

RESIDENTIAL CONSTRUCTION

#7136, 36th. Avenue N.W.

4-UNIT MULTI-RESIDENTIAL DEVELOPMENT w/SECONDARY SUITES & 4-STALL DETACHED GARAGE: ISSUED for REVIEW

CONSULTANT LIST

ARCHITECTURAL

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STRUCTURAL

MECHANICAL

ELECTRICAL

DRAWING LIST

ARCHITECTURAL

A-1 COVER SHEET
A-2 SITE PLAN & DETAILS
A-3 BLOCK PLAN, LANDSCAPE PLAN. & STREETSCAPES
A-4 DWELLING: ELEVATIONS (3)
A-5 DWELLING: ELEVATIONS (1) & ROOF PLAN & FIREWALL
A-6 DWELLING: MAIN & UPPER FLOOR PLANS
A-7 DWELLING: FDN. PLAN with BSMT. SUITE LAYOUT
A-8 GARAGE: ACCESSORY BUILDING PLAN

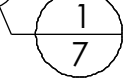
SYMBOLS

 NORTH ARROW

 BUILDING SECTION

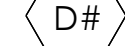
 EXTERIOR ELEVATION

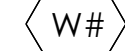
 INTERIOR ELEVATION

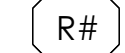
 DETAIL

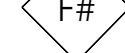
 CEILING TYPE

 WINDOW CALLOUT

 DOOR CALLOUT

 WALL TYPE

 ROOF TYPE

 FLOOR TYPE

ABBREVIATIONS

A.F.F. - ABOVE FINISHED FLOOR
AR. GWB. - ABUSE RESISTANT GWB
ACT. - ACOUSTIC CEILING TILE
ALUM. - ALUMINUM
ANOD. - ANODIZED
ARCH. - ARCHITECTURAL
B.B. - BASE BUILDING
BATT. - BATT INSULATION
BF. - BARRIER FREE
BM. - BEAM
BLDG. - BUILDING
CPT. - CARPET
CLG. - CEILING
CL. - CENTRE LINE
COL. - COLUMN
C/W. - COMPLETE WITH
CONC. - CONCRETE
CMU. - CONCRETE MASONRY UNIT
CONT. - CONTINUOUS
CG. - CORNER GUARD
CORR. - CORRIDOR
DEMO - DEMOLITION
DP. - DEEP
DIM. - DIMENSION
DIA. - DIAMETER
DN. - DOWN
DWG. - DRAWING
EA. - EACH
EL. - ELEVATION
ELEC. - ELECTRICAL
EQ. - DQUAL
EXIST. - EXISTING
EXT. - EXTERIOR
F.O. - FACE OF
FIN. - FINISH
FR. - FIRE RATED
FR.R. - FIRE RESISTANCE RATING
FL. - FLOOR
FD. - FLOOR DRAIN
FE. - FIRE EXTINGUISHER
FS. - FULL SIZE
GA. - GAUGE
GL. - GLASS
GR. - GRADE
GWB. - GYPSUM WALL BOARD
HC. - HOLLOWCORE
HD. - HIGH DENSITY
HP. - HIGH POINT
HORIZ. - HORIZONTAL
H.S.S. - HOLLOW STEEL SECTION
INT. - INTERIOR
I.F. - INSIDE FACE
INSUL. - INSULATION
LAM. - LAMINATED
LAV. - LAVATORY
LTTP. - LONG TERM THERMAL PERFORMANCE
MAX. - MAXIMUM
MECH. - MECHANICAL
MTL. - METAL
MISC. - MISCELLANEOUS
MIN. - MINIMUM
MUA. - MAKE P AIR UNIT
NAT. - NATURAL
N.I.C. - NOT IN CONTRACT
N.T.S. - NOT TO SCALE
NO. - NUMBER
O.C. - OFF CENTRE
OPG. - OPENING
O.TOO. - OUT TO OUT
O.F. - OUTSIDE FACE
PTD. - PAINTED
PR. - PAIR
PL. - PLATE
PIAM. - PLASTIC LAMINATE
PTN. - PARTITION
PREFIN. - PREFINISHED
PLVD. - PLYWOOD
POLU. - POLYETHYLENE
PS. - PRESSED STEEL
Q.T. - QUARRY TILE
R.W.L. - RAINWATER LEADER
RCV. - RECEIVE
REINF. - REINFORCED
REQ. - REQUIRED
REV. - REVISED
RM. - ROOM
R.D. - ROOF DRAIN
R.Q. - ROUGH OPENING
RCP. - REFLECTED CEILING PLAN

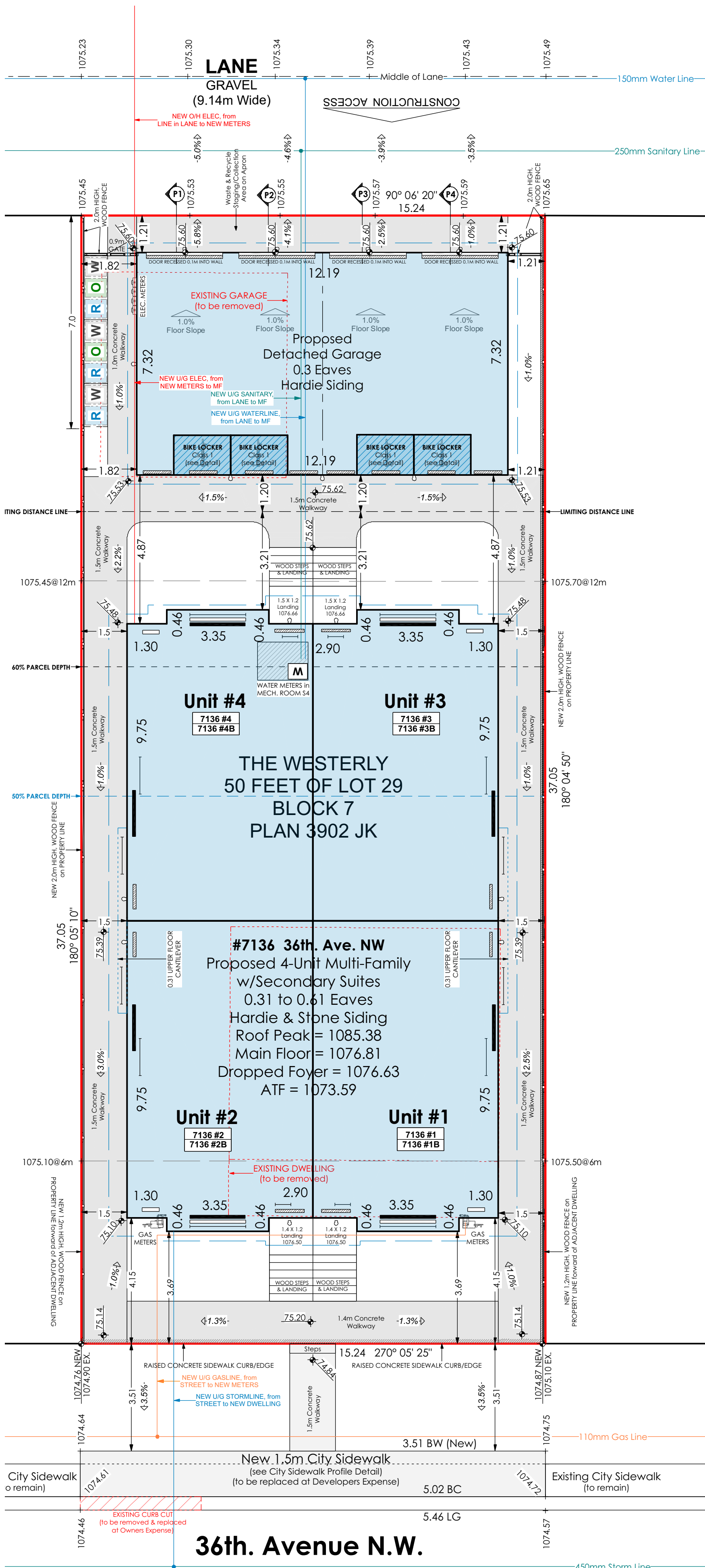
SIM. - SIMILAR
SPEC. - SPECIFICATION
S.C. - SOLID CORE
STD. - STAINED
SS. - STAINLESS STEEL
STL. - STEEL
STRUCT. - STRUCTURAL
T.O. - TOP OF
T&G. - TONGUE AND GROOVE
T.I. - TENANT IMPROVEMENT
TYP. - TYPICAL
US. - UNDERSIDE
U.L.C. - UNDERWRITER LABORATORIES OF CANADA
VB. - VAPOUR BARRIER
VEN. - VENEER
VERT. - VERTICAL
V.C.T. - VINYL COMPOSITE TILE
V.B. - WEATHER BARRIER
W.P. - WATERPROOF
WD. - WOOD

CCMC REGISTRY #s

JAMES HARDIE - PLANK, PANEL, SHINGLE 12676-R
BLUESKIN SA (WBR) 13297-R
ARRILON PRO-RS (EPS) 13262-R
DUREX EPS (combustible & non-combustible) 13103-R
INSULROCK & PUCCEPS 12969-R
DOW CHEMICAL POLYISO (FACE) INSULATION 08433-L
HAMBRO FLOORING FIBRE ASSEMBLY 08262-R
COLPRIME FOUNDATION/WATERPROOFING 13877-R
ROULE FOUNDATION DRAINBOARD SYSTEM 12716-R
KORNER SCREW PILES 13193-R
CHANCE HELICAL PILES 13244-L
MEDIUM DENSITY SPRAY FOAM (2lb closed cell) 13244-L
- PEACH 13244-L
- GREEN 13244-L
MINERAL FIBRE BLOWN-IN INSULATION 13155-L
LOOSE FILL INSULATION- DRY (CANULC-S703) 13198-R
VINYL SIDING 09799-L
CERTANTEED-MINERAL FIBRE 13094-L
BLOWN INSULATION 12344-L
ROYAL-VINYL SIDING 13063-R
"NIDURAK" INSULATED CONCRETE FORMS (ICF) 13110-R
"LOGIC" INSULATED CONCRETE FORMS (ICF) 13034-R
MASCOC FLEX COAT ADRYLIC STUCCO 13125-R
COMPOSITE DECKING (TREX)

NUMBER	QTY	FLOOR	ROOM NAME	EX	IN	SIZE	WIDTH	HEIGHT	U-FACTOR	COMMENTS	NUMBER
D01	2	1	BIKE LOCKER	EX	3068 L EX	36"	80"	1.1		45 FRR, WS, METAL, SELF CLOSER, LOCK	D01
D02	2	1	BIKE LOCKER	EX	3068 R EX	36"	80"	1.1		45 FRR, WS, METAL, SELF CLOSER, LOCK	D02
D03	2	1	GARAGE 182	EX	3068 R EX	36"	80"	1.1		45 FRR, WS, METAL, SELF CLOSER, LOCK	D03
D04	2	1	GARAGE 182	EX	8080	96"	96"	1.1			D04
D05	2	1	GARAGE 384	EX	3068 L EX	36"	80"	1.1		45 FRR, WS, METAL, SELF CLOSER, LOCK	D05
D06	2	1	GARAGE 384	EX	3068 L EX	36"	80"	1.1		45 FRR, WS, METAL, SELF CLOSER, LOCK	D06
D07	1	0	S1 BDRM. CLOSET/S1 BDRM.	IN	5068 L/R IN	60"	80"	0.3			D07
D08	1	0	S1 BDRM/S1 HALLWAY	IN	2668 R IN	30"	80"	0.3			D08
D09	1	1	S1 ENTRY	EX	3080 R EX	36"	96"	1.1			D09
D10	1	0	S1 ENTRY CLOSET/S1 HALLWAY	IN	2468 R IN	28"	80"	0.3			D10
D11	1	0	S1 FULL BATH/S1 HALLWAY	IN	2668 R IN	30"	80"	0.3			D11
D12	1	0	S1 PANTRY/S1 KIT./LIV.	IN	2668 R IN	30"	80"	0.3			D12
D13	1	0	S2 BDRM. CLOSET/S2 BDRM.	IN	5068 L/R IN	60"	80"	0.3			D13
D14	1	0	S2 BDRM/S2 HALLWAY	IN	2668 R IN	30"	80"	0.3			D14
D15	1	1	S2 ENTRY	EX	3080 L EX	36"	96"	1.1			D15
D16	1	0	S2 ENTRY CLOSET/S2 HALLWAY	IN	2468 L IN	28"	80"	0.3			D16
D17	1	0	S2 FULL BATH/S2 HALLWAY	IN	2668 L IN	30"	80"	0.3			D17
D18	1	0	S2 MECH/S2 HALLWAY	IN	7068 R IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D18
D19	1	0	S2 MECH/S2 HALLWAY	IN	7068 L IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D19
D20	1	0	S2 WATER METER RM/S2 KIT./LIV.	IN	2668 L IN	30"	80"	0.3			D20
D21	1	0	S3 BDRM. CLOSET/S3 BDRM.	IN	5068 L/R IN	60"	80"	0.3			D21
D22	1	0	S3 BDRM/S3 HALLWAY	IN	2668 R IN	30"	80"	0.3			D22
D23	1	1	S3 ENTRY	EX	3080 L EX	36"	96"	1.1			D23
D24	1	0	S3 ENTRY CLOSET/S3 HALLWAY	IN	2468 L IN	28"	80"	0.3			D24
D25	1	0	S3 FULL BATH/S3 HALLWAY	IN	2668 L IN	30"	80"	0.3			D25
D26	1	0	S3 MECH/S3 HALLWAY	IN	7068 L IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D26
D27	1	0	S3 PANTRY/S3 KIT./LIV.	IN	2668 L IN	30"	80"	0.3			D27
D28	1	0	S4 BDRM. CLOSET/S4 BDRM.	IN	5068 L/R IN	60"	80"	0.3			D28
D29	1	0	S4 BDRM/S4 HALLWAY	IN	2668 R IN	30"	80"	0.3			D29
D30	1	1	S4 ENTRY	EX	3080 R EX	36"	96"	1.1			D30
D31	1	0	S4 ENTRY CLOSET/S4 HALLWAY	IN	2468 R IN	28"	80"	0.3			D31
D32	1	0	S4 FULL BATH/S4 HALLWAY	IN	2668 R IN	30"	80"	0.3			D32
D33	1	0	S4 MECH/S4 HALLWAY	IN	7068 R IN	84"	80"	0.3		SOLID WOOD DOOR, 45MIN FR. SELF CLOSER	D33
D34	1	0	S4 PANTRY/S4 KIT./LIV.	IN	2668 R IN	30"	80"	0.3			D34
D35	1	2	U1 BDRM. 1 CLOSET/U1 BDRM. 1	IN	2680 L IN	60"	96"	0.3			D35
D36	1	2	U1 BDRM. 1 ENSUITE/U1 BDRM. 1	IN	2480 L IN	28"	96"	0.3		GLASS PANEL DOOR	D36
D37	1	2	U1 BDRM. 1 U1 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D37
D38	1	2	U1 BDRM. 2 CLOSET/U1 BDRM. 2	IN	2680 L IN	60"	96"	0.3			D38
D39	1	2	U1 BDRM. 2 U1 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D39
D40	1	2	U1 BDRM. 3 CLOSET/U1 BDRM. 3	IN	4080 L/R IN	48"	96"	0.3			D40
D41	1	2	U1 BDRM. 3 U1 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D41
D42	1	1	U1 FOYER	EX	3080 L EX	36"	96"	1.1			D42
D43	1	1	U1 FOYER CLOSET/U1 FOYER	IN	4080 L IN	48"	96"	0.3			D43
D44	1	2	U1 FULL BATH/U1 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D44
D45	1	2	U1 LAUNDRY/U1 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D45
D46	1	1	U1 MECHANICAL U1 POWDER ROOM	IN	2680 L IN	32"	96"	0.3			D46
D47	1	1	U1 POWDER ROOM/U1 KIT./DIN./LIV.	IN	2680 L IN	32"	96"	0.3			D47
D48	1	1	U1 STORAGE U1 STAIR/U1 KIT./DIN./LIV.	IN	2680 L IN	30"	96"	0.3			D48
D49	1	2	U2 BDRM. 1 CLOSET/U2 BDRM. 1	IN	5080 L/R IN	60"	96"	0.3			D49
D50	1	2	U2 BDRM. 1 ENSUITE/U2 BDRM. 1	IN	2480 R IN	28"	96"	0.3		GLASS PANEL DOOR	D50
D51	1	2	U2 BDRM. 1 U2 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D51
D52	1	2	U2 BDRM. 2 CLOSET/U2 BDRM. 2	IN	4080 L/R IN	48"	96"	0.3			D52
D53	1	2	U2 BDRM. 2 U2 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D53
D54	1	2	U2 BDRM. 3 CLOSET/U2 BDRM. 3	IN	4080 L/R IN	48"	96"	0.3			D54
D55	1	2	U2 BDRM. 3 U2 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D55
D56	1	1	U2 FOYER	EX	3080 R EX	36"	96"	1.1			D56
D57	1	1	U2 FOYER CLOSET/U2 FOYER	IN	4080 R IN	48"	96"	0.3			D57
D58	1	2	U2 FULL BATH/U2 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D58
D59	1	2	U2 LAUNDRY/U2 LOFT AREA	IN	2680 R IN	32"	96"	0.3			D59
D60	1	1	U2 MECHANICAL U2 POWDER RM.	IN	2680 R IN	32"	96"	0.3			D60
D61	1	1	U2 POWDER RM./U2 KIT./DIN./LIV.	IN	2680 R IN	32"	96"	0.3			D61
D62	1	1	U2 STORAGE U2 STAIR/U2 KIT./DIN./LIV.	IN	2668 R IN	30"	80"	0.3			D62
D63	1	2	U3 BDRM. 1 CLOSET/U3 BDRM. 1	IN	4080 L IN	48"	96"	0.3			D63
D64	1	2	U3 BDRM. 1 ENSUITE/U3 BDRM. 1	IN	2480 R IN	28"	96"	0.3		GLASS PANEL DOOR	D64
D65	1	2	U3 BDRM. 1 U3 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D65
D66	1	2	U3 BDRM. 2 CLOSET/U3 BDRM. 2	IN	4080 L/R IN	48"	96"	0.3			D66
D67	1	2	U3 BDRM. 2 U3 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D67
D68	1	2	U3 BDRM. 3 CLOSET/U3 BDRM. 3	IN	4080 L/R IN	48"	96"	0.3			D68
D69	1	2	U3 BDRM. 3 U3 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D69
D70	1	1	U3 FOYER	EX	3080 R EX	36"	96"	1.1			D70
D71	1	1	U3 FOYER CLOSET/U3 FOYER	IN	4080 L IN	48"	96"	0.3			D71
D72	1	2	U3 FULL BATH/U3 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D72
D73	1	2	U3 LAUNDRY/U3 LOFT AREA	IN	2680 R IN	32"	96"	0.3			D73
D74	1	1	U3 MECHANICAL U3 POWDER ROOM	IN	2680 R IN	32"	96"	0.3			D74
D75	1	1	U3 POWDER ROOM/U3 KIT./DIN./LIV.	IN	2680 R IN	32"	96"	0.3			D75
D76	1	1	U3 STORAGE U3 STAIR/U3 KIT./DIN./LIV.	IN	2668 R IN	30"	80"	0.3			D76
D77	1	2	U4 BDRM. 1 CLOSET/U4 BDRM. 1	IN	5080 L/R IN	60"	96"	0.3			D77
D78	1	2	U4 BDRM. 1 ENSUITE/U4 BDRM. 1	IN	2480 L IN	28"	96"	0.3		GLASS PANEL DOOR	D78
D79	1	2	U4 BDRM. 1 U4 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D79
D80	1	2	U4 BDRM. 2 CLOSET/U4 BDRM. 2	IN	4080 L/R IN	48"	96"	0.3			D80
D81	1	2	U4 BDRM. 2 U4 LOFT AREA	IN	2680 L IN	30"	96"	0.3			D81
D82	1	2	U4 BDRM. 3 CLOSET/U4 BDRM. 3	IN	4080 L/R IN	48"	96"	0.3			D82
D83	1	2	U4 BDRM. 3 U4 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D83
D84	1	1	U4 FOYER	EX	3080 L EX	36"	96"	1.1			D84
D85	1	1	U4 FOYER CLOSET/U4 FOYER	IN	4080 L IN	48"	96"	0.3			D85
D86	1	2	U4 FULL BATH/U4 LOFT AREA	IN	2680 R IN	30"	96"	0.3			D86
D87	1	2	U4 LAUNDRY/U4 LOFT AREA	IN	2680 L IN	32"	96"	0.3			D87
D88	1	1	U4 MECHANICAL U4 POWDER ROOM	IN	2680 L IN	32"	96"	0.3			D88
D89	1	1	U4 POWDER ROOM/U4 KIT./DIN./LIV.	IN	2680 L IN	32"	96"	0.3			D89
D90	1	1	U4 STORAGE U4 STAIR/U4 KIT./DIN./LIV.	IN	2668 L IN	30"	80"	0.3			D90

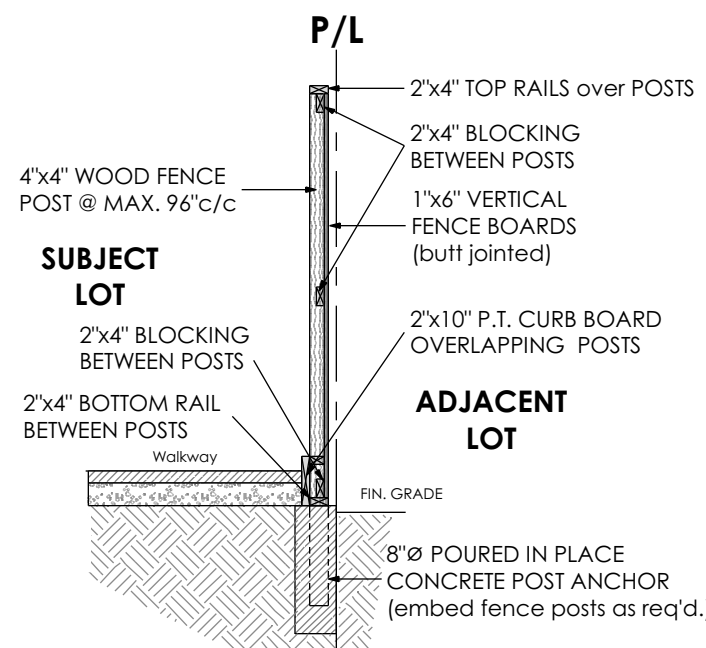
WINDOW SCHEDULE											
W01	QTY	FLOOR	ROOM NAME	SIZE	WIDTH	HEIGHT	TOP	EGRESS	U-FACTOR	COMMENTS	NUMBER
W01	1	0	S1 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6		W01
W02	1	0	S1 KIT./LIV.	6030TS	72"	36"	98.5/8"		1.6		W02
W03	1	0	S2 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6		W03
W04	1	0	S2 KIT./LIV.	6030TS	72"	36"	98.5/8"		1.6		W04
W05	1	0	S3 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6		W05
W06	1	0	S3 KIT./LIV.	6030TS	72"	24"	98.5/8"		1.6		W06
W07	1	0	S4 BDRM.	5026LS	60"	30"	100.5/8"	YES	1.6		W07
W08	1	0	S4 KIT./LIV.	6030TS	72"	24"	98.5/8"		1.6		W08
W09	1	1	U1 BDRM. 1	6030TS	72"	36"	98.5/8"	YES	1.6		W09
W10	1	2	U1 BDRM. 1 CLOSET	1818X60"	20"	20"	95"		1.6		W10
W11	1	2	U1 BDRM. 1 ENSUITE	1818X60"	20"	48"	90"	YES	1.6		W11
W12	1	2	U1 BDRM. 2	40X40C	48"	48"	90"		1.6		W12
W13	1	2	U1 BDRM. 3	40X40C	48"	48"	90"	YES	1.6		W13
W14	1	1	U1 KIT./DIN./LIV.	1240X72"	72"	72"	90"		1.6		W14
W15	1	1	U1 KIT./DIN./LIV.	1860X72"	20"	72"	95"		1.6		W15
W16	1	2	U2 BDRM.	6030TS	72"	36"	98.5/8"	YES	1.6		W16
W17	1	2	U2 BDRM. 1 CLOSET	1818X60"	20"	20"	95"		1.6		W17
W18	1	2	U2 BDRM. 1 ENSUITE	1818X60"	20"	48"	90"	YES	1.6		W18
W19	1	2	U2 BDRM. 2	40X40C	48"	48"	90"		1.6		W19
W20	1	2	U2 BDRM. 3	40X40C	48"	48"	90"	YES	1.6		W20
W21	1	2	U2 KIT./DIN./LIV.	1240X72"	72"	72"	90"		1.6		W21
W22	1	1	U2 KIT./DIN./LIV.	1860X72"	20"	72"	95"		1.6		W22
W23	1	2	U3 BDRM. 1	6030TS	72"	36"	98.5/8"	YES	1.6		W23
W24	1	2	U3 BDRM. 1 CLOSET	1818X60"	20"	20"	95"		1.6		W24
W25	1	2	U3 BDRM. 1 ENSUITE	1818X60"	20"	48"	90"	YES	1.6		W25
W26	1	2	U3 BDRM. 2	40X40C	48"	48"	90"		1.6		W26
W27	1	2	U3 BDRM. 3	40X40C	48"	48"	90"	YES	1.6		W27
W28	1	2	U3 KIT./DIN./LIV.	6030TS	72"	72"	95"		1.6		W28
W29	1	2	U3 KIT./DIN./LIV.	1860X72"	20"	72"	95"		1.6		W29
W30	1	2	U4 BDRM.	6030TS	72"	36"	98.5/8"	YES	1.6		W30
W31	1	2	U4 BDRM. 1 CLOSET	1818X60"	20"	20"	95"		1.6		W31
W32	1	2	U4 BDRM. 1 ENSUITE	1818X60"	20"	48"	90"	YES	1.6		W32
W33	1	2	U4 BDRM. 2	40X40C	48"	48"	90"		1.6		W33
W34	1	2	U4 BDRM. 3	40X40C	48"	48"	90"	YES	1.6		W34
W35	1	2	U4 KIT./DIN./LIV.	6030TS	72"	72"	95"		1.6		W35
W36	1	2	U4 KIT./DIN./LIV.	1860X72"	20"	72"	95"		1.6		W36



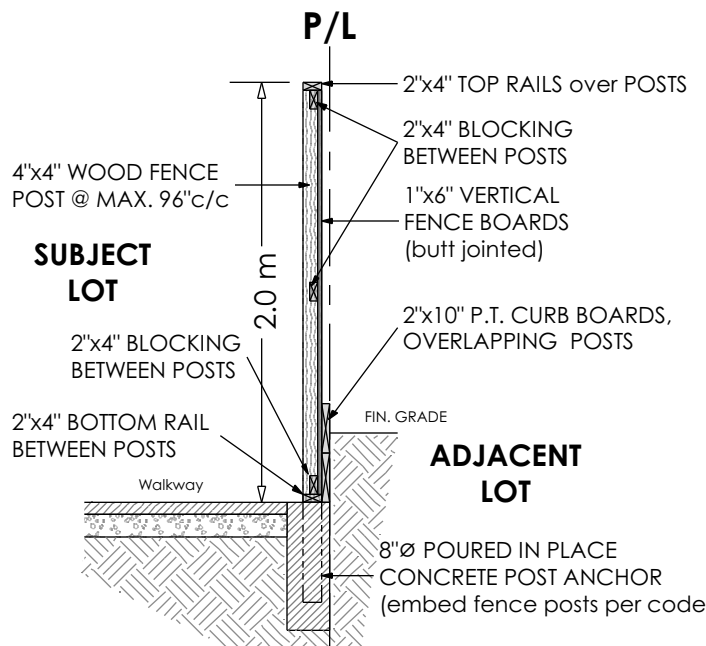
SITE PLAN
SCALE 1 : 100

Note:
All 4 parking stalls to be equipped with an Electric Vehicle Supply Equipment Installation (EVSE installation) rough-in for future EVSE services. Each installation to be capable of supporting a minimum of 40 Amps at 208 Volts or 240 Volts for electric vehicle charging and will include the installation of distribution panels, electrical capacity, and well and floor penetrations to accommodate the future charging cabling, and may include, if required, an electric vehicle energy management system.

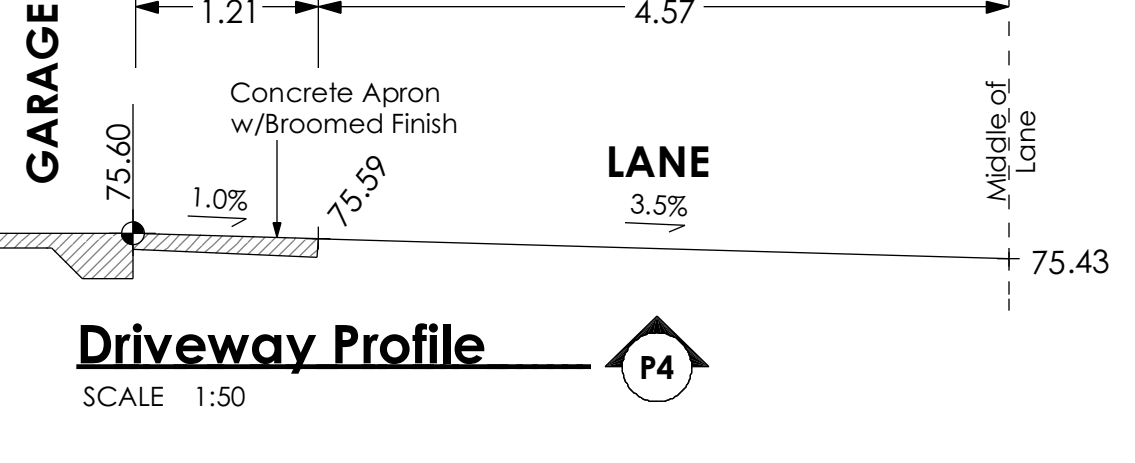
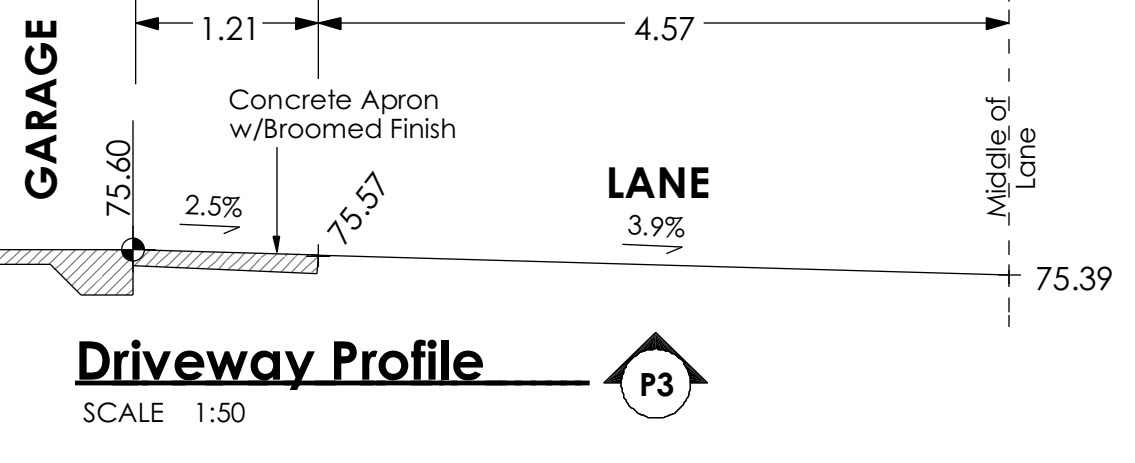
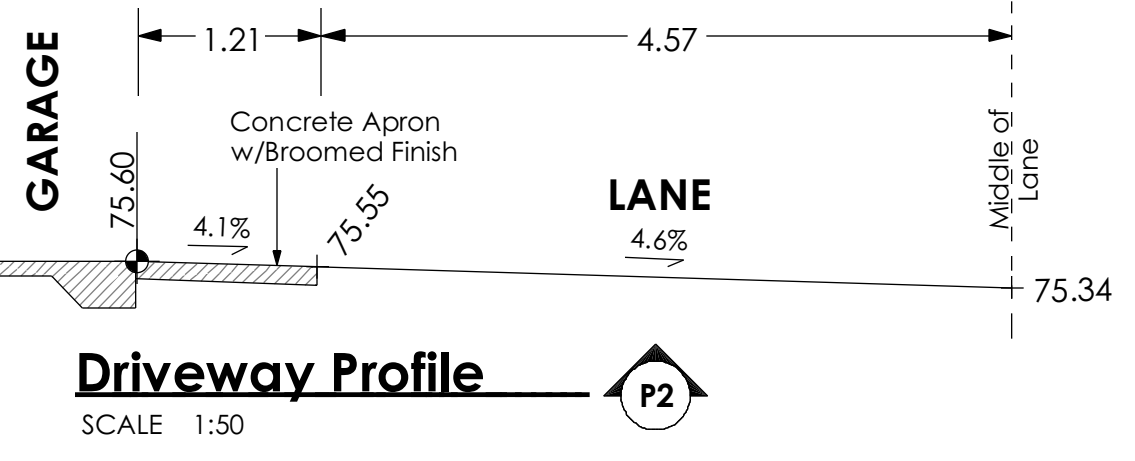
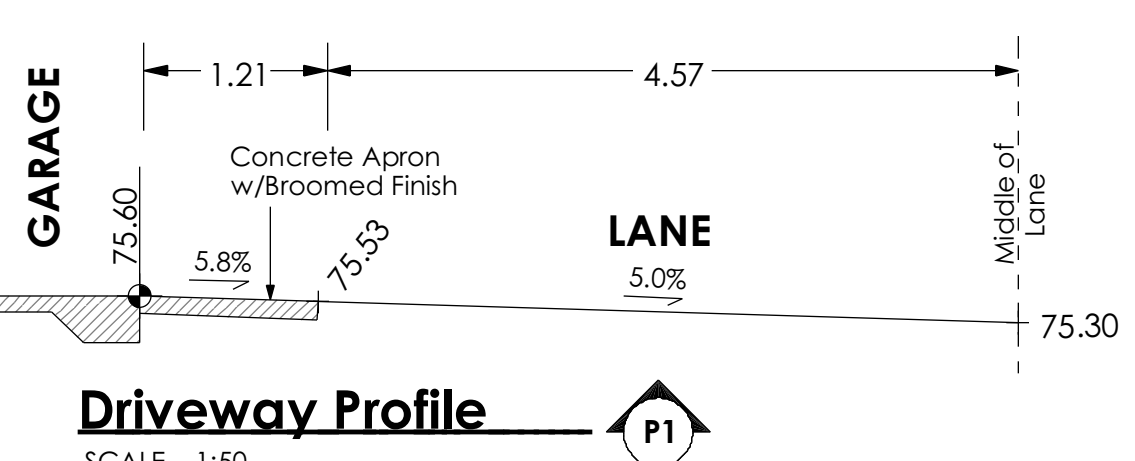
SITE PLAN SYMBOLS & MARKERS	
	NORTH ARROW
	+ 000.00 EXISTING GRADE DATUM
	+ 000.00 PROPOSED GRADE DATUM
	+ 000.00 PROPOSED LEVEL DATUM LINE
	SUBJECT PROPERTY LINE
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	UNDERGROUND GAS LINE
	WATER LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	CABLE/TELEPHONE SERVICE LINE
	DENOTES CATCH BASIN
	DENOTES WATER VALVE
	DENOTES MANHOLE
	DENOTES UTILITY POLE
	DENOTES DOOR
	DENOTES MAIN FLOOR WINDOW
	DENOTES 2nd FLOOR WINDOW
	DENOTES 3rd & 4th FLOOR WINDOW
	DENOTES BASEMENT WINDOW
	DENOTES CANTILEVER
	DENOTES ENCROACHMENT
	DENOTES BACK OF SIDEWALK
	DENOTES BACK OF CURB
	DENOTES LIP OF GUTTER
	DENOTES CONCRETE
	DENOTES RETAINING
	DENOTES TOP OF WALL
	DENOTES BOTTOM OF WALL



FENCING & RETAINING CURB DETAIL
(All Lumber to be Pressure-treated/P.T.)
Scale NTS



FENCING & RETAINING CURB DETAIL
(All Lumber to be Pressure-treated/P.T.)
Scale NTS



Bike Locker - Storage Detail:
Delta Pivot Storage Wall Rack or Eq.

Secondary Suite Areas		
Name	Imperial	Metric
Secondary Suite (1B)		
Developed Area	620.27 ft. ²	57.62 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²
Secondary Suite (2B)		
Developed Area	620.27 ft. ²	57.62 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²
Secondary Suite (3B)		
Developed Area	620.27 ft. ²	57.62 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²
Secondary Suite (4B)		
Developed Area	620.27 ft. ²	57.62 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²

Unit Areas		
Name	Imperial	Metric
U1 - #7136, 36th Ave. NW		
Main Floor Area	656.83 ft. ²	61.02 m ²
Upper Floor Area	666.64 ft. ²	61.93 m ²
Total Developed Area	1323.47 ft. ²	122.95 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²
Detached Garage	208.33 ft. ²	19.35 m ²
U2 - #7136, 36th Ave. NW		
Main Floor Area	656.83 ft. ²	61.02 m ²
Upper Floor Area	666.64 ft. ²	61.93 m ²
Total Developed Area	1323.47 ft. ²	122.95 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²
Detached Garage	208.33 ft. ²	19.35 m ²
U3 - #7136, 36th Ave. NW		
Main Floor Area	656.83 ft. ²	61.02 m ²
Upper Floor Area	666.64 ft. ²	61.93 m ²
Total Developed Area	1323.47 ft. ²	122.95 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²
Detached Garage	208.33 ft. ²	19.35 m ²
U4 - #7136, 36th Ave. NW		
Main Floor Area	656.83 ft. ²	61.02 m ²
Upper Floor Area	666.64 ft. ²	61.93 m ²
Total Developed Area	1323.47 ft. ²	122.95 m ²
Common Amenity Area	755.00 ft. ²	70.14 m ²
Detached Garage	208.33 ft. ²	19.35 m ²

Site Information	
Legal Description: The Westerly 50ft. of Lot 29 Block 7 Plan 3902 JK	
Municipal Address: #7136, 36th Avenue N.W. Calgary, Alberta	
Land Use Designation: R-CG, Residential - Grade Oriented Infill District	
Community: Bowness Ward: 1 Councillor: Sonya Sharp	
Waste & Recycling & Organics	
Storage space required for typical 3 Cartons (12.1m x 0.2m) 1- Blue Cartons 1- Black Cartons	
per City Utility Engineering: Multi-family residential dwelling units produce 0.23m ³ (3.3yd ³) of combined recyclable materials and waste per week. This application of 4 dwelling units is expected to produce 0.92m ³ of material per week. Min. 4 Cartons (12.1m x 0.2m) are required for the complex (4 units are shown). Storage area West Side of detached garage. Staging & pickup area in Lane.	
Survey Information	
Surveyor: Horizon Land Surveys Inc. #130 Bowness Centre NW Calgary, Alberta T5B 0M5 Phone (403) 719-0272 Date of Survey: August 06/2024	
Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at date of survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.	

Line Type Legend	
	Subject Property Lines
	Adjacent Property Lines
	Eaves / Canopies
	Existing Building to be removed
	Utility Line - Overhead
	Utility Line - Water
	Utility Line - Sanitary
	Utility Line - Storm
	Utility Line - Gas

Window & Door Locations	
	Exterior Door All Floors
	Exterior Main Floor Window
	Exterior Upper Floor Window
	Exterior Lower Floor Window

Grade Marker Legend	
+ 1000.00	Existing Grade
+ 1000.00	Proposed Grade

Roofing Minimums	
Contractor must ensure all roofing materials used will meet or exceed the impact resistance of a Class 4 rated roofing system with impact rating for UL2218 or FM4473.	

EV Readiness	
All garage units to be constructed so that to be capable of future electric vehicle (EV) readiness. - Optional charging station rough-ins are to be installed in all individual unit garage locations. - A minimum of 40 amps, 240-volt circuit and wiring to be provided for single use of RH building ONLY. - Timer provided to alternate between individual charging station access ports so that only one vehicle at a time can be connected to the electrical grid. Contractor to specify at time of Building Permit.	

Solar Readiness	
All units to be constructed so that to be capable of future solar panel (PV) readiness. - Optional PV ready details to include, at least a 2.5 cm (1") nominal diameter rigid or flexible metal conduit, electrical armour or metal sheath, or cables with a metal armour or metal sheath. - Alternatively, a 2" vacuum tube with wine pulled thru and a card on each end, to accommodate future installation of PV panels on roof. Solar PV readiness details shall consider Section 64 of the Canadian Electrical Code Part 1 concerning "Renewable Energy Systems". Contractor to specify at time of Building Permit.	

Land Use Bylaw Analysis based on 1p2007

Site Area: **544.6 m²**

Subject Land Use Designation: **R-CG**
Adjacent Land Use Designations: **R-CG**

Part 5: Low Density Residential Districts
• Div. 1: General Rules for Low Density Residential Land Use Districts
• Div. 11: Residential - Grade-Oriented Infill (R-CG) District

526: Purpose
The R-CG District accommodates grade-oriented development in the form of Rowhouse & Townhouse Buildings as well as secondary suites in the development, while providing flexible parcel dimensions and building setbacks that aid in the diversity of grade-oriented housing requirements.

526: Discretionary Uses: (this will be a Discretionary Development Permit application)

529: Density
The maximum density for parcels designated R-CG District is 75 units per hectare (**subject = 70.846 units/ha**)

534: Parcel Coverage (Parcel Area = 544.6 m²)

2d: 60.0 per cent of the area of the parcel subject to a single development permit for a development with a density of 60 units per hectare or greater.

3: The maximum parcel coverage referenced in subsections (2), must be reduced by:
a. 21.0 square metres where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and
b. 19.0 square metres for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.

Allowable Parcel Coverage @60%: **338.76 m²**
Subject Building Footprint: **244.08 m²**
Subject Detached Garage (4): **89.18 m²**

Total Parcel Coverage: **333.26 m² / 544.6 m²**

Actual Parcel Coverage: **59.02%**

535: Building Depth & Separation

1. Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0 per cent of the parcel depth for a building containing a unit.

537: Building Setback from Front Property Line (Proposed building setback is 3.23 metres)
The minimum building setback from the front property line is 3.0 metres.

540: Building Setback from Rear Property Line (Proposed building setback from rear property line is 13.4 metres)

1. Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 7.5 metres.
2. On a lot or corner parcel, the minimum building setback from a rear property line is 1.2 metres.

541: Building Height (Maximum Building Height has not been exceeded)

1. Unless otherwise referenced in subsections (2), (3) and (4), the maximum building height is 11.0 metres measured from grade.
2. Where a building setback is required from a property line shared with another parcel designated with a low density residential district or, the M-CG or H-GO District, the maximum building height:
a. is the greater of:
(1) the highest geodetic elevation of a main residential building on the adjoining parcel; or
(2) 7.0 metres from grade; measured at the shared property line; and
b. increases at a 45 degree angle to a maximum of 11.0 metres measured from grade.
3. On a corner parcel, the maximum area of a horizontal cross section through a building at 9.5 metres above average grade must not be greater than 75.0 per cent of the maximum area of a horizontal cross section through the building between average grade and 8.6 metres.
4. Where not located on a corner parcel, the maximum building height is 8.6 metres for any portion of a main residential building located between the rear property line and 60.0 per cent parcel depth or the contextual building depth average, whichever is greater.

542.1: Landscape Plan Requirements (Separate Landscape Plan provided)
For developments of three units or more, a landscape plan for the entire development must be submitted as part of each development permit application where changes are proposed to buildings or the site plan.

542.2: Planting Requirements (Minimum Tree & Shrub Plantings have been exceeded on this project)

1. Trees required by this section:
a. may be provided through the planting of new trees or the preservation of existing trees; and
b. where approved by the Development Authority, may be provided on a boulevard adjacent to the parcel.
2. A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square metres of parcel area.

543: Amenity Space (Combination of Private & Common Amenity Spaces provided)

1. For developments of three units or more, each unit and suite must have amenity space that is located outdoors and is labeled on the required landscape plan.
2. Amenity space may be provided as common amenity space, private amenity space or a combination of both.

546: Motor Vehicle Parking Stalls (4 parking stalls required & 4 parking stalls provided provided for main units)
The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit and suite.

546.2: Bicycle Parking Stalls (2.0 Bicycle Lockers required, 4.0 Class 1 Bike Lockers provided)
The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.

546.3: Waste, Recycling and Organics (Storage provided along West Fenceline)
For developments of three or more units, garbage, recycling, and organics must be stored in a screened location approved by the Development Authority.

295: Secondary Suite

a. means a use that:
(1) contains two or more rooms used or designed to be used as a residence by one or more persons;
(2) contains a kitchen, living, sleeping and sanitary facilities;
(3) is self-contained and located within a Dwelling Unit;
(4) must not be located in a Dwelling Unit where another Dwelling Unit is located wholly or partially above or below the Dwelling Unit containing the Secondary Suite; and
(5) is considered part of and secondary to a Dwelling Unit;
b. is a use within the Residential Group in Schedule A to bylaw 1p2007.

351: Secondary Suite

1. For a Secondary Suite, the minimum building setback from a property line, must be equal to or greater than the minimum building setback from a property line for the main residential building.
2. There is no maximum floor area for a Secondary Suite wholly located in a basement, internal landings stairways providing access to the basement may be located above grade.
3. Except in the R-CG district, a Secondary Suite must have a private amenity space that:
a. is located outdoors;
b. has minimum area of 7.5 square metres with no dimension less than 1.5 metres.
(per R-CG no amenity space siting required, but private & common amenity spaces are provided)

ANY REPRODUCTION OF THESE DRAWINGS IS EXPRESSLY PROHIBITED WITHOUT WRITTEN CONSENT OF DESIGNER. BUILDER MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO ANY ON-SITE CONSTRUCTION. ALL WORK ON-SITE IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL AND PROVINCIAL BUILDING CODES AND REGULATIONS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.

STAMPS & SEALS:

CONSULTANT:
(403) 901-5115
VSDG@shaw.ca

BUILDING CODE REQUIREMENTS:
ALL CONSTRUCTION MUST COMPLY WITH NBC 2023 (AE) & NECB 2020

MUNICIPAL ADDRESS: BUILDING:
#7136 36th Avenue N.W. Calgary, AB (Bowness) Zoned: R-CG

LEGAL ADDRESS: The Westerly 50ft. of Lot 29 Block 7 Plan 3902 JK

SURVEYOR:
Horizon Land Surveys Inc. #130 Bowness Centre NW Calgary, Alberta (403) 719-0272
Dated: August 06/2024

COMPLIANCE PATH:
PRESCRIPTIVE ☐
TRADE OFF ☐
PERFORMANCE ☒

PROJECT TITLE:
7136 on 36th. 4P
Proposed Suited 4-Unit, Multi Residential Development with Detached Residential Accessory Building (Garage)

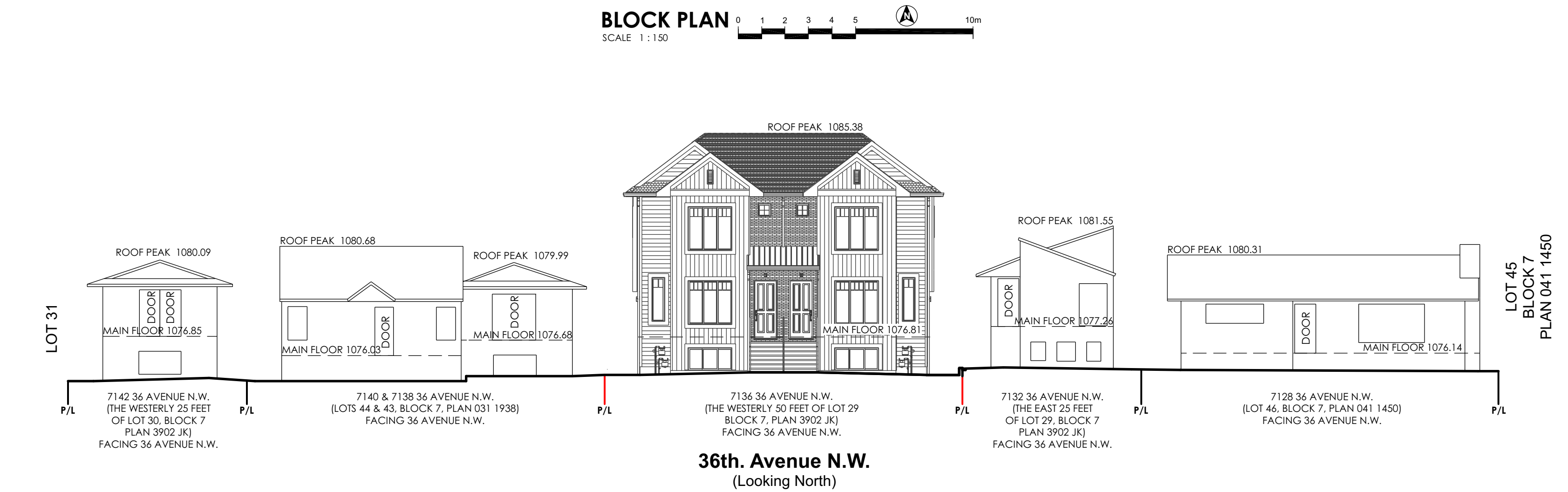
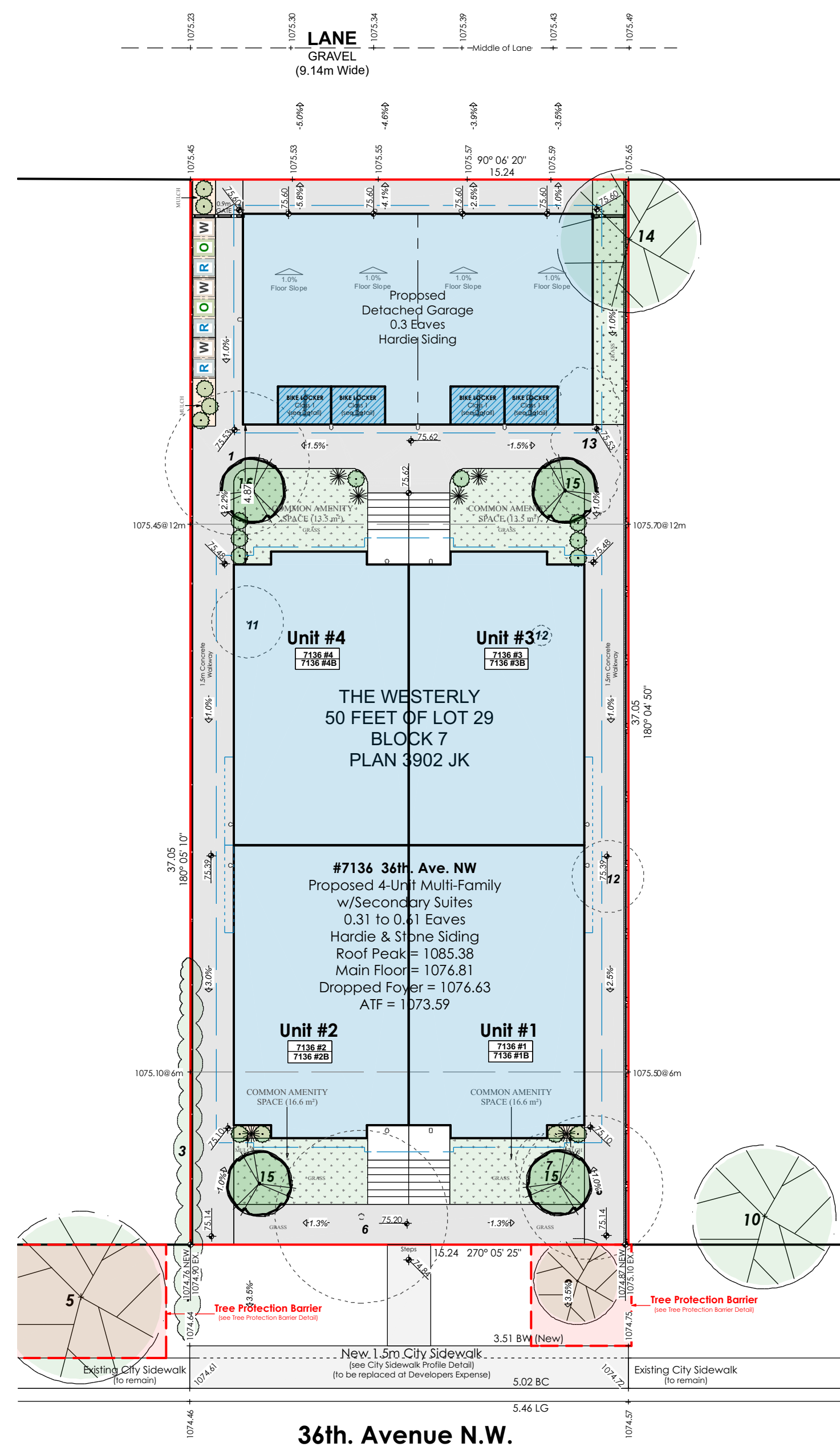
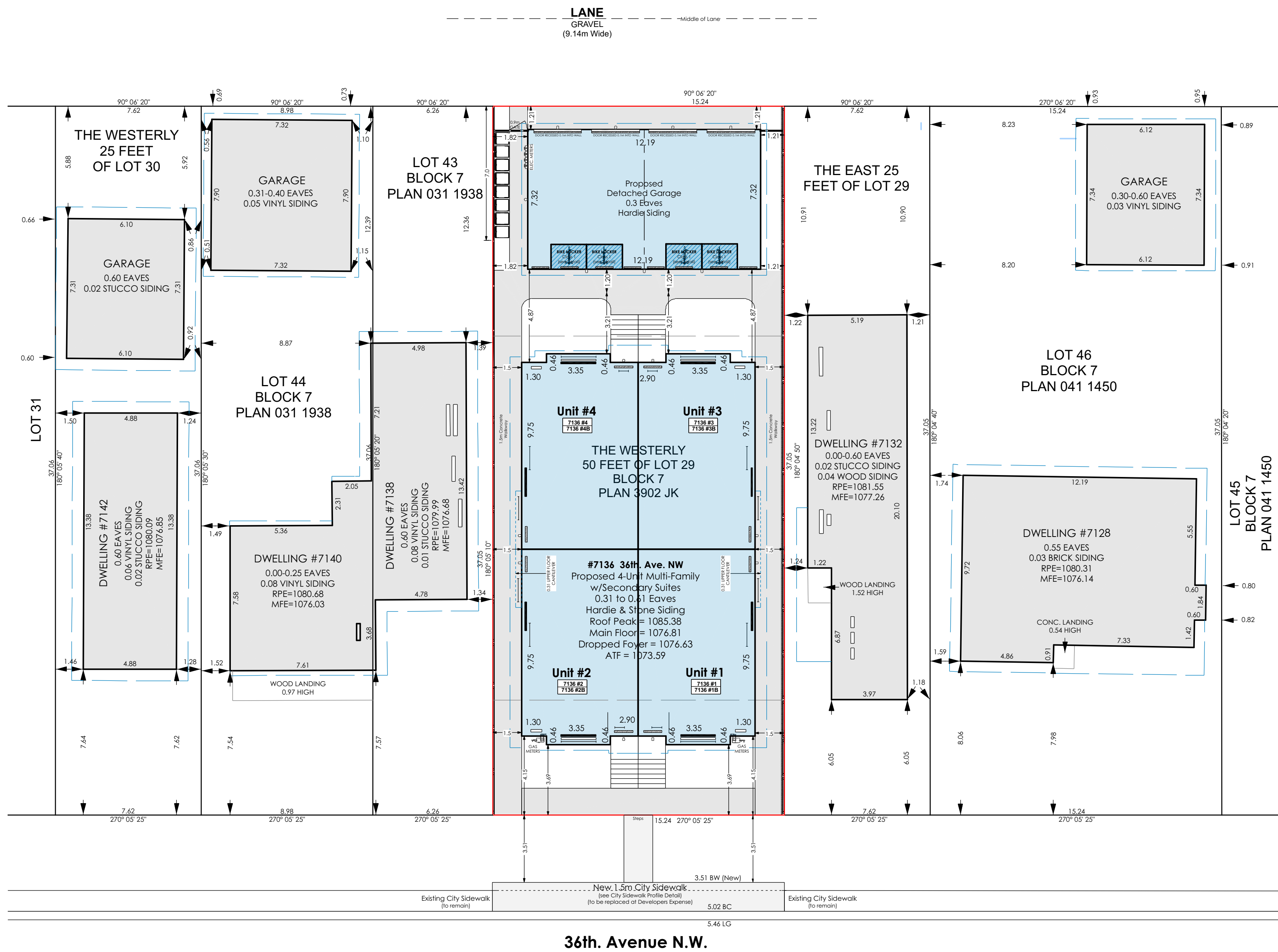
DRAWING TITLE:
DWELLINGS -
- SITE PLAN
- BUILDING CODE ANALYSIS
- BUILDING STATISTICS
- WASTE & RECYCLE & ORG. STAT.
- SITE LEGEND
- EXTERIOR LIGHTING DETAIL
- DRIVEWAY PROFILES
- BIKE LOCKER DETAIL
- WOOD RETAINING FENCE DETAILS

DATE: December 29, 2025 SCALE: AS SHOWN

REV: DATE: DESCRIPTION: REV: DATE: DESCRIPTION: REV: DATE: DESCRIPTION: REV: DATE: DESCRIPTION:

REVISION: PAGE NUMBER: A A-2

206 NUMBER: 24-0723-2



SITE STATISTICS	
Total Lot Area (Zoned: R-CG)	564.60 m ²
Proposed Rowhouse	244.08 m ²
Proposed Accessory Building (Garage)	89.18 m ²
Proposed Lot Coverage (m ²)	333.26 m ²
Proposed Lot Coverage (%)	59.02% (-0.98%)
Permitted Lot Coverage (60%)	338.76 m ²
Total Landscaped Area	230.11 m ²
Soft Landscaped Area	82.0 m ² (35.6%)



LOW WATER IRRIGATION SYSTEM to be PROVIDED:

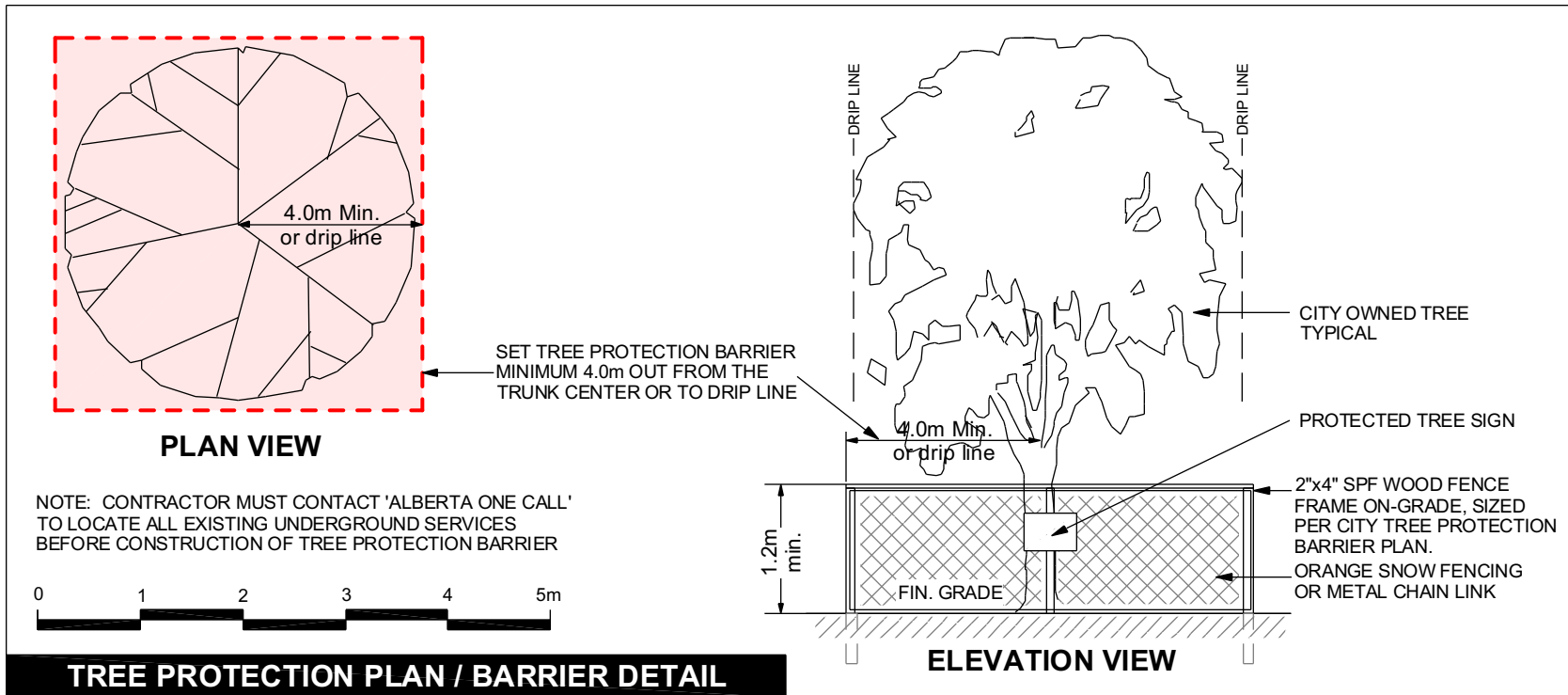
This will be an automated underground irrigation system which includes:

- a. a rain sensor or a soil moisture sensor;
- b. a flow sensor for leak detection; and
- c. a master valve to secure the system if a leak is detected.

LANDSCAPING NOTATIONS:

- a) An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent public trees during the site excavation and construction of the walkways. Prior to excavation and construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting on site.
- b) If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used at the applicants expense. Please contact Urban Forestry at 311 for more information.
- c) The applicant shall call 311 to arrange a Tree Line Assignment application for Utility Line Assignment approval.
- d) Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks' Development Guidelines and Standard Specifications - Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector at 311 to arrange an inspection.

LANDSCAPING LEGEND	
EXISTING GRASS	POWER POLE
PROPOSED GRASS	RETAINING WALL
EXISTING CONCRETE	EXISTING SIGNAGE
PROPOSED CONCRETE	EXISTING GRADE
PROPOSED STAMPED CONCRETE	PROPOSED GRADE
PROPOSED MULCH	EXISTING FIRE HYDRANT
PROPOSED SHRUB DECID./CONF.	EXISTING LIGHT STANDARD
PROPOSED SHRUB & PLANTINGS	EXISTING TREE (To remain)
PROPOSED DECIDUOUS TREE	EXISTING TREE (To be removed)
PROPOSED CONIFEROUS TREE	
Grass: All sodded areas are planted with a drought tolerant grass species.	
Plantings: Minimum soil depth of 600mm for planting beds with shrubs and 300mm in all other areas.	
Irrigation: All soft surfaced landscaped areas will be irrigated by an underground low-water irrigation system.	
New matured trees to be planted after construction as required by Land Use Bylaw.	
All proposed boulevard trees are subject to Line Assignment approval.	
All Trees and Shrubs will be of a species capable of healthy growth in Calgary and will conform to the standards of the Canadian Nursery Landscape Association.	



Plantings Schedule						
Tree No.	Qty.	Status	Tree Type	Trunk Dia.	Canopy Dia.	Height
1	1	removed	Bush	--	5.00m	5.00m
2	1	removed	Deciduous	0.30m	1.40m	2.00m
3	1	to stay(trim)	Caragana	--	0.70m	0.70m
4	1	to stay(trim)	Caragana	--	0.70m	0.70m
5	1	to stay	Hawthorn	0.30m	6.00m	6.00m
6	1	removed	Deciduous	0.20m	6.00m	7.50m
7	1	removed	Bush	--	2.00m	2.00m
8	1	removed	Bush	--	5.00m	6.00m
9	1	to stay	Colorado Spruce	0.30m	3.00m	8.00m
10	1	to stay	Deciduous	0.20m	5.00m	6.00m
11	1	removed	Bush	--	2.50m	5.00m
12	1	removed	Deciduous (trunk)	0.70m	--	1.10m
13	1	removed	Bush	--	2.50m	4.00m
14	1	to stay	Bush	--	5.00m	5.00m
15	4	New	Princess Kay Plum	0.09m	2.50m	4.00m
16	20+	New	Mixed Shrubs	--	0.60m	0.60m

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STAMPS & SEALS:

CONSULTANT:

(403) 901-5115
VSDG@shaw.ca

VSDG
Vaughan Scott
DESIGNER

BUILDING CODE REQUIREMENTS:

ALL CONSTRUCTION
MUST COMPLY WITH
NBC 2023 (AE) & NECB 2020

MUNICIPAL ADDRESS: #7136 36th. Avenue N.W. Calgary, AB. (Business) Zoned: R-CG

BUILDING: 4P

LEGAL ADDRESS: The Westerly 50ft. of Lot 29 Block 7 Plan 3902 JK

SURVEYOR: Horizon Land Surveys Inc. #130 Bowness Centre NW Calgary, Alberta (403) 719-0272 Dated: August 06/2024

COMPLIANCE PATH:

PRESCRIPTIVE TRADE OFF PERFORMANCE

PROJECT TITLE: 7136 on 36th. 4P Proposed Suited 4-Unit, Multi Residential Development with Detached Residential Accessory Building (Garage)

DRAWING TITLE: DWELLING - BLOCK PLAN - LANDSCAPE PLAN - LANDSCAPE LEGEND - PLANTINGS SCHEDULE - TREE PROTECTION DETAIL - SITE STATISTICS CHART - STREETScape

DATE: December 29 2025 SCALE: AS SHOWN

REV: DATE: DESCRIPTION: REV: DATE: DESCRIPTION: REV: DATE: DESCRIPTION:

A Dec. 29 2025 DEVELOPMENT DRAWING ISSUED FOR REVIEW VS

REVISION: PAGE NUMBER: A A-3

256 NUMBER: 24-0723-2



#	LOCATION	MATERIAL	COLOR
1	Roofing	Asphalt Shingles	Black
2	Roofing	Ribbed Metal	Black
3	Fascia	Metal	Black
4	Soffit	Metal	Black
5	Rainware	Metal	Black
6	Window & Door Frame	NA	Black
7	Wall Finish	Brick	Red
8	Wall Finish	Horizontal Hardie Siding	White
9	Wall Finish	Vertical Hardie Siding	Night Grey
10	Railing	Metal	Black
11	Fencing	Wood	TBD
12	Entry Door Dwelling	NA	Black
13	Decorative Trim	Hardie	Black
14	Decorative Trim	Hardie	White
15	Entry Door Garage	Metal	Black
16	Garage O.H.D.	Insulated FB	Black



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STAMPS & SEALS:

CONSULTANT:

(403) 901-5115
VSDG@shaw.ca

BUILDING CODE REQUIREMENTS:

ALL CONSTRUCTION MUST COMPLY WITH NBC 2023 (AE) & NECB 2020

MUNICIPAL ADDRESS: BUILDING:

#7136
36th Avenue N.W.
Calgary, AB.
(Business)
Zoned: R-CG

4P

LEGAL ADDRESS:

The Westerly 50ft.
of Lot 29
Block 7
Plan 3902 JK

SURVEYOR:

Horizon Land Surveys Inc.
#130 Bowness Centre NW
Calgary, Alberta
(403) 719-0272
Dated: August 06/2024

COMPLIANCE PATH:

PRESCRIPTIVE
TRADE OFF
PERFORMANCE

PROJECT TITLE:

7136 on 36th. 4P
Proposed Suited 4-Unit, Multi Residential Development
with Detached Residential Accessory Building (Garage)

DRAWING TITLE:

DWELLING:
- NORTH ELEVATION
- SOUTH ELEVATION
- WEST ELEVATION
- COLORS & MATERIALS CHART

DATE: December 29, 2025

SCALE: 1/4"=1'-0"

REV: A

DATE: Dec. 29, 2025

DESCRIPTION: DEVELOPMENT DRAWING ISSUED FOR REVIEW

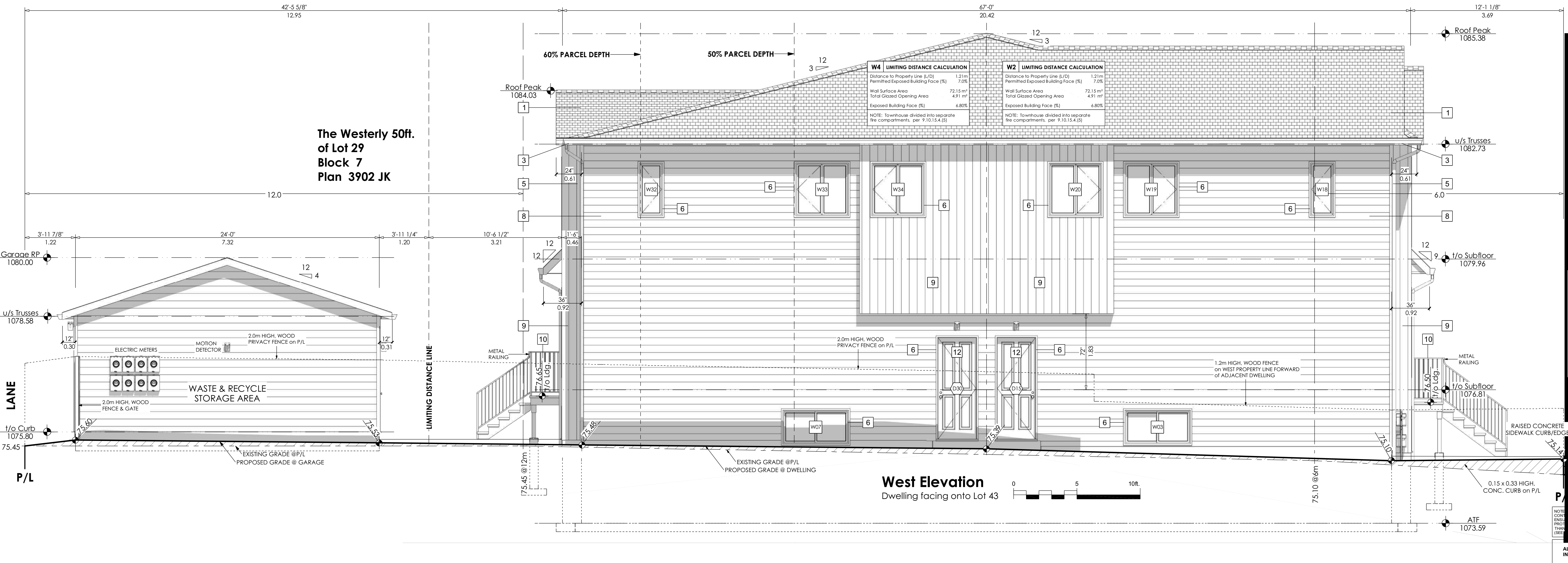
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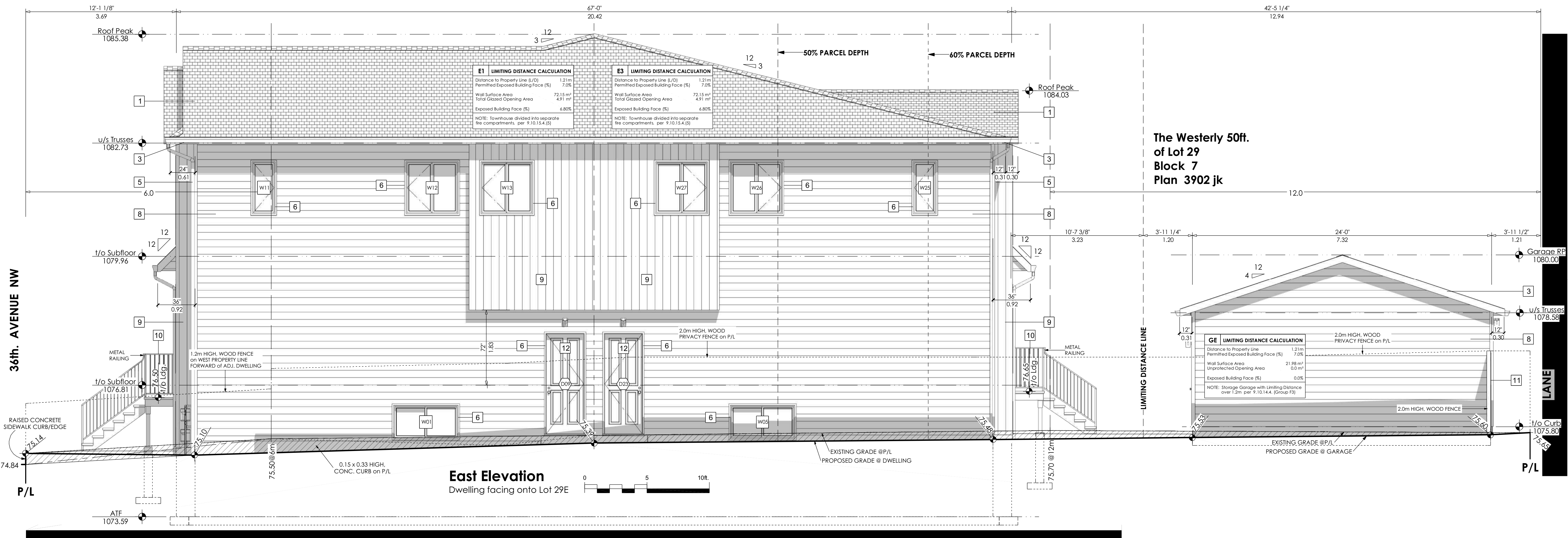
REVISION: A

PAGE NUMBER: A-4

24-0723-2

NOTE: ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH NBC 2023 (AE) and NECB 2020





DETAILS of CONSTRUCTION USED to COMPLY with SPV-006
(Firewall by Division B 9.10.11.2.(2) need not be provided)(Not Sprinklered)

- 1./ Fire Separation for Exits:** see construction assemblies pg. A10
a) Secondary Suite exits are separated from the Main Units by Fire Separation Wall assemblies "W3b" under 9.10.3.1.-A and Fire Separation Floor assemblies "F9h" under 9.10.3.1.-B

- b) Wall Assembly "W3b" has a fire-resistance rating of:
- 45 min. for Load Bearing Assemblies
- 1.0hr. for Non-Load Bearing Assemblies
This assembly has a STC rating of 48
and
Floor Assembly "F9h" has a fire-resistance rating of 45 min..

This assembly has a STC rating of 53

2./ Separation of Residential Units and Suites: see construction assemblies pg. A10

- a) Secondary Suites are separated from the Main Units by Fire Separation Wall assemblies "W3b" under 9.10.3.1.-A and Fire Separation Floor assemblies "F9h" under 9.10.3.1.-B and Units & Suites are separated from other Units & Suites by Fire Separation Wall assemblies "W13a" under 9.10.3.1.-A

- b) Wall Assembly "W3b" has a fire-resistance rating of:
- 45 min. for Load Bearing Assemblies
- 1.0hr. for Non-Load Bearing Assemblies
This assembly has a STC rating of 48
and
Floor Assembly "F9h" has a fire-resistance rating of 45 min.
This assembly has a STC rating of 53
and
Wall Assembly "W13a" has a fire-resistance rating of:
- 1.5hr. for Load-Bearing Assemblies
- 2.0hr. for Non-Load Bearing Assemblies
This assembly has a STC rating of 57

3./ Construction of Fire Separations with a Fire-Resistance Rating

- a) All Fire-Rated assemblies are in conformance with Article 9.10.3.1. and
b) construction that is deemed to satisfy the requirements of 9.10.3.1. having
i) walls and floor/ceiling assemblies framed with wood studs, wood joists, or wood I-joists,
ii) joist/stud spaces filled with preformed rock or slag fibre insulation
iii) resilient channel on one side of the fire separation spaced 400 or 600mm on centre, and
iv) not less than 15.9mm thick Type X gypsum board on ceilings and both sides of walls
and
c) All loadbearing walls, columns and arches in the storey immediately below a floor assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.

4./ Two Separate Exits

- a) Each Dwelling Unit is provided with two separate egress exits.
- one exit door faces the street and is within 0.6m of finished grade
- second exit door faces the rear common area and is within 0.6m of finished grade.
b) Each secondary suite is provided with three separate egress exits.
- one exit door faces the street and is within 0.6m of finished grade.
- two egress windows conforming to clauses 9.9.9.1.(2)(a) and (b)
one window facing the street and one window facing the rear common area.

5./ Ventilation, Air Ducts and Fire Dampers

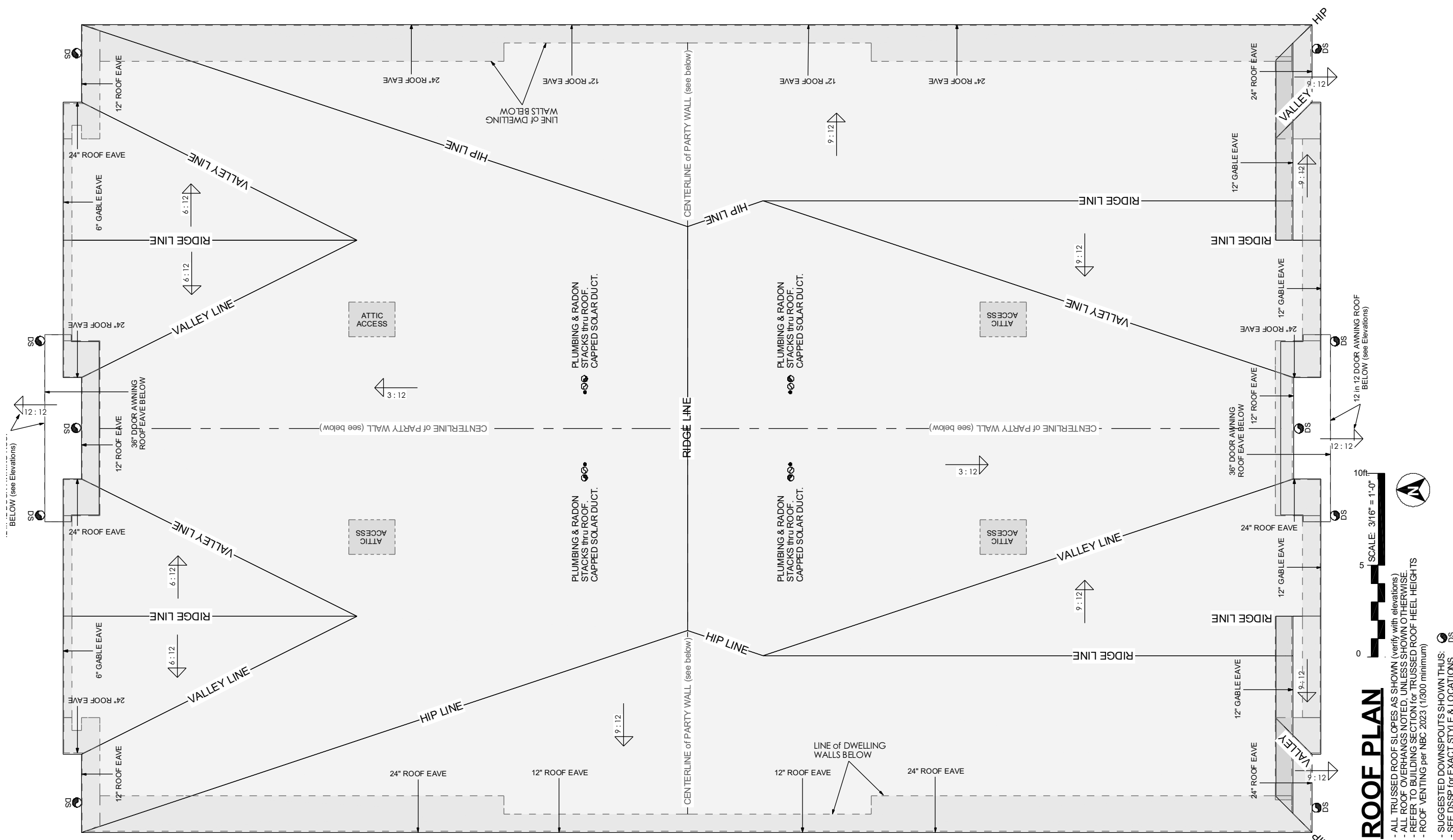
Sub-trade drawings will be submitted with the building permit application for heating, ventilating and air-conditioning systems as needed, showing the size and continuity of all pipes, ducts, shafts, flues and fire dampers; the location, size, capacity and type of all principal units of equipment, and the size and location of all combustion air and ventilation openings.

6./ Doors and Penetrations

- a) No door openings in fire separations are designed for this project.

7./ National Building Code - Alberta Edition

- a) Excepting the points noted above, all other acceptable solutions and technical requirements for secondary suites as outlined in the National Building Code - Alberta Edition must be satisfied for this application to use SPV-006.



NOTE:
CONTRACTOR ASSUMES ALL RESPONSIBILITY TO ENSURE ALL FOOTINGS AND BELOW GRADE PADS ARE PROTECTED, AS REQUIRED BY NBC 2021 (AE) IF LESS THAN 48" BELOW GRADE OR EXPOSED TO WATER OR FROST. (SEE CONTRACTOR FOR DETAILS)
NOTE:
ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH NBC 2023 (AE) AND NECB 2020

ANY REPRODUCTION OF THESE DRAWINGS IS EXPRESSLY PROHIBITED WITHOUT WRITTEN CONSENT OF DESIGNER. BUILDER MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO ANY ON-SITE CONSTRUCTION. ALL WORK ON-SITE IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL AND PROVINCIAL BUILDING CODES AND REGULATIONS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.

STAMPS & SEALS:

CONSULTANT:

(403) 901-5115
VSDG@shaw.ca

VSDG
Vaughan Scott Design Group Inc.

BUILDING CODE REQUIREMENTS:

ALL CONSTRUCTION MUST COMPLY WITH NBC 2023 (AE) & NECB 2020

MUNICIPAL ADDRESS: #7136 36th Avenue N.W. Calgary, AB. (Bowness) Zoned: R-CG

BUILDING: **4P**

LEGAL ADDRESS: The Westerly 50ft. of Lot 29 Block 7 Plan 3902 JK

SURVEYOR: Horizon Land Surveys Inc. #130 Bowness Centre NW Calgary, Alberta (403) 719-0272 Dated: August 06/2024

COMPLIANCE PATH:

PRESCRIPTIVE ☐
TRADE OFF ☐
PERFORMANCE ☒

PROJECT TITLE:

7136 on 36th. 4P

Proposed Suited 4-Unit, Multi Residential Development with Detached Residential Accessory Building (Garage)

DRAWING TITLE:
DWELLING:
- EAST ELEVATION
- SPV 006 NOTES & DETAILS
- ROOF PLAN

DATE: December 29, 2025 SCALE: 1/4" = 1'-0" or AS SHOWN

REV: A DATE: Dec. 29, 2025 DESCRIPTION: DEVELOPMENT DRAWING ISSUED FOR REVIEW REV: VS

REVISION: A PAGE NUMBER: A-5

24-0723-2

