

# MCIVOR BOULEVARD - MULTIFAMILY

## DEVELOPMENT PERMIT SET

NOVEMBER 17, 2025

PROJECT NUMBER: 21.07.MC\_PH 2

DRAWING LIST

|          |                                    |        |                                    |
|----------|------------------------------------|--------|------------------------------------|
| DP.000   | COVER PAGE                         | DP.110 | BUILDING M2 - 3RD - 4TH FLOOR PLAN |
| DP.001   | SITE INFORMATION                   | DP.111 | BUILDING M2 - 5TH - 6TH FLOOR PLAN |
| DP.002   | SITE INFORMATION                   | DP.112 | BUILDING M2 - ROOF PLAN            |
| DP.003   | SITE INFORMATION                   | DP.113 | BUILDING M3 - MAIN FLOOR PLAN      |
| DP.004   | PHASING PLAN                       | DP.114 | BUILDING M3 - 2ND FLOOR PLAN       |
| DP.005   | BLOCK PLAN                         | DP.115 | BUILDING M3 - 3RD-6TH FLOOR PLAN   |
| DP.100   | SITE PLAN                          | DP.116 | BUILDING M3 - ROOF PLAN            |
| DP.100-A | FIRE TRUCK ACCESS PLAN             | DP.201 | BUILDING M1 - ELEVATIONS           |
| DP.100-B | EARTHBIN TRUCK ACCESS PLAN         | DP.202 | BUILDING M1 - ELEVATIONS           |
| DP.101   | LANDSCAPE PLAN                     | DP.203 | BUILDING M1 - ELEVATIONS           |
| DP.102   | PARKADE PLAN                       | DP.204 | BUILDING M2 - ELEVATIONS           |
| DP.102.1 | BICYCLE PARKING PLAN               | DP.205 | BUILDING M2 - ELEVATIONS           |
| DP.103   | BUILDING M1 - MAIN FLOOR PLAN      | DP.206 | BUILDING M3 - ELEVATIONS           |
| DP.104   | BUILDING M1 - 2ND FLOOR PLAN       | DP.207 | BUILDING M3 - ELEVATIONS           |
| DP.105   | BUILDING M1 - 3RD - 4TH FLOOR PLAN | DP.208 | BUILDING M3 - ELEVATIONS           |
| DP.106   | BUILDING M1 - 5TH - 6TH FLOOR PLAN | DP.209 | PARKADE - ELEVATIONS               |
| DP.107   | BUILDING M1 - ROOF PLAN            | DP.300 | BUILDING SECTIONS                  |
| DP.108   | BUILDING M2 - MAIN FLOOR PLAN      | DP.301 | BUILDING SECTIONS                  |
| DP.109   | BUILDING M2 - 2ND FLOOR PLAN       | DP.302 | PARKADE SECTIONS                   |
|          |                                    | C.02   | SITE GRADING PLAN                  |



PROJECT INFORMATION:

PARCEL ADDRESS:

|                      |                                            |
|----------------------|--------------------------------------------|
| - LEGAL:             | PLAN 201 1698, UNIT 10                     |
| - MUNICIPAL:         | 55 COPPER POND PASSAGE S.E.<br>CALGARY, AB |
| - COMMUNITY:         | COPPERFIELD                                |
| <b>ZONING:</b>       |                                            |
| - CURRENT:           | DC - 11D2021 (BASED ON MU-1)               |
| - PROPOSED:          | MU-1                                       |
| - DISCRETIONARY USE: | DWELLING UNITS                             |

PARCEL COVERAGE:

|                                                              |                                     |
|--------------------------------------------------------------|-------------------------------------|
| - SITE AREA:                                                 | 13,622.4 sm<br>1.36 ha (3.37 acres) |
| - BUILDING FOOTPRINT AREA<br>(FOR ALL MUTLIFAMILY BUILDING): | 4,838 sm                            |
| - PROPOSED COVERAGE:                                         | 36%                                 |

PROPOSED GROSS BUILDING AREA

MULTIFAMILY BUILDINGS GFA = 28,740 sm

| BUILDING M1 (138 UNITS) |       |    | BUILDING M2 (152 UNITS) |       |    | BUILDING M3 (95 UNITS) |       |    |
|-------------------------|-------|----|-------------------------|-------|----|------------------------|-------|----|
| FLOOR                   | GROSS |    | FLOOR                   | GROSS |    | FLOOR                  | GROSS |    |
| MAIN                    | 1859  | sm | MAIN                    | 1773  | sm | MAIN                   | 1206  | sm |
| 2 FLR                   | 1835  | sm | 2 FLR                   | 1819  | sm | 2 FLR                  | 1206  | sm |
| 3 FLR                   | 1835  | sm | 3 FLR                   | 1822  | sm | 3 FLR                  | 1206  | sm |
| 4 FLR                   | 1835  | sm | 4 FLR                   | 1822  | sm | 4 FLR                  | 1206  | sm |
| 5 FLR                   | 1699  | sm | 5 FLR                   | 1753  | sm | 5 FLR                  | 1206  | sm |
| 6 FLR                   | 1699  | sm | 6 FLR                   | 1753  | sm | 6 FLR                  | 1206  | sm |
|                         |       |    | AMENITY                 | 84    | sm |                        |       |    |
| TOTAL 10762 sm          |       |    | TOTAL 10742 sm          |       |    | TOTAL 7236 sm          |       |    |

FLOOR AREA RATIO

- MAXIMUM PERMITTED: 2.5
- PROPOSED: 1.81

DENSITY

- NO MAXIMUM
- PROPOSED (385 UNITS): 283 UNITS/ha.

BUILDING HEIGHT

WITHIN 14m OF RESIDENTIAL DISTRICT: 16m MAX HEIGHT  
MULTI-FAMILY - MAXIMUM HEIGHT PERMITTED: 22m

SETBACKS

|                           | Min.   | Proposed |
|---------------------------|--------|----------|
| - NORTH SETBACK (URW):    | 2.4 m  | 2.4 m    |
| - WEST SETBACK (URW):     | 2.4 m  | 2.4 m    |
| - EAST SETBACK (130 AVE): | 3.0 m  | 3.0 m    |
| - SOUTH SETBACK (ROW):    | 10.0 m | 10.0 m   |

AMENITY SPACE - MULTIFAMILY

PRIVATE:  
MINIMUM REQUIRED = 5.0 sm/UNIT  
PROPOSED = 5.0 sm/UNIT

SHARED AMENITY = 455 sm (BUILDING M1 + M2)

VEHICULAR PARKING

|                                                                                                  |              |
|--------------------------------------------------------------------------------------------------|--------------|
| <b>MULTIFAMILY</b>                                                                               |              |
| RESIDENT STALLS REQUIRED (385 UNITS * 0.75)                                                      | = 289 STALLS |
| RESIDENT STALLS PROPOSED                                                                         | = 309 STALLS |
| VISITOR STALLS REQUIRED (385 UNITS *0.1)                                                         | = 39 STALLS  |
| VISITOR STALLS PROPOSED                                                                          | = 41 STALLS  |
| TOTAL REQUIRED                                                                                   | = 328 STALLS |
| TOTAL PROPOSED                                                                                   | = 350 STALLS |
| <b>BARRIER FREE</b>                                                                              |              |
| OF THE 328 REQUIRED STALLS, <b>7 ARE REQUIRED</b> FOR USE BY PERSONS WITH PHYSICAL DISABILITIES. |              |
| PARKADE COUNT                                                                                    | = 8 STALLS   |
| SURFACE COUNT                                                                                    | = 2 STALLS   |
| TOTAL COUNT BARRIER FREE                                                                         | = 10 STALLS  |
| MIN. 1.0 LOADING STALLS PER BUILDING                                                             |              |

BICYCLE PARKING

|                                     |              |
|-------------------------------------|--------------|
| <b>MULTIFAMILY</b>                  |              |
| CLASS I REQUIRED (385 UNITS * 0.5)  | = 200 STALLS |
| CLASS I PROPOSED                    | = 226 STALLS |
| CLASS II REQUIRED (385 UNITS * 0.1) | = 39 STALLS  |
| CLASS II PROPOSED                   | = 43 STALLS  |

WASTE & RECYCLING CALCULATIONS

385 DWELLING UNITS X 0.24m3 PER WEEK = 92.4 m3 / WEEK  
EARTHBIN 500(2) +130(1) = 6.5(2)+1.7  
= 14.7 m3 X 3 LOCATIONS  
= 44.1 m3 X 3 PICK UPS  
= 132.3 WEEK



## RELEASER

[illegible]

PROJECT NAME

**MCIVOR BOULEVARD**  
MULTI FAMILY

MUNICIPAL ACCEP

55 COPPER POND PASSAGE SE

LEGAL ADDRESS

PLAN 201 1698; UNIT 10

PROJECT NO. \_\_\_\_\_

21.07.MC\_PH 2

CASINO

LK

DATE \_\_\_\_\_

AS NOTED

DRAWING TITLE:

## PHASING PLAN

DRAWING NUMBER

# DP.004

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

## CONSTRUCTION PHASING

|                     |                                                                                                                                                                       |                                                                                                                                                         |
|---------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------|
| UNDERGROUND PARKADE |  PHASE 1: UNDERGROUND PARKADE, CENTRALIZED METER ROOM, AND AT-GRADE DRIVE AISLES |                                                                                                                                                         |
| GROUND LEVEL        | PHASE 1                                                                                                                                                               | PHASE 2                                                                                                                                                 |
|                     |  UNDERGROUND PARKADE, CENTRALIZED METER ROOM, AND AT-GRADE DRIVE AISLES          |  PHASE 2A BUILDING M3 (WEST BUILDING) AND ITS AT-GRADE SURROUNDS   |
|                     |                                                                                                                                                                       |  PHASE 2B BUILDING M2 (MIDDLE BUILDING) AND ITS AT-GRADE SURROUNDS |
|                     |                                                                                                                                                                       |  PHASE 2C BUILDING M1 (EAST BUILDING) AND ITS AT-GRADE SURROUNDS   |

1. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITH COMBINED DEVELOPMENT PARCELS.
2. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
3. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
4. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE AREAS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
5. PROVIDE EXTERIOR LIGHTING AT ALL FRONT ENTRY AREAS & WALL MOUNTED.
6. HOUSING NUMBER MOUNTED ON EXTERIOR WALL. SITE CONTROL HEIGHT W/ ARCHITECT PRIOR TO ROUGH-IN & INSTALL.

 WATER METER AREA  
 PROPOSED GEODETIC ELEVATION  
 EXISTING GEODETIC ELEVATION

- PORTIONS OF THE ROUTE, INCLUDING  
UNDERGROUND STRUCTURES AND UTILITIES, ARE

- N.15** PLANTER 1.2m HEIGHT ABOVE GROUND

- ☒ N.25 STANDARD COMMERCIAL PARKING STALL

- AREA

- N.31** OUTDOOR BARBEQUE

|                                                |         |
|------------------------------------------------|---------|
| PROPOSED                                       |         |
| <b>BUILDING M3</b> 7236 sm - 95 Dwelling Units |         |
| MAIN FLOOR                                     | 1022.95 |
| ROOF PEAK                                      | 1044.80 |
| <b>GROUP C - SIX STOREYS, SPRINKLERED</b>      |         |

PROPOSED

**BUILDING M2** 10742 sm - 152 Dwelling Units

MAIN FLOOR    1022.95

ROOF PEAK    1044.80

GROUP C - SIX STOREYS, SPRINKLERED

|                                    |                               |
|------------------------------------|-------------------------------|
| PROPOSED                           |                               |
| <b>BUILDING M1</b>                 | 10762 sm - 138 Dwelling Units |
| MAIN FLOOR                         | ↻ 1022.95                     |
| ROOF PEAK                          | ↻ 1044.80                     |
| GROUP C - SIX STOREYS, SPRINKLERED |                               |

COMMERCIAL - ONE STOREY

COMMERCIAL - ONE STOREY

COMMERCIAL - ONE STOREY

RELEASER

[illegible]

|    |               |         |
|----|---------------|---------|
| 01 | DP SUBMISSION | 2025-11 |
|----|---------------|---------|

|              |  |
|--------------|--|
| PROJECT NAME |  |
|--------------|--|

**MCIVOR BOULEVARD**  
MULTI FAMILY

MUNICIPAL ADDRESS

55 COPPER POND PASSAGE SE

LEGAL ADDRESS

PLAN 201 1698; UNIT 10

PROJECT NO. \_\_\_\_\_

21.07.MC\_PH 2

|      |         |
|------|---------|
| DATE | CHECKED |
|------|---------|

|     | PF   | LA   |
|-----|------|------|
| 1   | 0.00 | 0.00 |
| 2   | 0.00 | 0.00 |
| 3   | 0.00 | 0.00 |
| 4   | 0.00 | 0.00 |
| 5   | 0.00 | 0.00 |
| 6   | 0.00 | 0.00 |
| 7   | 0.00 | 0.00 |
| 8   | 0.00 | 0.00 |
| 9   | 0.00 | 0.00 |
| 10  | 0.00 | 0.00 |
| 11  | 0.00 | 0.00 |
| 12  | 0.00 | 0.00 |
| 13  | 0.00 | 0.00 |
| 14  | 0.00 | 0.00 |
| 15  | 0.00 | 0.00 |
| 16  | 0.00 | 0.00 |
| 17  | 0.00 | 0.00 |
| 18  | 0.00 | 0.00 |
| 19  | 0.00 | 0.00 |
| 20  | 0.00 | 0.00 |
| 21  | 0.00 | 0.00 |
| 22  | 0.00 | 0.00 |
| 23  | 0.00 | 0.00 |
| 24  | 0.00 | 0.00 |
| 25  | 0.00 | 0.00 |
| 26  | 0.00 | 0.00 |
| 27  | 0.00 | 0.00 |
| 28  | 0.00 | 0.00 |
| 29  | 0.00 | 0.00 |
| 30  | 0.00 | 0.00 |
| 31  | 0.00 | 0.00 |
| 32  | 0.00 | 0.00 |
| 33  | 0.00 | 0.00 |
| 34  | 0.00 | 0.00 |
| 35  | 0.00 | 0.00 |
| 36  | 0.00 | 0.00 |
| 37  | 0.00 | 0.00 |
| 38  | 0.00 | 0.00 |
| 39  | 0.00 | 0.00 |
| 40  | 0.00 | 0.00 |
| 41  | 0.00 | 0.00 |
| 42  | 0.00 | 0.00 |
| 43  | 0.00 | 0.00 |
| 44  | 0.00 | 0.00 |
| 45  | 0.00 | 0.00 |
| 46  | 0.00 | 0.00 |
| 47  | 0.00 | 0.00 |
| 48  | 0.00 | 0.00 |
| 49  | 0.00 | 0.00 |
| 50  | 0.00 | 0.00 |
| 51  | 0.00 | 0.00 |
| 52  | 0.00 | 0.00 |
| 53  | 0.00 | 0.00 |
| 54  | 0.00 | 0.00 |
| 55  | 0.00 | 0.00 |
| 56  | 0.00 | 0.00 |
| 57  | 0.00 | 0.00 |
| 58  | 0.00 | 0.00 |
| 59  | 0.00 | 0.00 |
| 60  | 0.00 | 0.00 |
| 61  | 0.00 | 0.00 |
| 62  | 0.00 | 0.00 |
| 63  | 0.00 | 0.00 |
| 64  | 0.00 | 0.00 |
| 65  | 0.00 | 0.00 |
| 66  | 0.00 | 0.00 |
| 67  | 0.00 | 0.00 |
| 68  | 0.00 | 0.00 |
| 69  | 0.00 | 0.00 |
| 70  | 0.00 | 0.00 |
| 71  | 0.00 | 0.00 |
| 72  | 0.00 | 0.00 |
| 73  | 0.00 | 0.00 |
| 74  | 0.00 | 0.00 |
| 75  | 0.00 | 0.00 |
| 76  | 0.00 | 0.00 |
| 77  | 0.00 | 0.00 |
| 78  | 0.00 | 0.00 |
| 79  | 0.00 | 0.00 |
| 80  | 0.00 | 0.00 |
| 81  | 0.00 | 0.00 |
| 82  | 0.00 | 0.00 |
| 83  | 0.00 | 0.00 |
| 84  | 0.00 | 0.00 |
| 85  | 0.00 | 0.00 |
| 86  | 0.00 | 0.00 |
| 87  | 0.00 | 0.00 |
| 88  | 0.00 | 0.00 |
| 89  | 0.00 | 0.00 |
| 90  | 0.00 | 0.00 |
| 91  | 0.00 | 0.00 |
| 92  | 0.00 | 0.00 |
| 93  | 0.00 | 0.00 |
| 94  | 0.00 | 0.00 |
| 95  | 0.00 | 0.00 |
| 96  | 0.00 | 0.00 |
| 97  | 0.00 | 0.00 |
| 98  | 0.00 | 0.00 |
| 99  | 0.00 | 0.00 |
| 100 | 0.00 | 0.00 |

| DATE  | SCALE |
|-------|-------|
| ..... | ..... |

|            |          |
|------------|----------|
| 2023/12/13 | AS NOTED |
|------------|----------|

DRAWING TITLE

## SITE PLAN

---

[illegible]

\_\_\_\_\_

|      | 1990 | 1991 | 1992 | 1993 | 1994 |
|------|------|------|------|------|------|
| 1990 | 100  | 100  | 100  | 100  | 100  |
| 1991 | 100  | 100  | 100  | 100  | 100  |
| 1992 | 100  | 100  | 100  | 100  | 100  |
| 1993 | 100  | 100  | 100  | 100  | 100  |
| 1994 | 100  | 100  | 100  | 100  | 100  |

## DP 100

DI.100

\_\_\_\_\_

\_\_\_\_\_

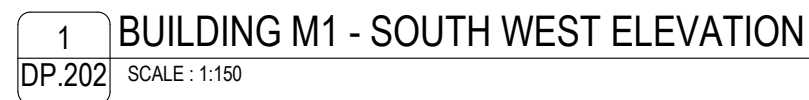
|  |  |
|--|--|
|  |  |
|--|--|

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED

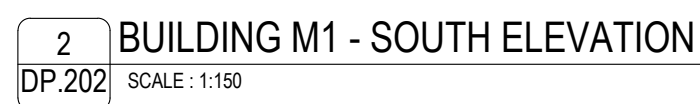
REPRODUCED WITHOUT PRIOR WRITTEN  
CONSENT.

---





- ☐ F4 METAL CLAD WOOD FRAME/FIBERGLASS DOORS - BLACK



*Journal of Management Education* 36(7)p. 809-824

THIS DRAWING AND DESIGN ARE AT ALL TIMES  
TO REMAIN THE EXCLUSIVE PROPERTY OF  
THE ARCHITECT AND MAY NOT BE USED OR  
REPRODUCED WITHOUT PRIOR WRITTEN  
CONSENT.



**B - CLADDING**

- |     |                                                           |
|-----|-----------------------------------------------------------|
| B1  | METAL TRIM - COLOUR : BLACK                               |
| B2  | METAL FASCIA / SOFFIT - COLOR : WHITE                     |
| B3  | METAL FASCIA / SOFFIT - COLOR : BLACK                     |
| B4  | FIBER CEMENT PANEL 4' x 10' - COLOUR : LIGHT GREY         |
| B5  | FIBER CEMENT PANEL 4' x 10' - COLOUR : DARK GREY          |
| B6  | FIBER CEMENT PANEL BRICK TEXTURE - COLOUR : DARK GREY     |
| B7  | HORIZONTAL FIBER CEMENT LAP SIDING - COLOUR : LIGHT GREY  |
| B8  | HORIZONTAL FIBER CEMENT LAP SIDING - COLOUR : MEDIUM GREY |
| B9  | HORIZONTAL FIBER CEMENT LAP SIDING - COLOUR : WOOD GRAIN  |
| B10 | METAL FASCIA/SOFFIT PANEL - COLOUR : TO MATCH WOOD GRAIN  |

### C - ROOFING

- C1 ASPHALT SHINGLES

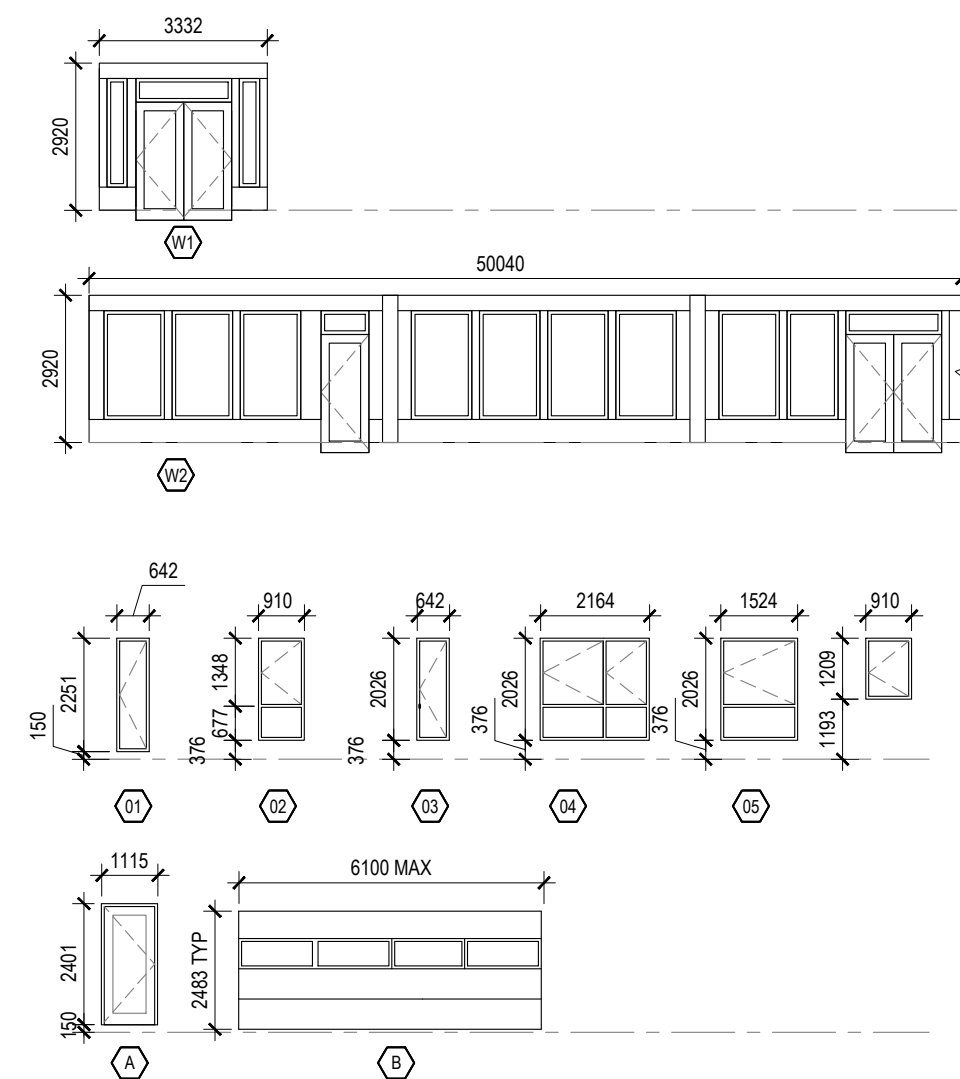
### D - GLASS

- D1 ALUMINUM RAILING BLACK WITH OBSCURED GLASS
- D2 ALUMINUM SCREEN BLACK WITH OBSCURED GLASS

## F - WINDOWS

- F1 METAL CLAD WOOD FRAME/FIBERGLASS DOORS - WHITE
- F2 WOOD CLAD STOREFRONT GLAZING - BLACK ANODIZED FRAME
- F3 METAL CLAD PVC WINDOW - WHITE
- F4 METAL CLAD WOOD FRAME/FIBERGLASS DOORS - BLACK

|        |               |
|--------|---------------|
| DP.203 | SCALE : 1:150 |
|--------|---------------|



|        |               |
|--------|---------------|
| DP.203 | SCALE : 1:150 |
|--------|---------------|

|        |               |
|--------|---------------|
| DP.203 | SCALE : 1:150 |
|--------|---------------|

## RELEASER

[illegible]

|    |               |           |
|----|---------------|-----------|
| 01 | DP SUBMISSION | 2025-11-1 |
|----|---------------|-----------|

MCIVOR BOULEVARD  
MULTI

MUNICIPAL ADDRESS:

LEGAL ADDRESS

L:4 B:66 P:141 1640

PROJECT NO. \_\_\_\_\_

21.07.MC\_PH 2

DRAIN

AN MF

DATE \_\_\_\_\_

2025/08/27 AS NOTED

DRAWING TITLE

BUILDING M1  
ELEVATIONS

DRAWING NUMBER:

# DP.203

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

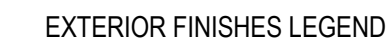


- 74 METAL LEAD WOOD FRAME FIBERGLASS DOORS -  
BLACK



---

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



### B - CLADDING

- |     |                                                           |
|-----|-----------------------------------------------------------|
| B1  | METAL TRIM - COLOUR : BLACK                               |
| B2  | METAL FASCIA / SOFFIT - COLOR : WHITE                     |
| B3  | METAL FASCIA / SOFFIT - COLOR : BLACK                     |
| B4  | FIBER CEMENT PANEL 4' x 10' - COLOUR : LIGHT GREY         |
| B5  | FIBER CEMENT PANEL 4' x 10' - COLOUR : DARK GREY          |
| B6  | FIBER CEMENT PANEL BRICK TEXTURE - COLOUR : DARK GREY     |
| B7  | HORIZONTAL FIBER CEMENT LAP SIDING - COLOUR : LIGHT GREY  |
| B8  | HORIZONTAL FIBER CEMENT LAP SIDING - COLOUR : MEDIUM GREY |
| B9  | HORIZONTAL FIBER CEMENT LAP SIDING - COLOUR : WOOD GRAIN  |
| B10 | METAL FASCIA/SOFFIT PANEL - COLOUR : TO MATCH WOOD GRAIN  |

### C - ROOFING

- ## C1 ASPHALT SHINGLES

**D - GLASS**

- D1 ALUMINUM RAILING BLACK WITH OBSCURED GLASS
- D2 ALUMINUM SCREEN BLACK WITH OBSCURED GLASS

## F - WINDOWS

- F1 METAL CLAD WOOD FRAME/FIBERGLASS DOORS - WHITE
- F2 WOOD CLAD STOREFRONT GLAZING - BLACK ANODIZED FRAME
- F3 METAL CLAD PVC WINDOW - WHITE
- F4 METAL CLAD WOOD FRAME/FIBERGLASS DOORS - BLACK

RELEASER

[illegible]

|    |               |            |
|----|---------------|------------|
| 01 | DP SUBMISSION | 2025-11-17 |
|----|---------------|------------|

PROJECT NAME

MCIVOR BOULEVARD  
MULTI

MUNICIPAL ADDRESS

LEGAL ADDRESS

L:4 B:66 P:141 1640

PROJECT NO. \_\_\_\_\_

21.07.MC\_PH 2

---

CRAN

AN MF

DATE \_\_\_\_\_

|            |          |
|------------|----------|
| 2025/08/27 | AS NOTED |
|------------|----------|

DRAWING TITLE

# BUILDING M2 ELEVATIONS

DRAWING NUMBER:

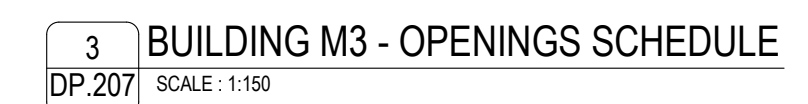
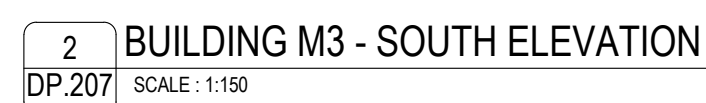
**DP.205**

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



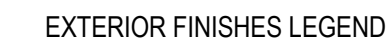


- ☐ F4 METAL CLAD WOOD FRAME/FIBERGLASS DOORS - BLACK



1000

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



### B - CLADDING

- ### C - ROOFING

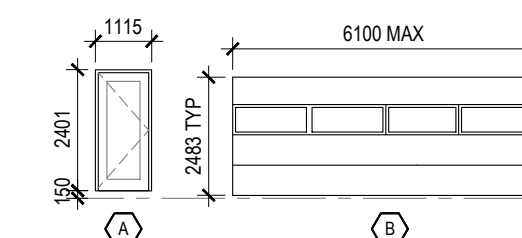
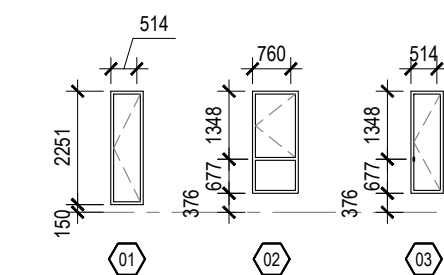
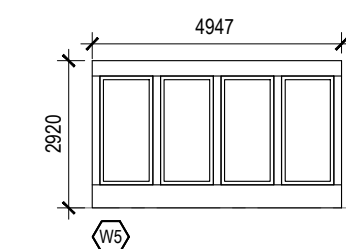
- ## C1 ASPHALT SHINGLES

**D - GLASS**

- ## F - WINDOWS

## F - WINDOWS

- 1 BUILDING M3 - WEST ELEVATION  
DP.208 SCALE : 1:150



3 BUILDING M3 - OPENINGS SCHEDULE  
DP.208 SCALE : 1:150

## RELEASES

[illegible]

|    |               |            |
|----|---------------|------------|
| 01 | DP SUBMISSION | 2025-11-17 |
|----|---------------|------------|

**MCIVOR BOULEVARD**  
COMM + MULTI

PRINCIPAL ADDRESS

EQUIL ADDRESS

L:4 B:66 P:141 1640

PROJECT NO. \_\_\_\_\_

21.07.MC\_PH 2

|       |         |
|-------|---------|
| IRWAN | CHECKED |
| AN    | CR      |

|            |          |
|------------|----------|
| DATE       | SCALE    |
| 2025/08/27 | AS NOTED |

---

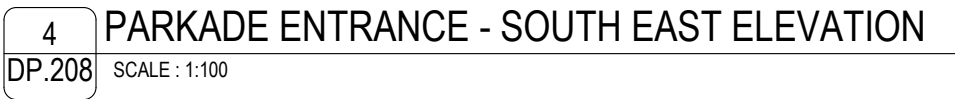
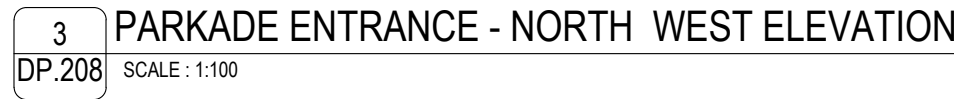
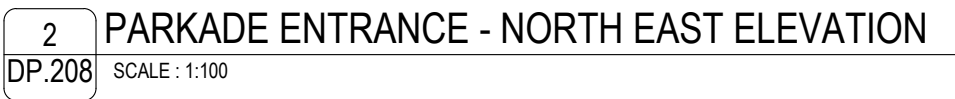
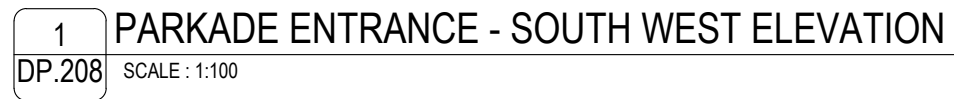
ISSN 0000-0000

## BUILDING M3 ELEVATIONS

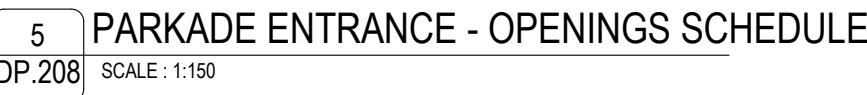
JENNIFER NISDER

DP.208

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



F4 METAL CLAD WOOD FRAME/FIBERGLASS DOORS - BLACK



## DRAWING NUMBER

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.