3			D42
D43	1	2	U1 BDRM. 3 UT LOFT AREA	IN	2868 R IN	30"	80"	0.3			D43
D44	1	1	U1 FOYER	EX	3080 L EX	36"	96"	1.1		INSULATED PANEL DOOR	D44
D45	1	2	U1 FOYER CLOSET/U1 FOYER	IN	4080 L IN	48"	80"	0.3			D45
D46	1	2	U1 FULL BATH/U1 LOFT AREA	IN	2868 R IN	30"	80"	0.3			D46
D47	1	2	U1 LAUNDRY/U1 LOFT AREA	IN	2868 L IN	32"	80"	0.3			D47
D48	1	1	U1 MECHANICAL/UT POWDER ROOM	IN	2868 R IN	32"	80"	0.3			D48
D49	1	1	U1 POWDER ROOM/U1 KIT./DIN/LIV.	IN	2880 L IN	32"	96"	0.3			D49
D50	1	1	U1 STORAGE U/STAIR/U1 KIT./DIN/LIV.	IN	2868 R IN	30"	80"	0.3			D50
D51	1	2	U2 BDRM. 1 CLOSET/U2 BDRM. 1	IN	5068 L/R IN	60"	80"	0.3			D51
D52	1	2	U2 BDRM. 2 CLOSET/U2 BDRM. 2	IN	2468 R IN	28"	80"	0.3		GLASS PANEL DOOR	D52
D53	1	2	U2 BDRM. 2 UT LOFT AREA	IN	2868 L IN	30"	80"	0.3			D53
D54	1	2	U2 BDRM. 3 CLOSET/U2 BDRM. 3	IN	4068 L/R IN	48"	80"	0.3			D54
D55	1	2	U2 BDRM. 3 UT LOFT AREA	IN	2868 R IN	30"	80"	0.3			D55
D56	1	2	U2 BDRM. 3 CLOSET/U2 BDRM. 3	IN	4068 L/R IN	48"	80"	0.3			D56
D57	1	2	U2 BDRM. 3 UT LOFT AREA	IN	2868 L IN	30"	80"	0.3			D57
D58	1	1	U2 FOYER	EX	3080 R EX	36"	96"	1.1		INSULATED PANEL DOOR	D58
D59	1	1	U2 FOYER CLOSET/U2 FOYER	IN	4080 R IN	48"	80"	0.3			D59
D60	1	2	U2 FULL BATH/U2 LOFT AREA	IN	2868 L IN	32"	80"	0.3			D60
D61	1	2	U2 LAUNDRY/U2 LOFT AREA	IN	2868 R IN	32"	80"	0.3			D61
D62	1	1	U2 MECHANICAL/U2 POWDER RM.	IN	2880 R IN	32"	96"	0.3			D62
D63	1	1	U2 STORAGE U/STAIR/U2 KIT./DIN/LIV.	IN	2868 R IN	30"	80"	0.3			D63
D64	1	1	U2 STORAGE U/STAIR/U2 KIT./DIN/LIV.	IN	2868 R IN	30"	80"	0.3			D64
D65	1	2	U3 BDRM. 1 CLOSET/U3 BDRM. 1	IN	5068 L/R IN	60"	80"	0.3			D65
D66	1	2	U3 BDRM. 1 ENSUITE/U3 BDRM. 1	IN	2468 R IN	28"	80"	0.3		GLASS PANEL DOOR	D66
D67	1	2	U3 BDRM. 1 UT LOFT AREA	IN	2868 L IN	30"	80"	0.3			D67
D68	1	2	U3 BDRM. 2 CLOSET/U3 BDRM. 2	IN	4068 L/R IN	48"	80"	0.3			D68
D69	1	2	U3 BDRM. 2 UT LOFT AREA	IN	2868 R IN	30"	80"	0.3			D69
D70	1	2	U3 BDRM. 3 CLOSET/U3 BDRM. 3	IN	4068 L/R IN	48"	80"	0.3			D70
D71	1	2	U3 BDRM. 3 UT LOFT AREA	IN	2868 R IN	30"	80"	0.3			D71
D72	1	1	U3 FOYER	EX	3080 R EX	36"	96"	1.1		INSULATED PANEL DOOR	D72
D73	1	1	U3 FOYER CLOSET/U3 FOYER	IN	4080 R IN	48"	80"	0.3			D73
D74	1	2	U3 FULL BATH/U3 LOFT AREA	IN	2868 L IN	30"	80"	0.3			D74
D75	1	2	U3 LAUNDRY/U3 LOFT AREA	IN	2868 R IN	32"	80"	0.3			D75
D76	1	1	U3 MECHANICAL/U3 POWDER ROOM	IN	2880 R IN	32"	96"	0.3			D76
D77	1	1	U3 POWDER ROOM/U3 KIT./DIN/LIV.	IN	2880 R IN	32"	96"	0.3			D77
D78	1	1	U3 STORAGE U/STAIR/U3 KIT./DIN/LIV.	IN	2868 R IN	30"	80"	0.3			D78
D79	1	2	U4 BDRM. 1 CLOSET/U4 BDRM. 1	IN	5068 L/R IN	60"	80"	0.3			D79
D80	1	2	U4 BDRM. 1 ENSUITE/U4 BDRM. 1	IN	2468 L IN	28"	80"	0.3		GLASS PANEL DOOR	D80
D81	1	2	U4 BDRM. 1 UT LOFT AREA	IN	2868 R IN	30"	80"	0.3			D81
D82	1	2	U4 BDRM. 2 CLOSET/U4 BDRM. 2	IN	4068 L/R IN	48"	80"	0.3			D82
D83	1	2	U4 BDRM. 2 UT LOFT AREA	IN	2868 L IN	30"	80"	0.3			D83
D84	1	2	U4 BDRM. 3 CLOSET/U4 BDRM. 3	IN	4068 L/R IN	48"	80"	0.3			D84
D85	1	2	U4 BDRM. 3 UT LOFT AREA	IN	2868 R IN	30"	80"	0.3			D85
D86	1	1	U4 FOYER	EX	3080 L EX	36"	96"	1.1		INSULATED PANEL DOOR	D86
D87	1	1	U4 FOYER CLOSET/U4 FOYER	IN	4080 L IN	48"	80"	0.3			D87
D88	1	2	U4 FULL BATH/U4 LOFT AREA	IN	2868 R IN	30"	80"	0.3			D88
D89	1	2	U4 LAUNDRY/U4 LOFT AREA	IN	2868 L IN	32"	80"	0.3			D89
D90	1	1	U4 MECHANICAL/U4 POWDER ROOM	IN	2880 L IN	32"	96"	0.3			D90
D91	1	1	U4 POWDER ROOM/U4 KIT./DIN/LIV.	IN	2880 L IN	32"	96"	0.3			D91
D92	1	1	U4 STORAGE U/STAIR/U4 KIT./DIN/LIV.	IN	2868 L IN	30"	80"	0.3			D92

			WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	ROOM NAME	SIZE	WIDTH	HEIGHT	EGRESS	U-FACTOR	COMMENTS	NUMBER
W01	1	0	S1 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6	W01
W02	1	0	S1 KIT./LIV.	5026LS	60"	30"	100.5/8"	YES	1.6	W02
W03	1	0	S2 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6	W03
W04	1	0	S2 KIT./LIV.	6261S	72"	30"	97.1/4"	YES	1.6	W04
W05	1	0	S3 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6	W05
W06	1	0	S4 KIT./LIV.	6007S	72"	24"	100.1/4"	YES	1.6	W06
W07	1	0	S4 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6	W07
W08	1	0	S3 KIT./LIV.	5003S	60"	24"	100.1/4"	YES	1.6	W08
W09	1	1	S1 BDRM.	5000C	60"	30"		YES	1.6	W09
W10	2	1	U1 BDRM.1 CLOSET	1918C	20"	20"	80"			W10
W11	2	1	U1 BDRM.1 ENSUITE	1263S	18"	36"	80"		OBSCURED GLASS	W11
W12	2	1	U1 BDRM.2 CLOSET	4040C	48"	48"	80"			W12
W13	2	1	U1 BDRM.3	4040C	48"	48"	80"		YES	1.6
W14	2	1	U2 KIT./LIV.	5040C	60"	30"	100"			W14
W15	1	1	U1 KIT./DIN./LIV.	1866C	20"	72"	90"			W15
W16	1	1	U2 BDRM.	6601C	72"	60"	80"			W16
W17	2	1	U2 BDRM.1 CLOSET	1918C	20"	20"	80"		YES	1.6
W18	2	1	U2 BDRM.1 ENSUITE	1263S	18"	36"	80"		OBSCURED GLASS	W18
W19	2	1	U2 BDRM.2 CLOSET	4040C	48"	48"	80"			W19
W20	2	1	U2 BDRM.3	4040C	48"	48"	80"		YES	1.6
W21	2	1	U2 KIT./LIV.	6601C	72"	72"	90"			W21
W22	1	1	U2 KIT./DIN./LIV.	1866C	20"	72"	90"			W22
W23	2	1	U3 BDRM.	6601C	72"	60"	80"			W23
W24	1	1	U3 BDRM.1 CLOSET	1918C	20"	20"	80"			W24
W25	1	1	U3 BDRM.1 ENSUITE	1263S	18"	36"	80"		OBSCURED GLASS	W25
W26	1	1	U3 BDRM.2 CLOSET	4040C	48"	48"	80"			W26
W27	1	1	U3 BDRM.3	4040C	48"	48"	80"		YES	1.6
W28	1	1	U3 KIT./DIN./LIV.	6601C	72"	72"	90"			W28
W29	1	1	U3 KIT./DIN./LIV.	1866C	20"	72"	90"			W29
W30	2	1	U4 BDRM.	5050C	60"	30"	100"			W30
W31	2	1	U4 KIT./LIV.	2018C	20"	20"	80"			W31
W32	2	1	U4 BDRM.1 ENSUITE	1263S	18"	36"	80"		OBSCURED GLASS	W32
W33	2	1	U4 BDRM.2	4040C	48"	48"	80"		YES	1.6
W34	2	1	U4 BDRM.3	4040C	48"	48"	80"			W34
W35	1	1	U4 KIT./DIN./LIV.	5060C	60"	72"	90"			W35
W36	1	1	U4 KIT./DIN./LIV.	7366C	20"	90"	100"			W36



SITE PLAN SYMBOLS & MARKERS	
	NORTH ARROW
	EXISTING GRADE DATUM
	PROPOSED GRADE DATUM
	PROPOSED LEVEL DATUM LINE
	SUBJECT PROPERTY LINE
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	UNDERGROUND GAS LINE
	WATER LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	CABLE/TELEPHONE SERVICE LINE
	DENOTES CATCH BASIN
	DENOTES WATER VALVE
	DENOTES MANHOLE
	DENOTES UTILITY POLE
	DENOTES DOOR
	DENOTES MAIN FLOOR WINDOW
	DENOTES 2ND FLOOR WINDOW
	DENOTES 3RD/4TH FLOOR WINDOW
	DENOTES BASEMENT WINDOW
	DENOTES CANTILEVER
	DENOTES ENCROACHMENT
	DENOTES BACK OF SIDEWALK
	DENOTES BACK OF CURB
	DENOTES LIP OF GUTTER
	DENOTES CONCRETE
	DENOTES RETAINING
	DENOTES TOP OF WALL
	DENOTES BOTTOM OF WALL

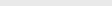
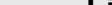
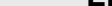
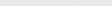


Secondary Suite Areas		
Name	Imperial	Metric
Secondary Suite (1B)		
Developed Area	605.79 ft ²	56.28 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Secondary Suite (2B)		
Developed Area	605.79 ft ²	56.28 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Secondary Suite (3B)		
Developed Area	605.79 ft ²	56.28 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Secondary Suite (4B)		
Developed Area	605.79 ft ²	56.28 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²

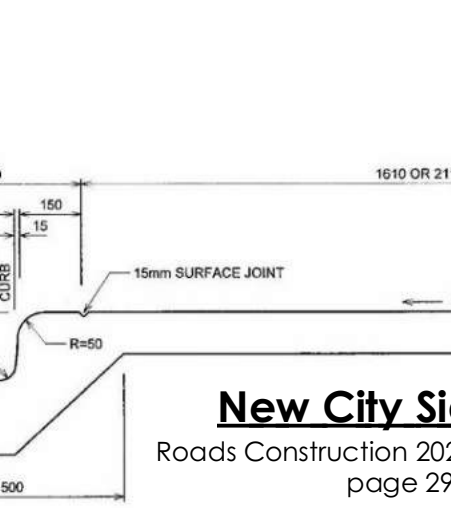
Unit Areas		
Name	Imperial	Metric
U1 - #7136, 36th Ave. NW		
Main Floor Area	655.00 ft ²	60.85 m ²
Upper Floor Area	671.94 ft ²	62.42 m ²
Total Developed Area	1326.94 ft ²	123.27 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Detached Garage	208.33 ft ²	19.35 m ²
U2 - #7136, 36th Ave. NW		
Main Floor Area	650.00 ft ²	60.39 m ²
Upper Floor Area	664.82 ft ²	61.76 m ²
Total Developed Area	1314.82 ft ²	122.15 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Detached Garage	208.33 ft ²	19.35 m ²
U3 - #7136, 36th Ave. NW		
Main Floor Area	650.00 ft ²	60.39 m ²
Upper Floor Area	671.94 ft ²	62.42 m ²
Total Developed Area	1326.94 ft ²	123.27 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Detached Garage	208.33 ft ²	19.35 m ²
U4 - #7136, 36th Ave. NW		
Main Floor Area	655.00 ft ²	60.85 m ²
Upper Floor Area	671.94 ft ²	62.42 m ²
Total Developed Area	1326.94 ft ²	123.27 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Detached Garage	208.33 ft ²	19.35 m ²

Site Information		
Legal Description: The Westerly 50ft. of Lot 29 Block 7 Plan 3902 JK		
Municipal Address: #7136, 36th Avenue N.W. Calgary, Alberta		
Land Use Designation: R-CG, Residential - Grade Oriented Infill District		
Community: Bowness Ward 1 Councillor: Sonya Sharp		
Waste & Recycling & Organics		
Storage space required for typical 4-unit townhouse: 3 Cartons (1.2 m x 0.6 m) (Blue Cartons) 3 Black Cartons		
per City Utility Engineering: Multi-family residential dwelling units produce 0.22m ³ (0.3 yd ³) of combined recyclable materials and waste per week. This application of 4 dwelling units is expected to produce 0.88m ³ of material per week. Min. 4 Cartons are required for the complex (4 units are shown).		
Storage area West Side of detached garage. Staging & pickup area in Lane.		
Survey Information		
Surveyor: Horizon Land Surveys #130 Bowness Centre N.W. Calgary, Alberta TSB 0405 Phone (403) 719-0272 Date of Survey: August 06/2024		

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at date of survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.

Line Type Legend	
	Subject Property Lines
	Adjacent Property Lines
	Eaves / Canopies
	Existing Building to be removed
	Utility Line - Overhead
	Utility Line - Water
	Utility Line - Sanitary
	Utility Line - Storm
	Utility Line - Gas

Roofing Minimums		
Contractor must ensure all roofing materials used will meet or exceed the impact resistance of a Class 4 rated roofing system with impact rating for UL2218 or FM4473.		
EV Readiness		
All garage units to be constructed so that to be capable of future electric vehicle (EV) readiness. - Optional charging station rough-ins are to be installed in all individual unit garage locations. - A minimum of 40 amps, 240-volt circuit and wiring to be provided for single use of RFI building ONLY. - Timer provided to alternate between individual charging station access ports so that only one vehicle at a time can be connected to the electrical grid. Contractor to specify at time of Building Permit.		
Solar Readiness		
All units to be constructed so that to be capable of future solar panel (PV) readiness. - Optional PV ready details to include, at least a 2.5 cm (1") nominal diameter rigid or flexible metal conduit, electrical metallic tubing, or cables with a metal armor or metal sheath. - Alternatively, a 2" vacuum tube with wine pulled thru and a card on each end, to accommodate future installation of PV panels on roof. Solar PV readiness details shall consider Section 64 of the Canadian Electrical Code Part 1 concerning "Renewable Energy Systems". Contractor to specify at time of Building Permit.		



Unit Areas		
Name	Imperial	Metric
U1 - #7136, 36th Ave. NW		
Main Floor Area	655.00 ft ²	60.85 m ²
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Total Developed Area	1326.94 ft ²	123.27 m ²
Common Amenity Area	755.00 ft ²	70.14 m ²
Detached Garage	208.33 ft ²	19.35 m ²

BUILDING CODE ANALYSIS		
BUILDING USE AND CLASSIFICATION		
4-unit Townhouse		
- Gross Floor Area contained all Units = 490.84 m ²		
- Occupant Load = 8 (Unit #7136) = 2 (Unit Secondary Suite)		
- Total Units = 4		
- NBC 2023(AE), Div. A, Part 1, 1.3.3.1 (1) requires construction to NBC 2023(AE), Part 8, Div. 8, small buildings of 3 storeys or less, not exceeding 6000', and used under Major Occupancy of Group F - Storage Garage.		
- Not Sprinklered		
- Not Separated under 9.10.15		
- Combustible and/or Non-Combustible Construction		
- Four assemblies need to be rated (based under 2.2.2.444)		
Detached Accessory Building (Garage):		
- Gross Floor Area contained all Units = 89.18 m ²		
- Occupant Load = N/A		
- NBC 2023(AE), Div. A, Part 1, 1.3.3.1 (1) requires construction to NBC 2023(AE), Part 8, Div. 8, small buildings of 3 storeys or less, not exceeding 6000', and used under Major Occupancy of Group F - Storage Garage.		
- Not Sprinklered		
- Not Separated under 9.10.14		
- Combustible and Non-Combustible Construction		

South Setback to U/D:		
South Setback to P/L:	1.20	27.97
West Setback to P/L:	1.52	1.21
East Setback to P/L:	1.21	

Roofing Minimums		
Contractor must ensure all roofing materials used will meet or exceed the impact resistance of a Class 4 rated roofing system with impact rating for UL2218 or FM4473.		

EV Readiness	
☐	EVSE 240v

All garage units to be constructed so to be capable of future electric vehicle (EV) readiness.

Optional charging station rough-ins are to be installed in all individual unit garage locations.

A minimum of 40 amps, 240-volt circuit and wiring to be provided for single use of RH building ONLY. Timer provided to alternate between individual charging station access ports so that only one vehicle at a time can be connected to the electrical grid.

Roofing Minimums		
Contractor must ensure all roofing materials used will meet or exceed the impact resistance of a Class 4 rated roofing system with impact rating for UL2218 or FM4473.		
EV Readiness		
All garage units to be constructed so that to be capable of future electric vehicle (EV) readiness. - Optional charging station rough-ins are to be installed in all individual unit garage locations. - A minimum of 40 amps, 240-volt circuit and wiring to be provided for single use of RFI building ONLY. - Timer provided to alternate between individual charging station access ports so that only one vehicle at a time can be connected to the electrical grid. Contractor to specify at time of Building Permit.		
Solar Readiness		
All units to be constructed so that to be capable of future solar panel (PV) readiness. - Optional PV ready details to include, at least a 2.5 cm (1") nominal diameter rigid or flexible metal conduit, electrical metallic tubing, or cables with a metal armor or metal sheath. - Alternatively, a 2" vacuum tube with wine pulled thru and a card on each end, to accommodate future installation of PV panels on roof. Solar PV readiness details shall consider Section 64 of the Canadian Electrical Code Part 1 concerning "Renewable Energy Systems". Contractor to specify at time of Building Permit.		

EV Readiness		
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Solar Readiness		
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Land Use Bylaw Analysis based on 1p2007

Site Area: 544.6 m²

Subject Land Use Designation: R-CG

Adjacent Land Use Designations: R-CG

Part 5: Low Density Residential Districts

- Div. 1: General Rules for Low Density Residential Land Use Districts
- Div. 11: Residential - Grade-Oriented Infill (R-CG) District

526: Purpose

The R-CG District accommodates grade-oriented development in the form of Rowhouse & Townhouse Buildings as well as secondary suites in the development, while providing flexible parcel dimensions and building setbacks that aid in the diversity of grade-oriented housing requirements.

526: Discretionary Uses: (this will be a Discretionary Development Permit application)

2. Townhouse Building (1.1) is a discretionary use in the Residential Grade-Oriented Infill District

529: Density

The maximum density for parcels designated R-CG District is 75 units per hectare (subject = 70.846 units/ha)

534: Parcel Coverage (Parcel Area = 544.6 m²)

2d. 60.0 per cent of the area of the parcel subject to a single development permit for a development with a density of 60 units per hectare or greater.

3. The maximum parcel coverage referenced in subsections (2), must be reduced by:

- a. 21.0 square metres where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and
- b. 19.0 square metres for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.

Allowable Parcel Coverage @60%: 338.76 m²

Subject Building Footprint: 237.92 m²

Subject Detached Garage (4): 89.18 m²

Total Parcel Coverage: 327.00 m² / 544.6 m²

Actual Parcel Coverage: 57.92%

535: Building Depth & Separation

1. Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0 per cent of the parcel depth for a building containing a unit.

537: Building Setback from Front Property Line (Proposed building setback is 3.23 metres)

The minimum building setback from the front property line is 3.0 metres.

540: Building Setback from Rear Property Line (Proposed building setback from rear property line is 13.4 metres)

1. Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 7.5 metres.

2. On a lot or corner parcel, the minimum building setback from a rear property line is 1.2 metres.

541: Building Height (Maximum Building Height has not been exceeded)

1. Unless otherwise referenced in subsections (2), (3) and (4), the maximum building height is 11.0 metres measured from grade.

2. Where a building setback is required from a property line shared with another parcel designated with a low density residential district, or the M-CG or H-GO District, the maximum building height:

- a. is the greater of:
 - (1) the highest geodetic elevation of a main residential building on the adjoining parcel; or
 - (2) 7.0 metres from grade; measured at the shared property line; and
- b. increases at a 45 degree angle to a maximum of 11.0 metres measured from grade.

3. On a corner parcel, the maximum area of a horizontal cross section through a building at 9.5 metres above average grade must not be greater than 75.0 per cent of the maximum area of a horizontal cross section through the building between average grade and 8.6 metres.

4. Where not located on a corner parcel, the maximum building height is 8.6 metres for any portion of a main residential building located between the rear property line and 60.0 per cent parcel depth or the contextual building depth average, whichever is greater.

542.1: Landscape Plan Requirements (Separate Landscape Plan provided)

For developments of three units or more, a landscape plan for the entire development must be submitted as part of each development permit application where changes are proposed to buildings or the site plan.

542.2: Planting Requirements (Minimum Tree & Shrub Plantings have been exceeded on this project)

1. Trees required by this section:

- a. may be provided through the planting of new trees or the preservation of existing trees; and
- b. may be provided through the planting of new trees or the preservation of existing trees; and

2. A minimum of 1.0 tree and 30 shrubs must be provided for each 110.0 square metres of parcel area.

543: Amenity Space (Combination of Private & Common Amenity Spaces provided)

1. For developments of three units or more, each unit and suite must have amenity space that is located outdoors and is labeled on the required landscape plan.

2. Amenity space may be provided as common amenity space, private amenity space or a combination of both.

546: Motor Vehicle Parking Stalls (4 parking stalls required & 4 parking stalls provided provided for main units)

The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit and suite.

546.2: Bicycle Parking Stalls (2.0 Bicycle Stalls required, 4.0 Class 1 Bike Stalls & Lockers provided)

The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.

546.3: Waste, Recycling and Organics (Storage provided along West Fenceline)

For developments of three or more units, garbage, recycling, and organics must be stored in a screened location approved by the Development Authority.

295: Secondary Suite

a. means a use that:

- (1) contains two or more rooms used or designed to be used as a residence by one or more persons;
- (2) contains a kitchen, living, sleeping and sanitary facilities;
- (3) is self-contained and located within a Dwelling Unit;
- (4) must not be located in a Dwelling Unit where another Dwelling Unit is located wholly or partially above or below the Dwelling Unit containing the Secondary Suite; and
- (5) is considered part of and secondary to a Dwelling Unit;

351: Secondary Suite

1. For a Secondary Suite, the minimum building setback from a property line, must be equal to or greater than the minimum building setback from a property line for the main residential building.

2. There is no maximum floor area for a Secondary Suite wholly located in a basement, internal landings stairways, providing access to the basement may be located above grade.

3. Except in the R-CG district, a Secondary Suite must have a private amenity space that:

- a. is located outdoors;
- b. has minimum area of 7.5 square metres with no dimension less than 1.5 metres.

(per R-CG no amenity space sizing required, but private & common amenity spaces are provided)

DRAWING TITLE: DWELLINGS - SITE PLAN - BYLAW ANALYSIS - BUILDING CODE ANALYSIS - BUILDING STATISTICS - WASTE & RECYCLE & ORG. STAT. - SITE LEGEND - EXTERIOR LIGHTING DETAIL - DRIVEWAY PROFILES - BIKE LOCKER DETAIL - U-RACK DETAIL - WOOD RETAINING FENCE DETAILS

DATE: February 17 2026 SCALE: AS SHOWN

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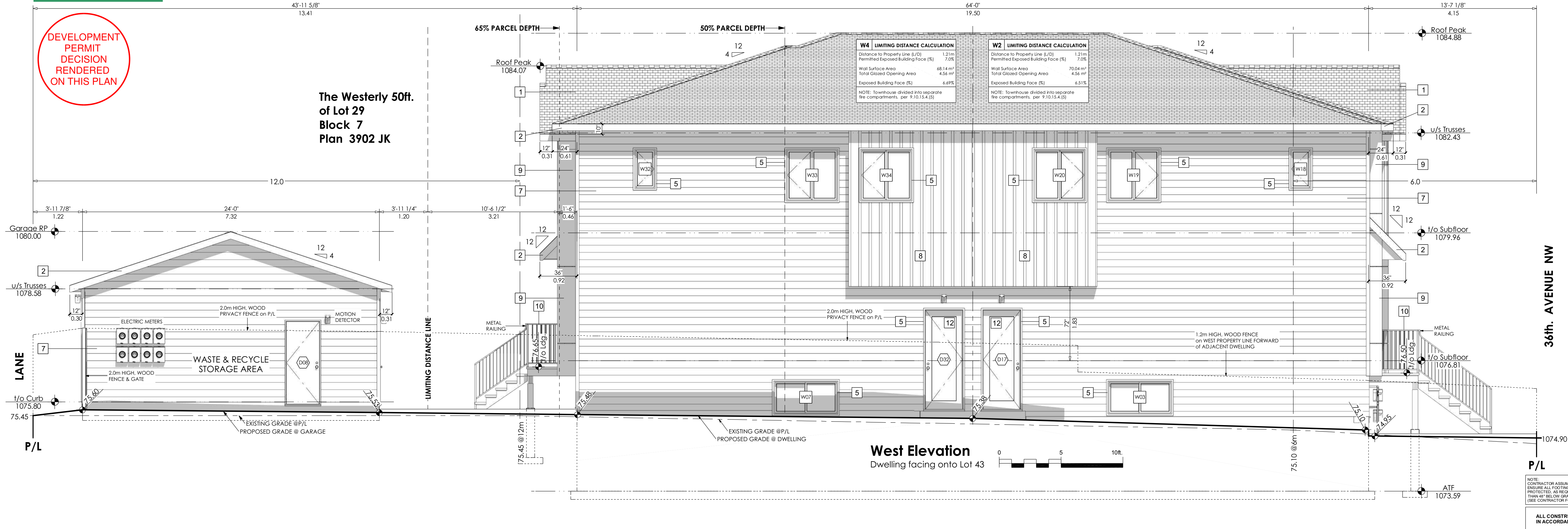
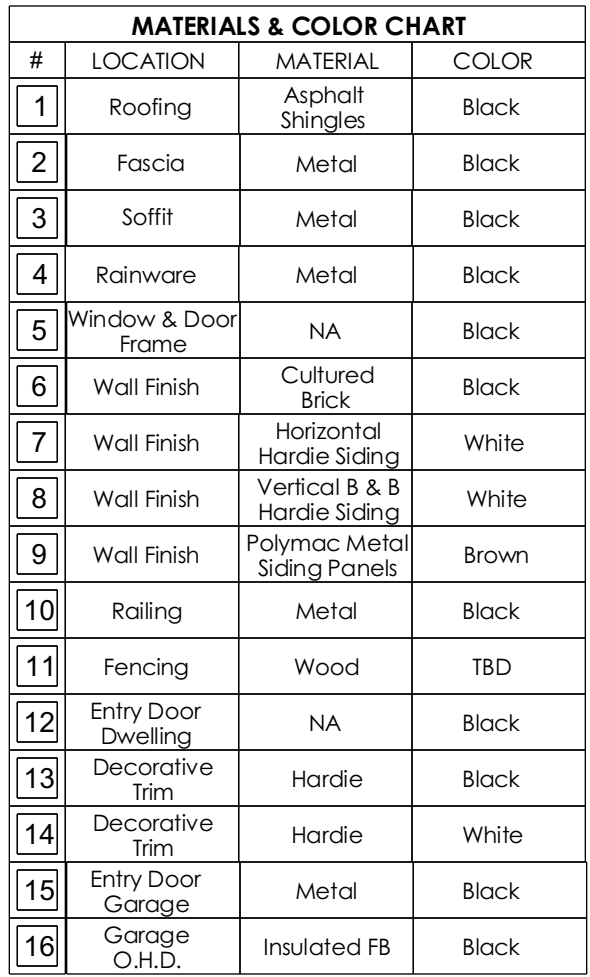
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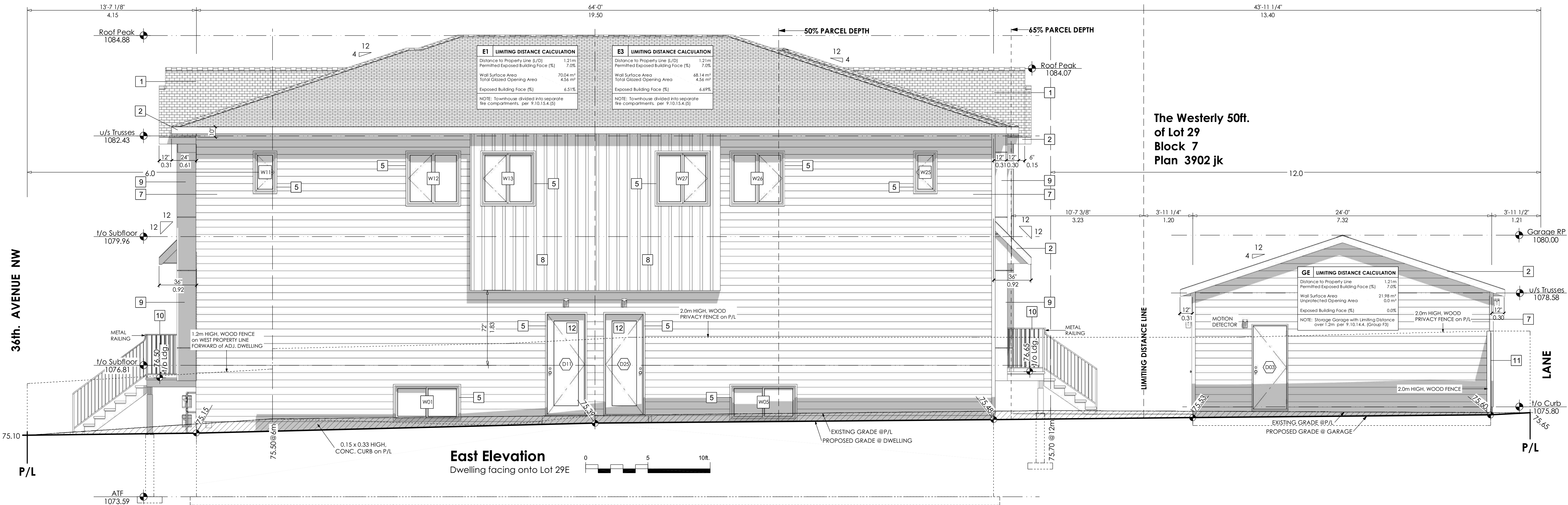
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DETAILS of CONSTRUCTION USED to COMPLY with SPV-006
(Firewall by Division B 9.10.11.2.(2) need not be provided)(Not Sprinklered)

- 1./ Fire Separation for Exits:** see construction assemblies pg. A10
 - Secondary Suite exits are separated from the Main Units by Fire Separation Wall assemblies "W3b" under 9.10.3.1.-A and Fire Separation Floor assemblies "F9h" under 9.10.3.1.-B
 - Wall Assembly "W3b" has a fire-resistance rating of:
 - 45 min. for Load Bearing Assemblies
 - 1.0hr. for Non-Load Bearing AssembliesThis assembly has a STC rating of 48 and Floor Assembly "F9h" has a fire-resistance rating of 45 min.. This assembly has a STC rating of 53
- 2./ Separation of Residential Units and Suites:** see construction assemblies pg. A10
 - Secondary Suites are separated from the Main Units by Fire Separation Wall assemblies "W3b" under 9.10.3.1.-A and Fire Separation Floor assemblies "F9h" under 9.10.3.1.-B and Units & Suites are separated from other Units & Suites by Fire Separation Wall assemblies "W13a" under 9.10.3.1.-A
 - Wall Assembly "W3b" has a fire-resistance rating of:
 - 45 min. for Load Bearing Assemblies
 - 1.0hr. for Non-Load Bearing AssembliesThis assembly has a STC rating of 48 and Floor Assembly "F9h" has a fire-resistance rating of 45 min. This assembly has a STC rating of 53 and Wall Assembly "W13a" has a fire-resistance rating of:
 - 1.5hr. for Load-Bearing Assemblies
 - 2.0hr. for Non-Load Bearing AssembliesThis assembly has a STC rating of 57
- 3./ Construction of Fire Separations with a Fire-Resistance Rating**
 - All Fire-Rated assemblies are in conformance with Article 9.10.3.1. and
 - construction that is deemed to satisfy the requirements of 9.10.3.1. having
 - walls and floor/ceiling assemblies framed with wood studs, wood joists, or wood I-joists,
 - joist/stud spaces filled with preformed rock or slag fibre insulation
 - resilient channel on one side of the fire separation spaced 400 or 600mm on centre, and
 - not less than 15.9mm thick Type X gypsum board on ceilings and both sides of walls and
 - All loadbearing walls, columns and arches in the storey immediately below a floor assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.
- 4./ Two Separate Exits**
 - Each Dwelling Unit is provided with two separate egress exits.
 - one exit door faces the street and is within 0.6m of finished grade
 - second exit door faces the rear common area and is within 0.6m of finished grade.
 - Each secondary suite is provided with three separate egress exits.
 - one exit door faces the street and is within 0.6m of finished grade.
 - two egress windows conforming to clauses 9.9.9.1.(2)(a) and (b)
 - one window facing the street and one window facing the rear common area.
- 5./ Ventilation, Air Ducts and Fire Dampers**

Sub-trade drawings will be submitted with the building permit application for heating, ventilating and air-conditioning systems as needed, showing the size and continuity of all pipes, ducts, shafts, flues and fire dampers; the location, size, capacity and type of all principal units of equipment, and the size and location of all combustion air and ventilation openings.
- 6./ Doors and Penetrations**
 - No door openings in fire separations are designed for this project.
- 7./ National Building Code - Alberta Edition**
 - Excepting the points noted above, all other acceptable solutions and technical requirements for secondary suites as outlined in the National Building Code - Alberta Edition must be satisfied for this application to use SPV-006.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-07527 MAR 10 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

NOTE:
CONTRACTOR ASSUMES ALL RESPONSIBILITY TO
ENSURE ALL FOOTINGS AND BELOW GRADE PADS ARE
PROTECTED, AS REQUIRED BY NBC 2023 (AE) IF LESS
THAN 40" BELOW GRADE OR EXPOSED TO WATER OR Frost.
(SEE CONTRACTOR FOR DETAILS)

NOTE:
ALL CONSTRUCTION WORK TO BE DONE
IN ACCORDANCE WITH NBC 2023 (AE) and
NECB 2020

ANY REPRODUCTION OF THESE
DRAWINGS IS EXPRESSLY PROHIBITED
WITHOUT WRITTEN CONSENT OF DESIGNER.
BUILDER MUST CHECK AND VERIFY ALL
DETAILS AND DIMENSIONS, AND REPORT
ANY DISCREPANCIES TO THE DESIGNER
PRIOR TO ANY ON-SITE CONSTRUCTION.
ALL WORK ON-SITE IS TO BE PERFORMED
IN ACCORDANCE WITH ALL APPLICABLE
NATIONAL AND PROVINCIAL BUILDING
CODES AND REGULATIONS.
WRITTEN DIMENSIONS SHALL HAVE
PRECEDENCE OVER SCALED DIMENSIONS.
DO NOT SCALE DRAWINGS.

STAMPS & SEALS:

CONSULTANT:
(403) 901-5115
VSDG@shaw.ca
VSDG
Vaughan Scott
DESIGN INC.

BUILDING CODE REQUIREMENTS:
**ALL CONSTRUCTION
MUST COMPLY WITH
NBC 2023 (AE) & NECB 2020**

MUNICIPAL ADDRESS: BUILDING:
#7136
36th Avenue N.W.
Calgary, AB.
(Business)
Zoned: R-CG
4P

LEGAL ADDRESS:
The Westerly 50ft.
of Lot 29
Block 7
Plan 3902 JK

SURVEYOR:
Horizon Land Surveys Inc.
#130 Bowness Centre NW
Calgary, Alberta
(403) 719-0272
Dated: August 06/2024

COMPLIANCE PATH:
PRESCRIPTIVE ☐
TRADE OFF ☐
PERFORMANCE ☒

PROJECT TITLE:
7136 on 36th. 4P
Proposed Suited 4-Unit, Multi Residential Development
with Detached Residential Accessory Building (Garage)

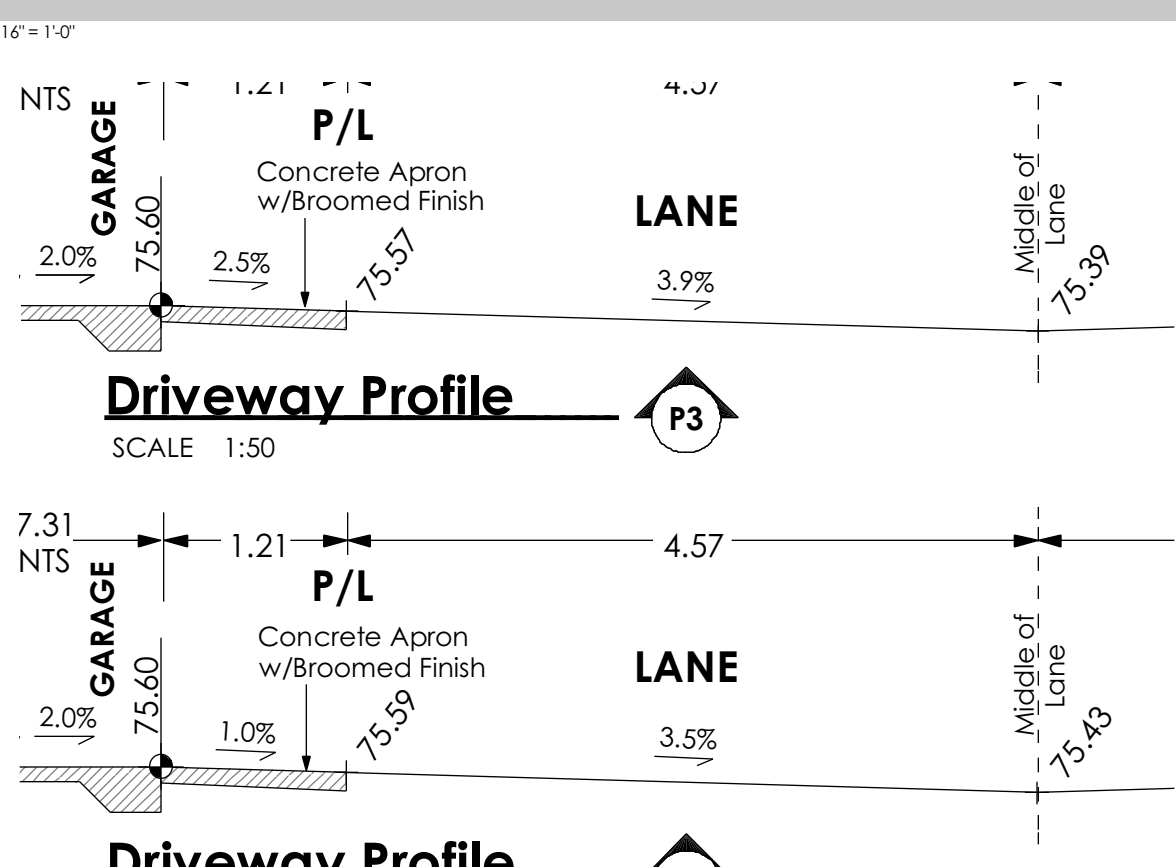
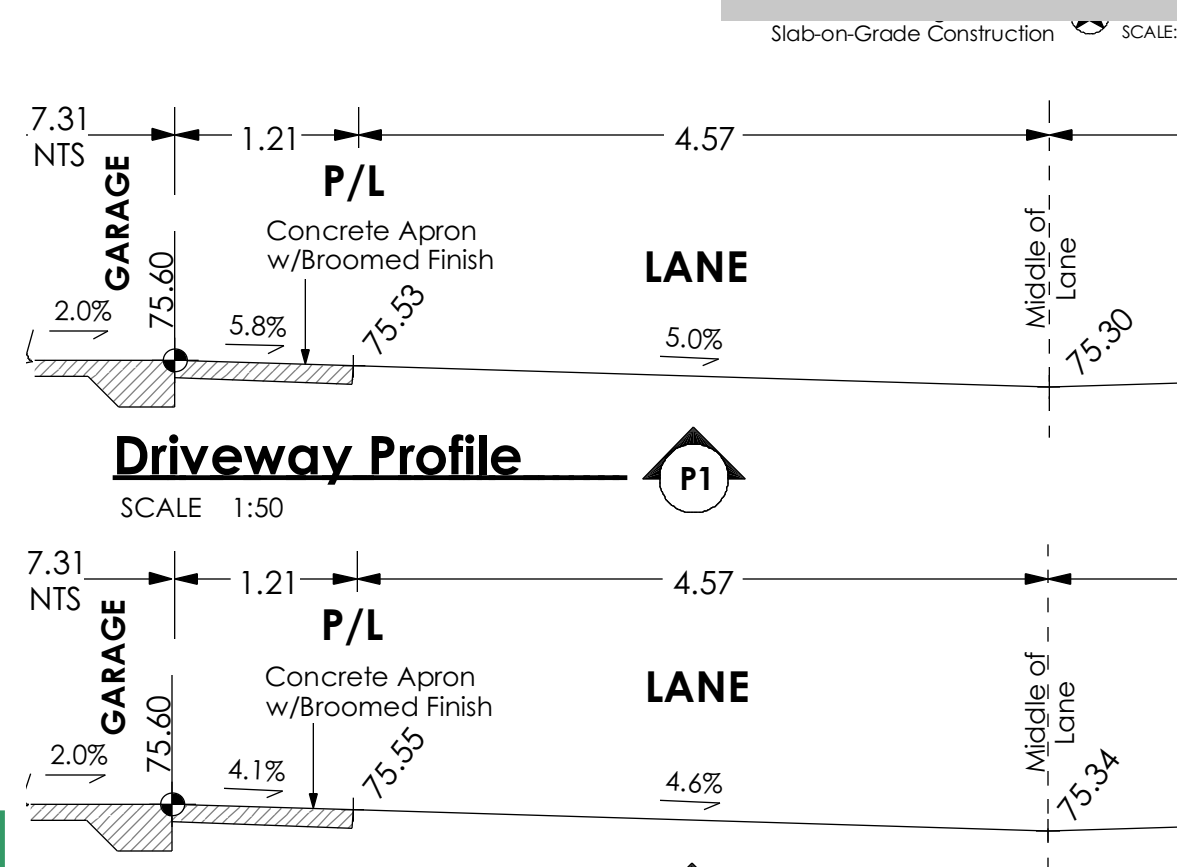
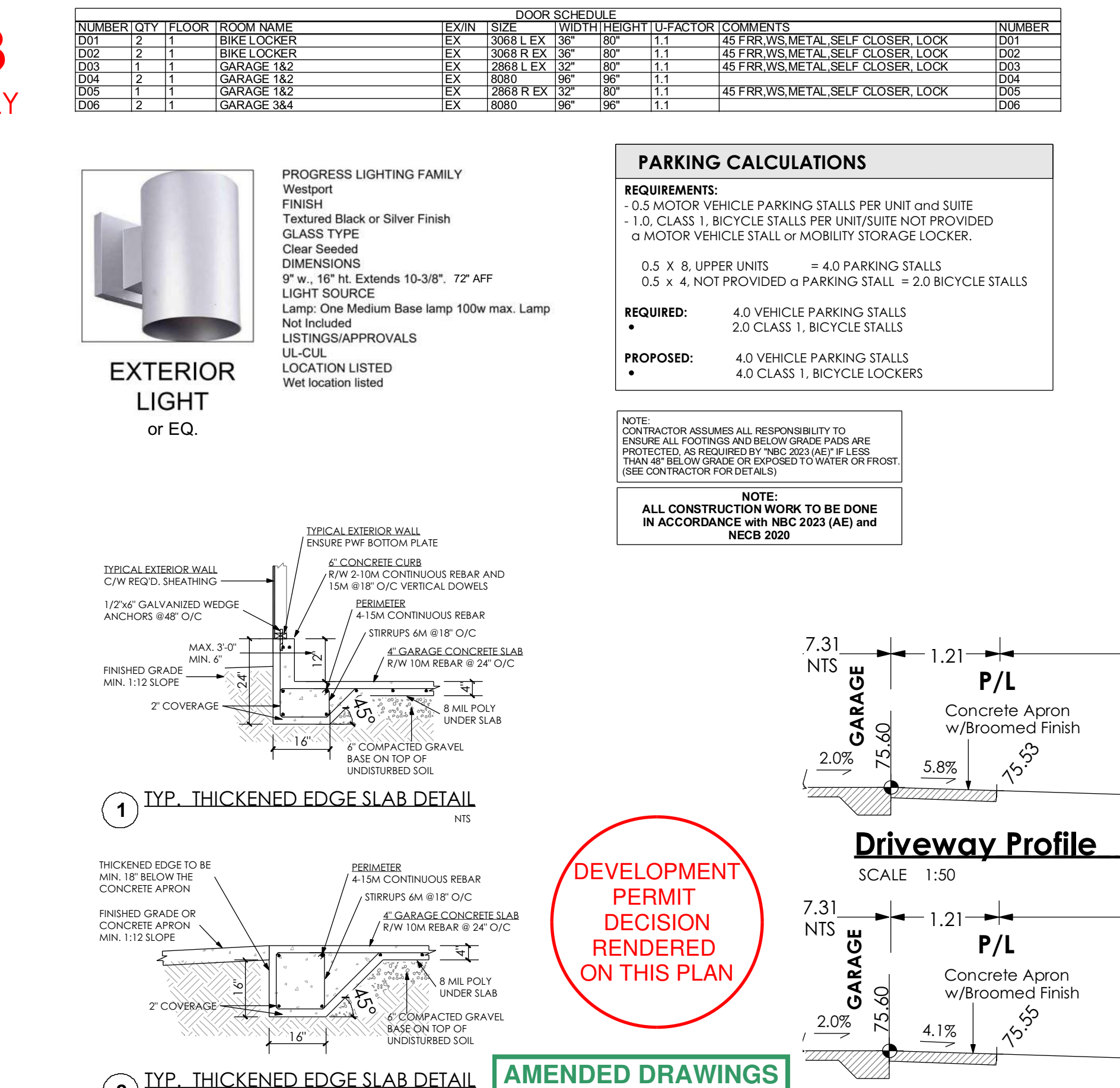
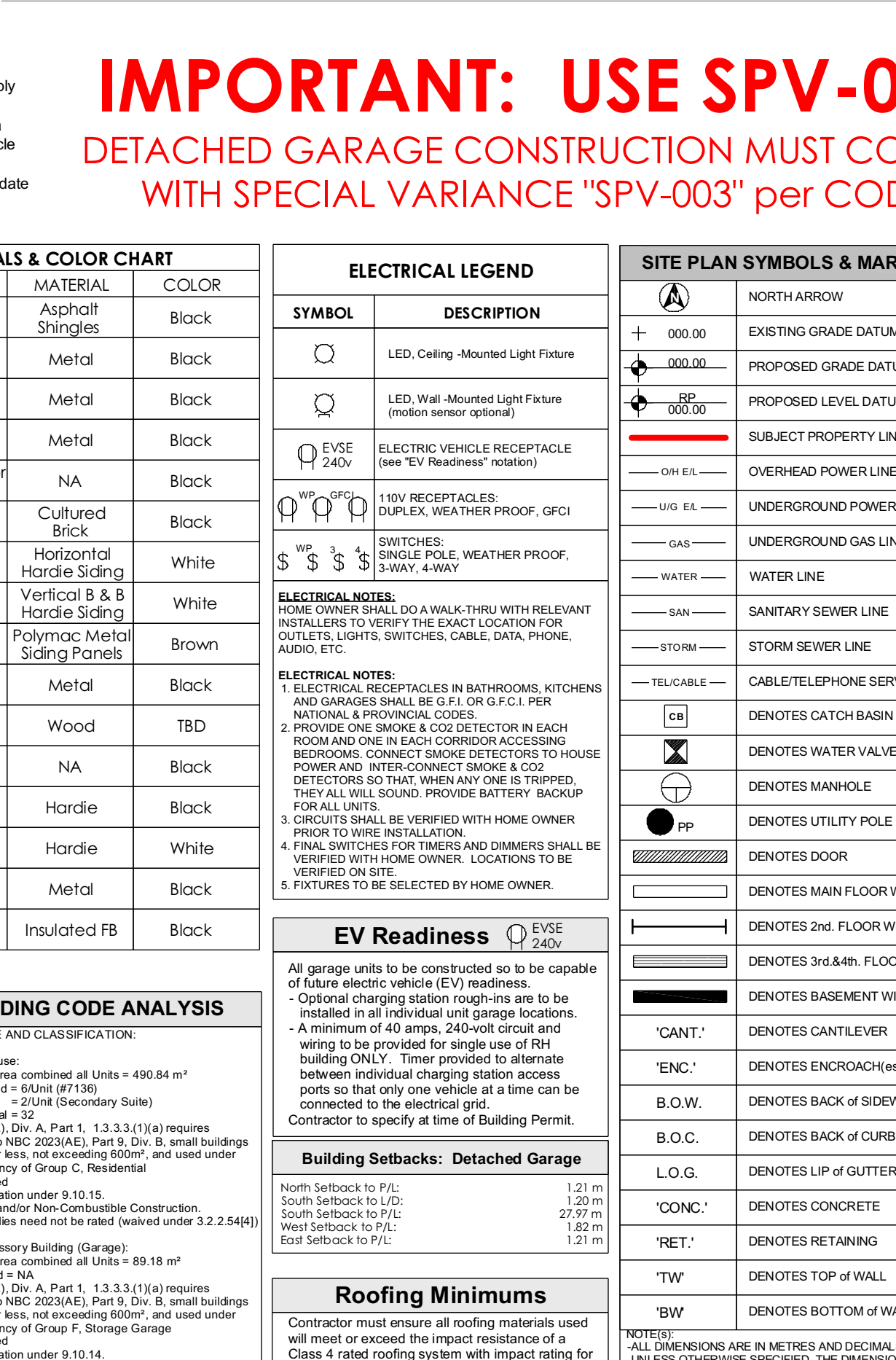
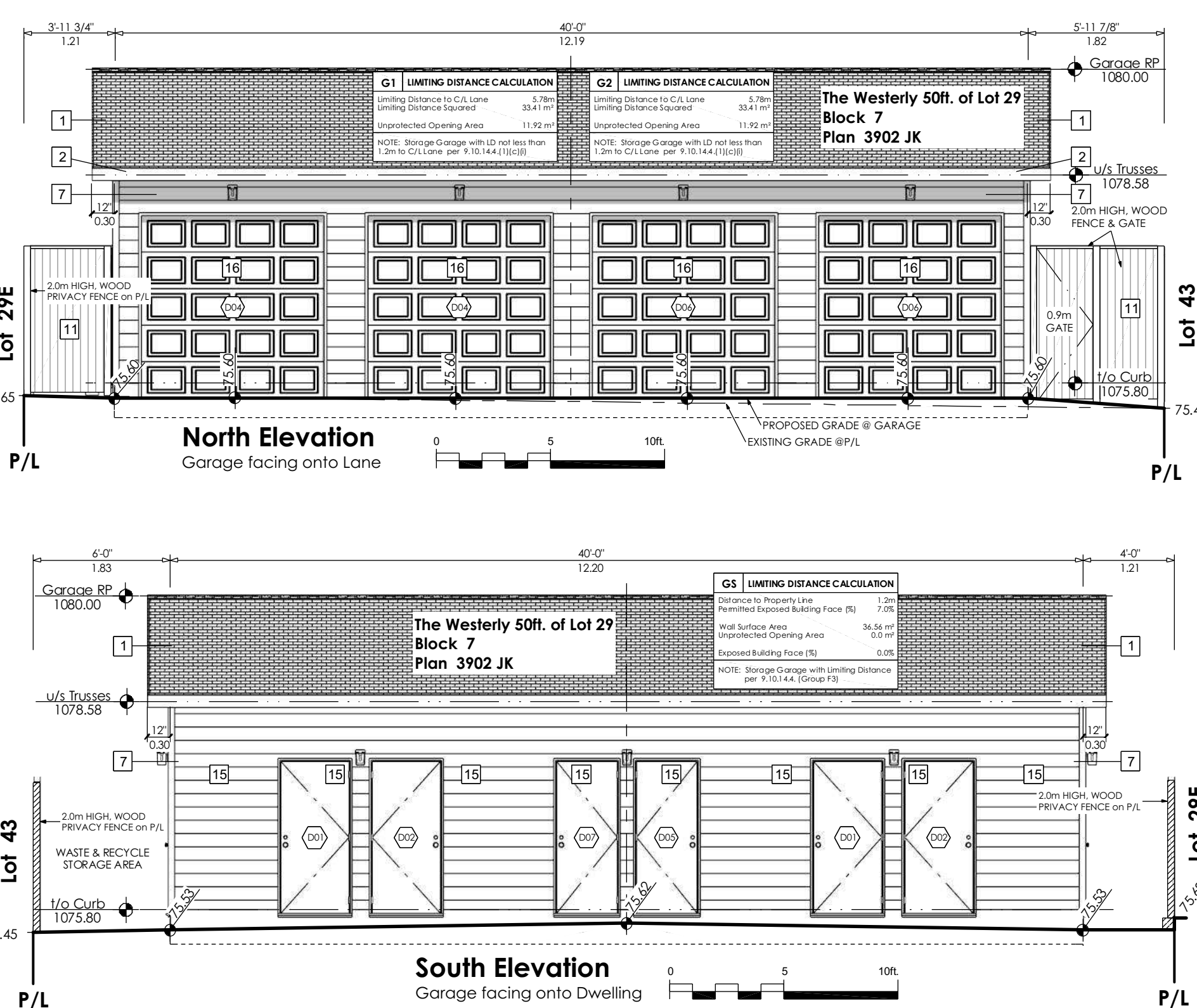
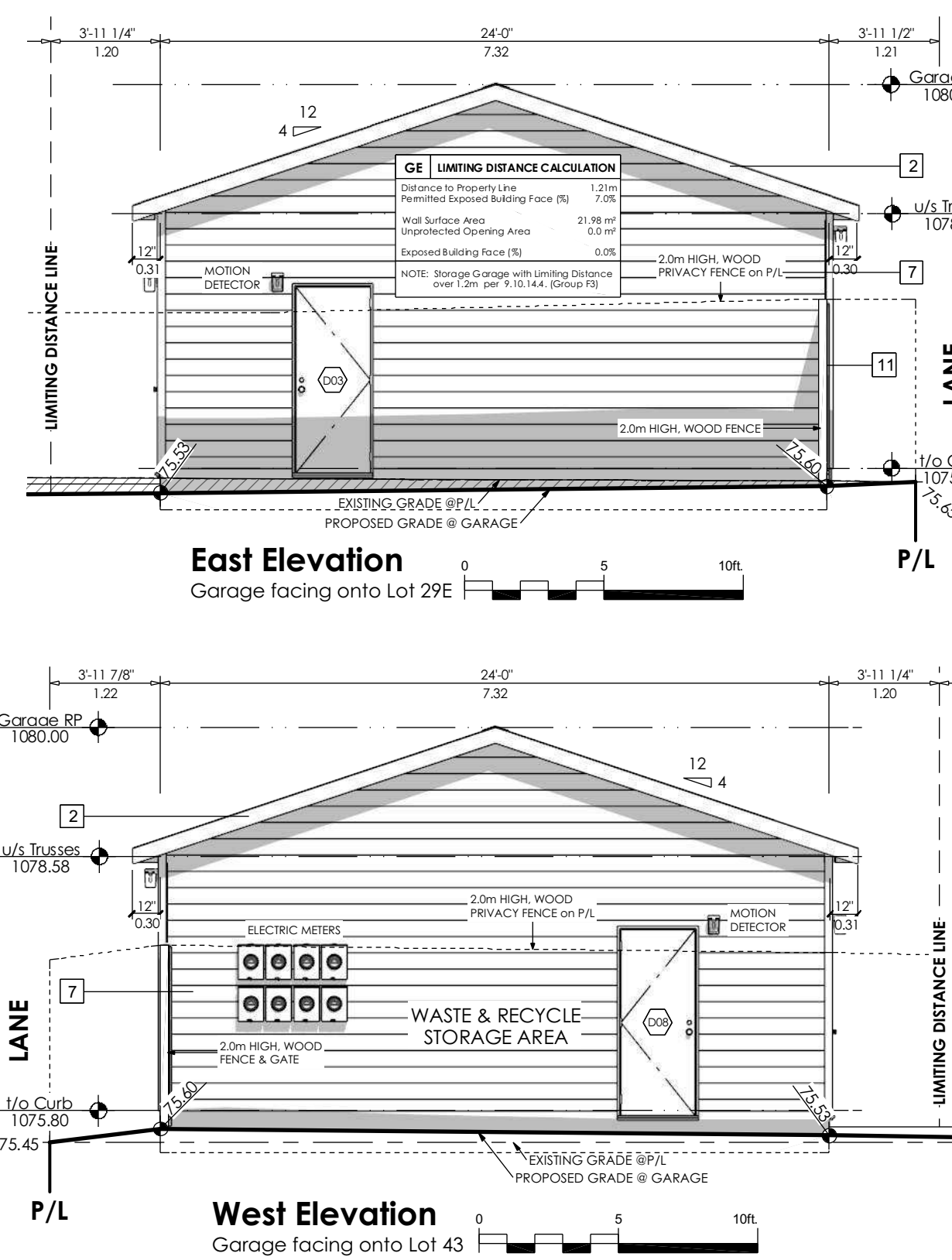
DRAWING TITLE:
DWELLING:
- EAST ELEVATION
- SPV 006 NOTES & DETAILS
- ROOF PLAN

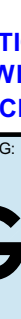
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February 17 2026	1/4" = 1'-0" or AS SHOWN

REV	DATE	DESCRIPTION	REV
A	Dec. 29 2025	DEVELOPMENT DRAWING ISSUED FOR REVIEW	VS
B	Feb. 17 2026	DEVELOPMENT DRAWING Amended: DRI COMMENTS	VS

REVISION	PAGE NUMBER
B	A-5

24-0723-2



ANY REPRODUCTION OF THESE DRAWINGS IS EXPRESSLY PROHIBITED WITHOUT WRITTEN CONSENT OF DESIGNER. BUILDERS MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO ANY ON-SITE CONSTRUCTION. ALL WORK ON SITE IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL AND PROVINCIAL BUILDING CODES AND REGULATIONS. WITNESS DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS DO NOT SCALE DRAWINGS.			
STAMPS & SEALS:			
CONSULTANT: 403) 901-5115 (VSD) g@shaw.ca			
BUILDING CODE REG REQUIREMENTS: ALL CONSTRUCTION MUST COMPLY WITH NBC 2023 (AE) & NBCC 2020			
PROJECT ADDRESS: #7136 36th Avenue N.W. Calgary, AB (Business) Zones: R-CG		BUILDING: GR	
LEGAL ADDRESS: The Westerly 50ft. of Lot 29 Block 7 Plan 3902 JK			
SURVEYOR: Horizon Land Surveys Inc. #130 Bowness Centre NW Calgary, Alberta C00027719-0272 Dated: August 06/2024			
COMPLIANCE PATH: PRESCRIPTIVE _____ ☐ TRADITIONAL _____ ☐ PERFORMANCE _____ ☒			
PROJECT TITLE: Proposed Suited 4-Unit, Multi Residential Development with Detached Residential Accessory Building (Garage)			
DRAWING TITLE: ACCESSORY BUILDING: • SITE PLAN & LEGEND • BUILDING CODE ANALYSIS • EXTERIOR LIGHTING DETAIL • GARAGE FLOOR PLAN • GARAGE FOUNDATION PLAN • GARAGE ROOF PLAN • GARAGE ELEVATIONS (4) • GARAGE SECTIONS (2) • CONSTRUCTION ASSEMBLIES • DOOR SCHEDULE • CONSTRUCTION ASSEMBLIES • PARKING CALCULATIONS			
DATE: February 17 2026		SCALE: AS SHOWN	
REV.	DATE:	DESCRIPTION:	REV BY
A	Dec. 28 2025	DEVELOPMENT DRAWINGS ISSUED FOR REVIEW	VS
B	Feb. 17 2026	CONSTRUCTION ASSEMBLIES Amended, DRI COMMENTS	VS
REVISION:	PAGE NUMBER:		
B	A-8		
JOB NUMBER: 24-0723-2			