



2214 4 ST NW

EAGLE CREST CONSTRUCTION LTD.

DEVELOPMENT PERMIT 2.0

JAN 08, 2026

DRAWING LIST:

DP.000	COVER
DP.001	BLOCK PLAN
DP.002	LANDSCAPE PLAN
DP.003	SITE DETAILS
DP.100	SITE PLAN
DP.101	BASEMENT FLOOR OVERALL
DP.102	MAIN FLOOR OVERALL
DP.103	SECOND FLOOR OVERALL
DP.104	THIRD FLOOR OVERALL
DP.105	ROOF PLAN
DP.106	GARAGE PLAN
DP.200	BUILDING ELEVATIONS
DP.201	BUILDING ELEVATIONS
DP.300	SECTIONS
DP.400	SURVEY

PROJECT INFORMATION

PARCEL ADDRESS:

LOTS 36 & 37
BLOCK 24
PLAN 21290

MUNICIPAL: 2214 4 ST NW
CALGARY AB

COMMUNITY: MOUNT PLEASANT

ZONING:

CURRENT: R-CG
PROPOSED: R-CG

PROPOSED GROSS BUILDING AREA

FLOOR	GROSS BLDG
MAIN	162.6 sq.m (1,750 sq.ft)
2ND	191.4 sq.m (2,060 sq.ft)
3RD	175.4 sq.m (1,888 sq.ft)
TOTAL :	529.4 sq.m (5,698 sq.ft)
FAR :	5,698 sq.ft / 5,794 sf = 0.98

SETBACKS:

	PERMITTED	PROPOSED
NORTH (22 AVE NW)	3.0m	3.0m
EAST (RC-2)	3.0m	3.0m
SOUTH (LANE)	7.5m	7.5m
WEST (4 ST NW)	2.13m	2.13m

UNITS:

4 x DWELLING UNITS
4 x SECONDARY SUITES

VEHICULAR PARKING:

RESIDENT STALLS REQUIRED = 0.5 STALLS / UNIT

= 8 TOTAL UNITS x 0.5
= 4 STALLS REQUIRED

PROPOSED STALLS = 4

ALTERNATE MOBILITY STORAGE:

4 x ALTERNATE MOBILITY STORAGE LOCKERS



FORMED ALLIANCE ARCHITECTURE STUDIO

EXISTING SIDEWALK

4 STREET NW

LINE OF EXISTING SIDEWALK TO BE
REMOVED AND REPLACED WITH NEW
2.0m SIDEWALK

IMPROVEMENT SETBACK

IMPROVEMENT SETBACK



LANE

1 LANDSCAPE PLAN

DP.002	1/8" = 1'-0"
--------	--------------

SHEET NOTES

N.01	RESIDENTIAL PARKING
N.02	UNIT ENTRY
N.03	LINE OF FLOOR ABOVE
N.04	AMENITY SPACE
N.05	WALL MOUNTED LIGHT FIXTURE
N.06	WASTE & RECYCLING BIN STORAGE
N.07	CLASS 1 BICYCLE STORAGE
N.08	WINDOW WELL
N.09	PLANTER (FURNITURE)

 EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

GENERAL NOTES

TOTAL LANDSCAPED AREA = 2,605.90 sq.ft (242.10 sq.m)
SOFT LANDSCAPING AREA = 1,378.17 sq.ft (128.04 sq.m)

1,378 sq.ft / 2,605 sq.ft = 52.9% TOTAL SOFT LANDSCAPING

PLANTING REQUIREMENTS:

PLANTING REQUIREMENTS:
1 TREE & 3 SHRUBS PER 110 SQ.M OF PARCEL AREA
= 539 SQ.M / 110 = 4.9
= 5 TREES & 15 SHRUBS

LOW WATER, UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL SOFT SURFACE LANDSCAPING

LANDSCAPE INFORMATION

EXISTING TREES

NO EXISTING TREES ON SUBJECT SITE

PROPOSED PLANTINGS

	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
		<i>Juniperus scopulorum</i> Blue Arrow	Blue Arrow Juniper	4	5x85mm cat MATURE HT 12ft / 3.6m
		<i>Prunus nigra</i> 'Princess Kay'	Princess Kay Plum	2	2x65mm cat MATURE HT 13ft / 4.0m
		<i>Physocarpus opulifolius</i> Dart's Gold	Dart's Gold Nandina	10	0.6 m spread
		<i>Berberis thunbergii</i> Monard	Cherry Bomb Berberry	12	0.8 m spread
		<i>Calligonum x opulifolius</i> Karl Foerster	Karl Foerster heather reed grass	3	0.6 m spread

LANDSCAPING LEGEND

CODE	ITEM
	SOD (DROUGHT TOLERANT SPECIES)
	MULCH GROUND COVER
	CONCRETE (WALKWAY, CURB)

RELEASER

[illegible]

03	DP SUBMISSION - 2.0	2026.01.08
02	DR1 SUBMISSION	2024.03.01
01	DP SUBMISSION	2023.12.08

PROJECT NAME

MP469

MANUSCRIPT ACCEPTED

2214 4 ST NW

LEON ROSSINI

L: 36 & 37 B: 24 P: 21290

PROJECT NO. _____

22.14

MG

DP

DATE _____

SCALE
AS NOTED

OPPING TITL

LANDSCAPE PLAN

Copyright © 2006

OPENING MUSIC

DP.002

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

N.01	RESIDENTIAL PARKING
N.02	UNIT ENTRY
N.03	LINE OF FLOOR ABOVE AND BELOW
N.04	AMENITY SPACE
N.05	WALL MOUNTED LIGHT FIXTURE
N.06	PATHWAY LIGHT FIXTURE
N.07	CLASS 1 BICYCLE STORAGE
N.08	WINDOW WELL (7'-4" W x 2'-6" D)
N.09	PROPOSED GAS METER LOCATION
N.10	WASTE & RECYCLING BIN STORAGE
N.11	PLANTER (FURNITURE)
N.12	LANDSCAPING CURB ALONG THE PROPERTY LINE IS REQUIRED TO AVOID RUNOFF CROSS BOUNDARY (REFER TO CIVIL TO SEE GEO POINT)

- GENERAL NOTES

- A. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
- B. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
- C. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
- D. EXTERIOR LIGHTING IN FRONT ENTRY AREA WALL MOUNTED. MOUNTING HEIGHT AT 7'-6" ABOVE ADJACENT FLOOR.
- E. UNIT NUMBERING MOUNTED ON EXTERIOR WALL AT 5'-0" ABOVE ADJACENT FLOOR.



NO.	DESCRIPTION	DATE
03	DP SUBMISSION - 2.0	2026.01
02	DR1 SUBMISSION	2024.03
01	DP SUBMISSION	2023.12

PROJECT NAME

MP469

MUNICIPAL ADDRESS
2214 4 ST NW

LEGAL ADDRESS
I - 98 8 37 B-24 D-21200

PROJECT NO. 22.14

ORIGIN	CHECKED
MG	DP

DATE	SCALE
2023.12.06	AS NOTED

DRAWING TITLE

SITE PLAN

© 2006 Blackwell Publishing Ltd

DP.100

THIS DRAWING AND DESIGN ARE AT ALL TIMES
REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT
AND MAY NOT BE USED OR REPRODUCED WITHOUT
PERMISSION OF THE ARCHITECT



N.01	RESIDENTIAL PARKING
N.02	WASTE & RECYCLING BIN STORAGE
N.03	CLASS 1 BICYCLE STORAGE
N.04	WOOD FENCE (2m HEIGHT)
N.05	LINE OF GRADING AT PROPERTY LINE

A - METAL

-  CORRUGATED METAL PANEL
COLOUR: BLACK
-  METAL CLAD DOOR/WINDOW FRAME
COLOUR: BLACK
-  PREFINISHED METAL FLASHING
COLOUR : BLACK
-  METAL FASCIA
COLOUR: BLACK
-  METAL DOWNSPOUT
COLOUR: BLACK

B - CONCRETE

- B1 CONCRETE STAIRS
- B2 PARGING

C - WOOD

- C1 WOOD FENCE

D - ROOFING

- 01 ASPHALT SHINGLES**
COLOUR: BLACK

E - HARDIE

- E1** HARDIE LAP SIDING
COLOUR: BLACK

[illegible]

PROJECT NAME

MP469

MUNICIPAL ADDRESS
2214 4 ST NW

L: 96 & 37 B: 24 P: 21290

PROJECT NO. 22.14

DRAWN	CHECKED
MG	DP

DATE	SCALE
2023.12.06	AS NOTED

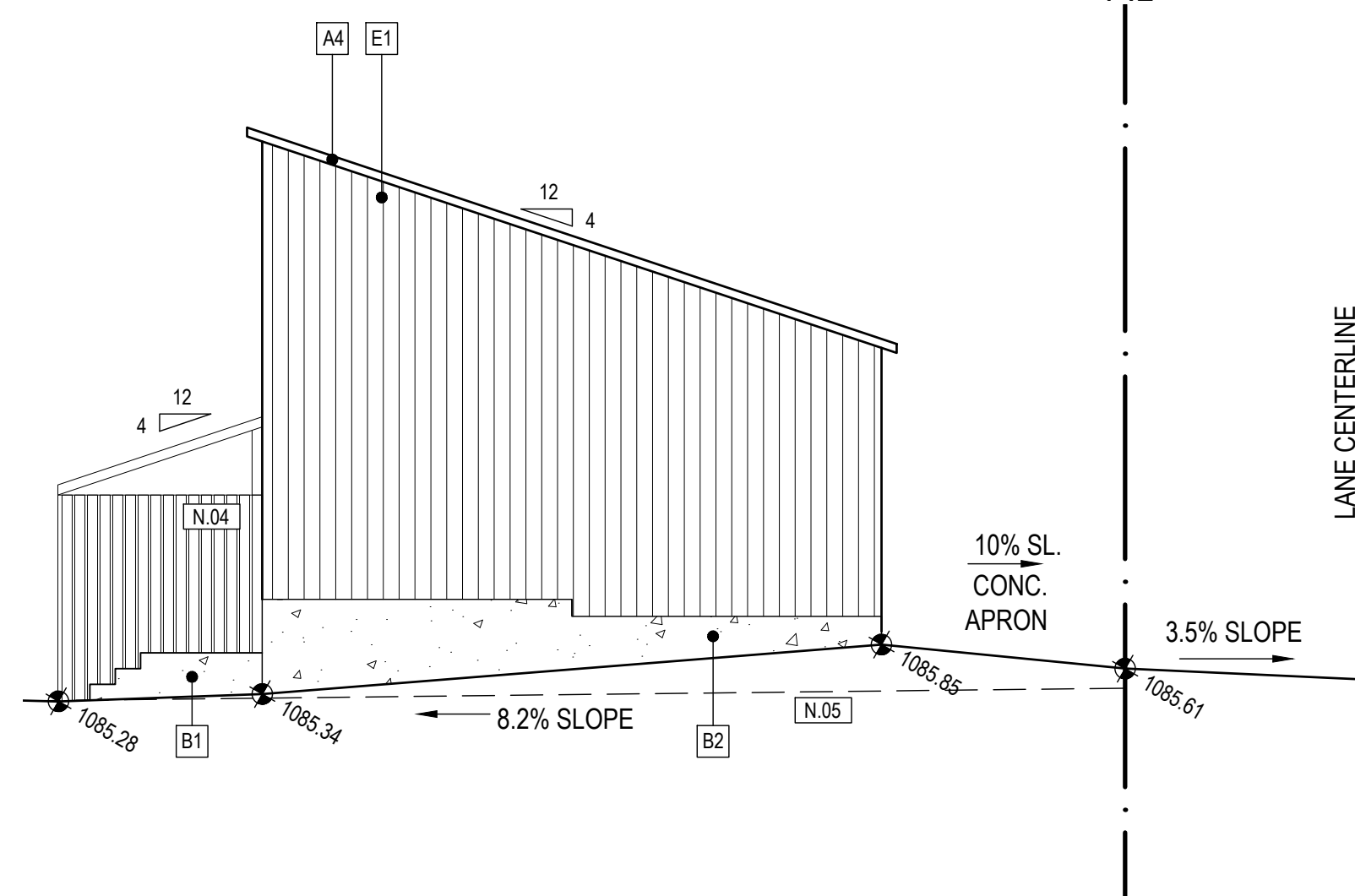
DRAWING TITLE:

GARAGE PLAN

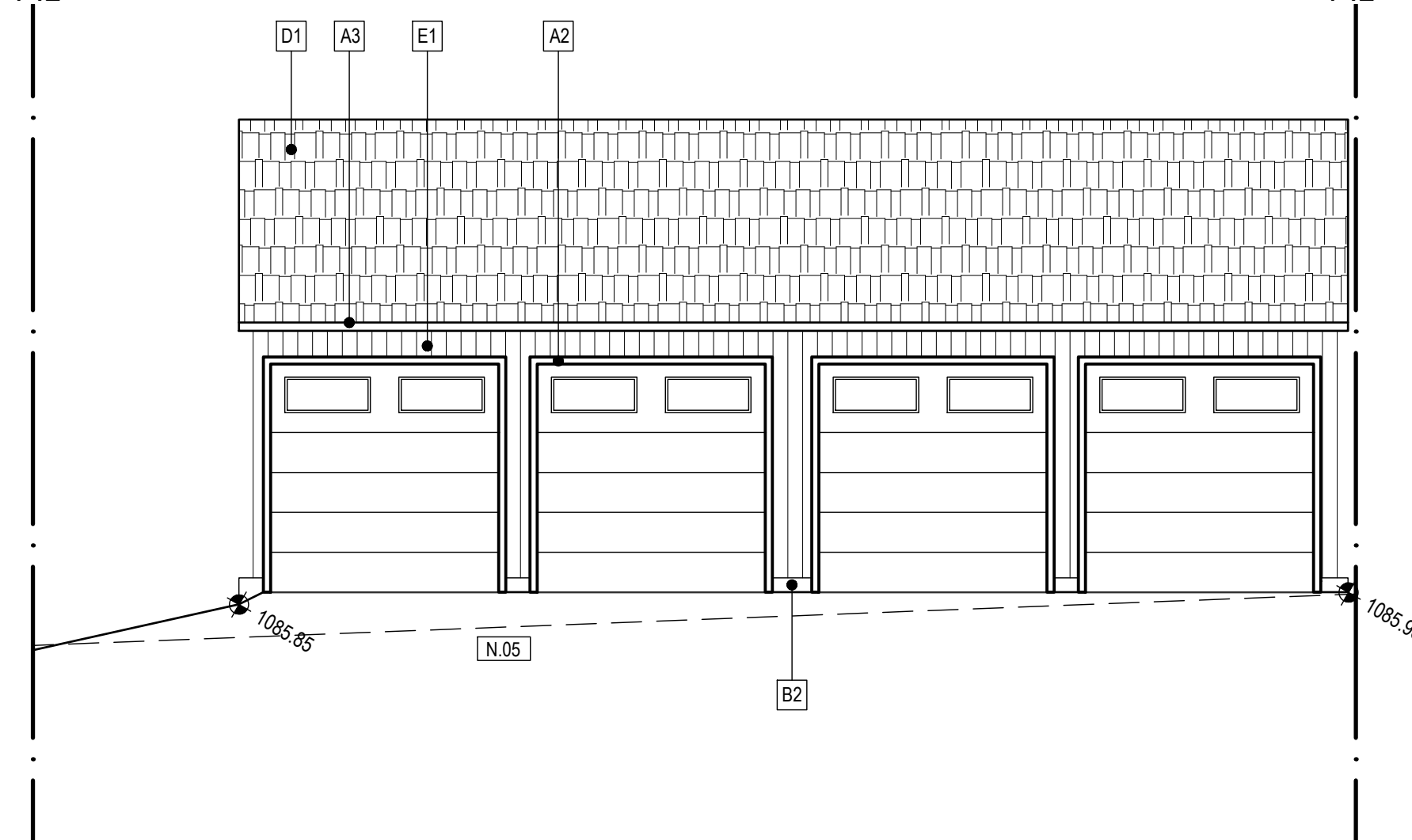
ORDER NUMBER

DP.106

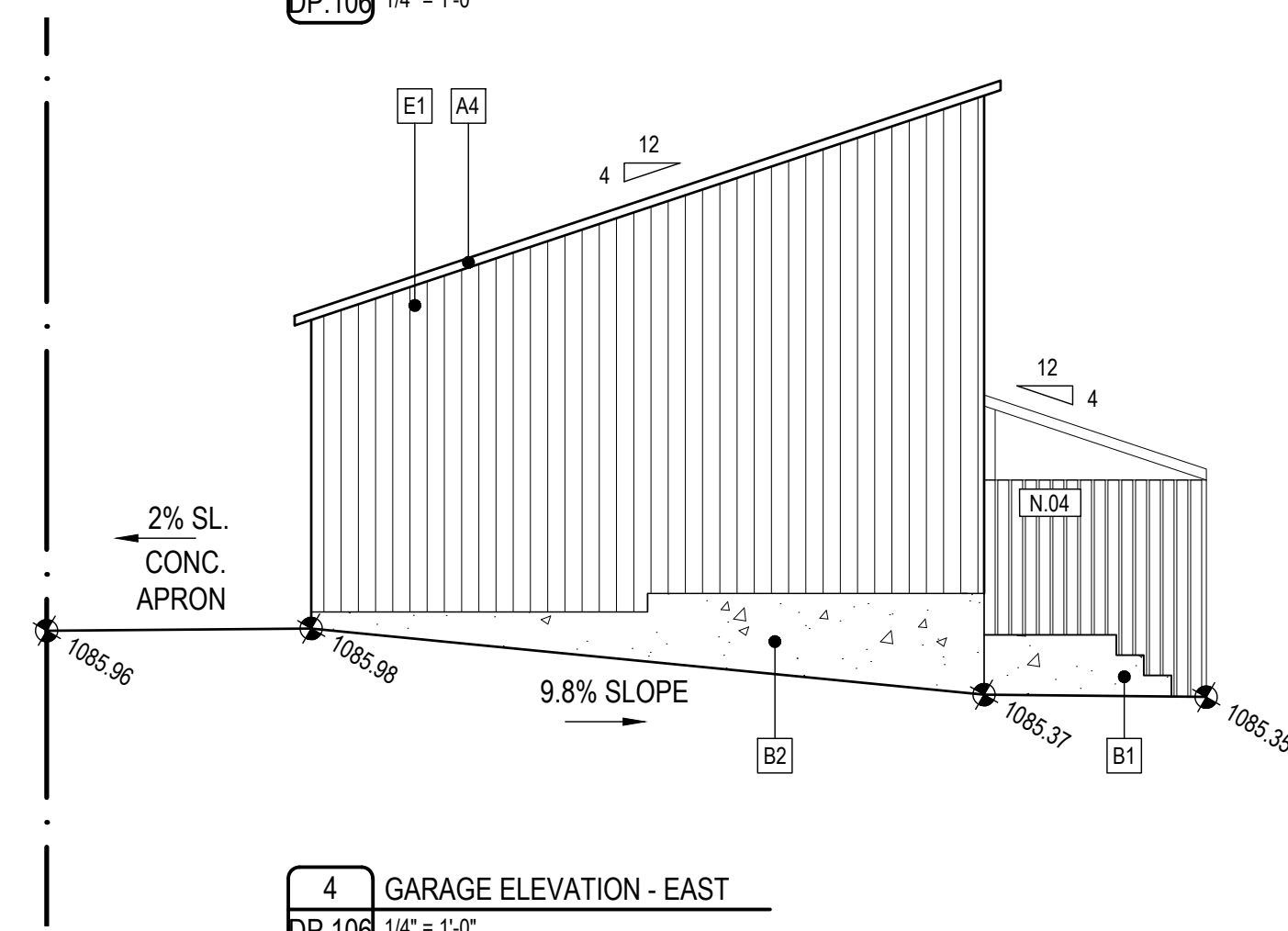
THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN COMMENT



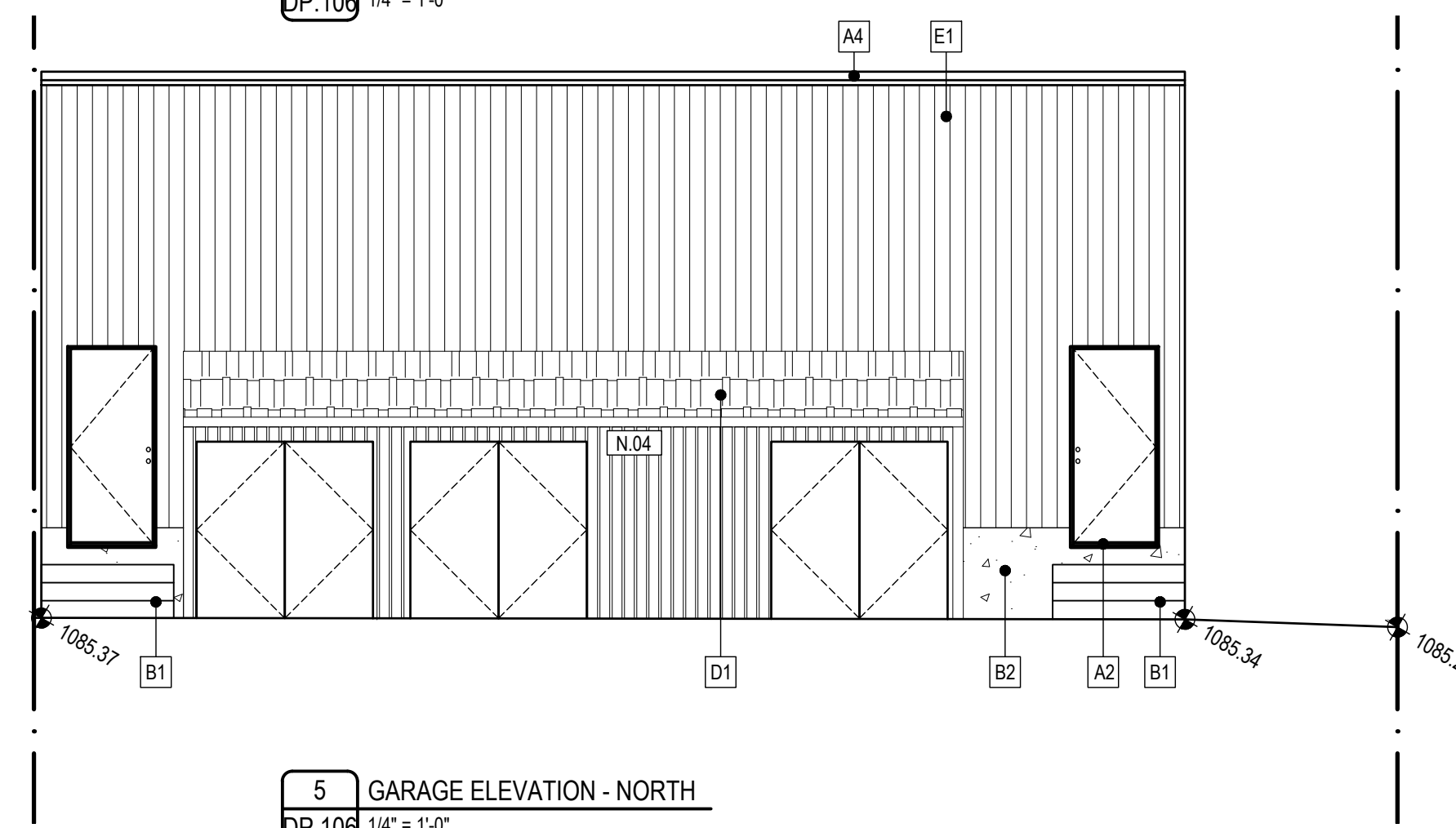
2	GARAGE ELEVATION - WEST
DP.106	1/4" = 1'-0"



3	GARAGE ELEVATION - SOUTH
DP.106	1/4" = 1'-0"



4	GARAGE ELEVATION - EAST
DP.106	1/4" = 1'-0"



5	GARAGE ELEVATION - NORTH
DP.106	1/4" = 1'-0"



A - HARDIE

- A1** HARDIE PANEL
COLOUR: WHITE
- A2** HARDIE PANEL
COLOUR: BLACK
- A3** HARDIE LAP SIDING
COLOUR: BLACK

B - METAL

-  CORRUGATED METAL PANEL
COLOUR: BLACK
-  METAL PANEL
COLOUR: WOOD-LIKE
-  METAL CLAD DOOR/WINDOW FRAME
COLOUR: BLACK
-  PREFINISHED METAL FLASHING
COLOUR : BLACK
-  METAL FASCIA
COLOUR: BLACK
-  METAL GUARDRAIL
COLOUR: BLACK
-  METAL DOWNSPOUT
COLOUR: BLACK

C - CONCRETE

- C1 CONCRETE STAIRS
- C2 PARGING

D - WOOD

- D1 WOOD FENCE

E - ROOFING

- E1** ASPHALT SHINGLES
COLOUR: BLACK

SHEET NOTES

- | | |
|-------------|--|
| N.01 | LINE OF GRADING AT PROPERTY LINE |
| N.02 | WASTE & RECYCLE AREA |
| N.03 | LINE OF GRADING AT PUBLIC REALM
SETBACK |

-  EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

RELEASER

[illegible]

03	DP SUBMISSION - 2.0	2026.01.08
02	DR1 SUBMISSION	2024.03.01
01	DP SUBMISSION	2023.12.08

PROJECT NAME

MP469

MANUSCRIPT ACCEPTED

2214 4 ST NW

LEGAL ADDRESS

L: 36 & 37 B: 24 P: 2129

PROJECT NO. _____

22.14

OPINION

CHECKED _____

DATE _____

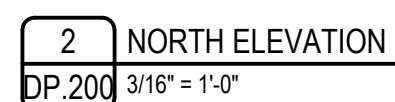
SCALE

OPPING TITL

BUILDING ELEVATIONS

OPENING MUSIC

1	WEST ELEVATION
DP.200	3/16" = 1'-0"



THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



A - HARDIE

- A1 HARDIE PANEL
COLOUR: WHITE
 - A2 HARDIE PANEL
COLOUR: BLACK
 - B - METAL**
 - B1 CORRUGATED METAL PANEL
COLOUR: BLACK
 - B2 METAL PANEL
COLOUR: WOOD-LIKE
 - B3 ALUMINUM DOOR/WINDOW FRAME
COLOUR: BLACK
 - B4 PREFINISHED METAL FLASHING
COLOUR : BLACK
 - B5 METAL FASCIA
COLOUR: BLACK
 - B6 METAL GUARDRAIL
COLOUR: BLACK
 - B7 METAL DOWNSPOUT
COLOUR: BLACK

C - CONCRETE

- C1 CONCRETE STAIRS
- C2 PAVING

D - WOOD

- D1 WOOD FENCE

E - ROOFING

- E1 ASPHALT SHINGLES**
COLOUR: BLACK

F - STUCCO

- F1** STUCCO
COLOUR: WHITE

SHEET NOTES

- N.01** LINE OF GRADING AT PROPERTY LINE
- N.02** CLASS 1 BICYCLE STORAGE

 EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

RELEASER

[illegible]

03	DP SUBMISSION - 2.0	2026.01.01
02	DR1 SUBMISSION	2024.03.01
01	DP SUBMISSION	2023.12.01

PROJECT NAME

MP469

MANUSCRIPT ACCEPTED

2214 4 ST NW

LEON ROSSINI

L: 36 & 37 B: 24 P: 2128

PROJECT NO. _____

22.14

OPINION

THEORY

(b) (5) DPP

附錄 1

ISSN 0007-1226

BUILDING ELEVATIONS

OPENING MUSIC

DP.201

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

