

AMENDED DRAWINGS
DP No Date Received
DP2025-07468 02.17.2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



ARCHITECTURAL DRAWINGS

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- A001 DP COVER + DRAWING LIST
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- A015 BUILDING RENDERS
- A016 BUILDING RENDERS
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- DPE 103 SITE LIGHTING CALCULATION

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- C-2 GRADING PLAN
- C-3 CROSS SECTIONS

FARRELL ROAD

7048 & 7052 FARRELL ROAD SE

2026-02-12

Issued for Development Permit R1

ARCHITECT

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Calgary, AB, T2C 2B7

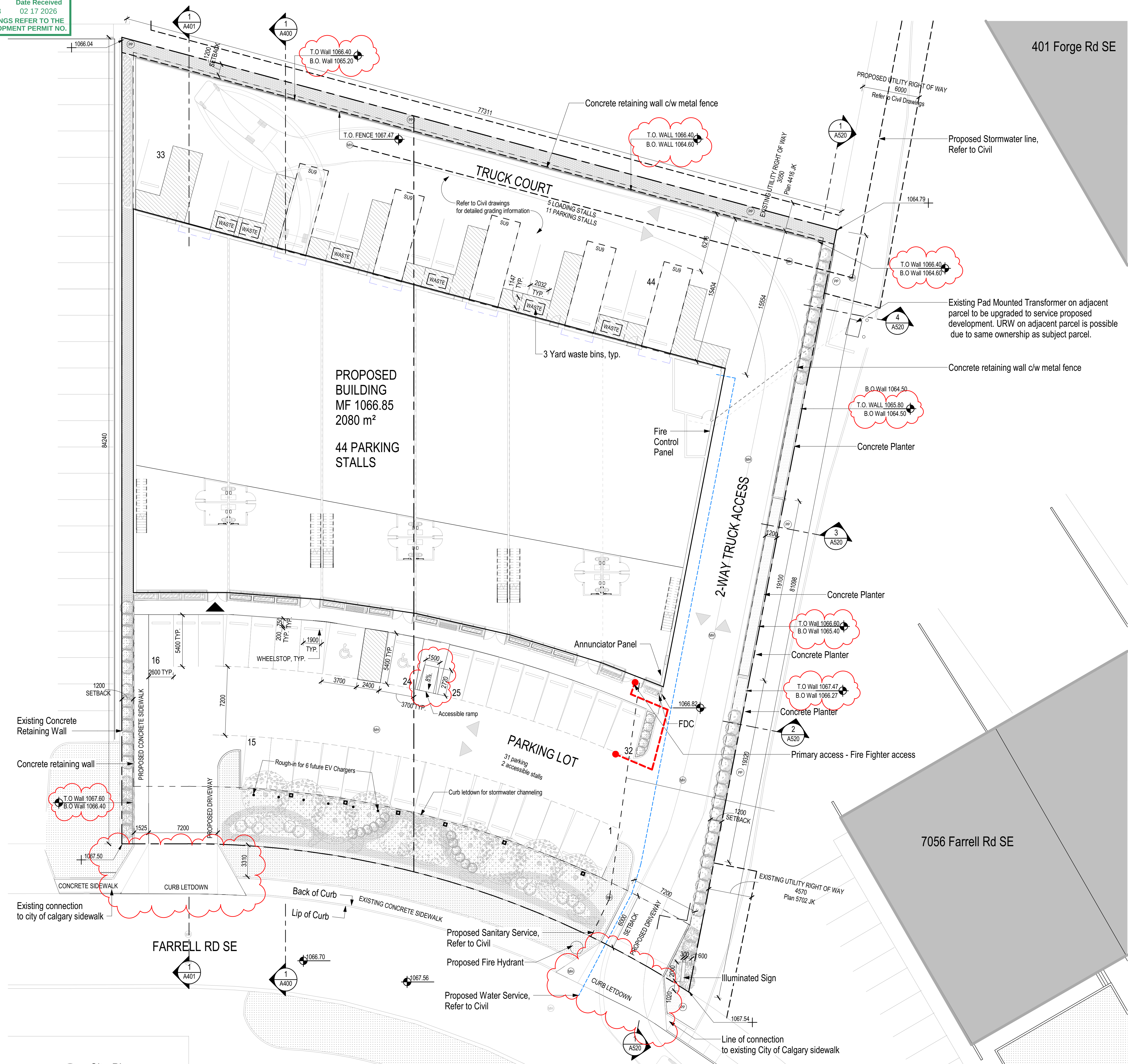
Patrick Moloney
pmoloney@sedulousengineering.com

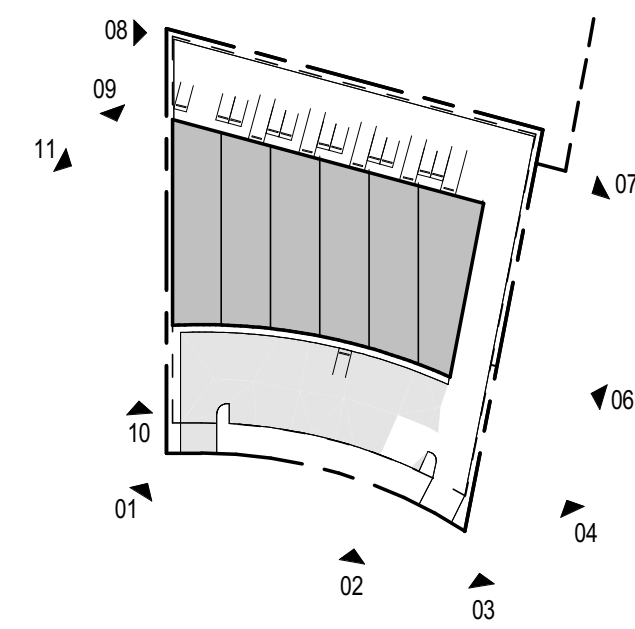
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Seal

REGISTERED ARCHITECT
DWAYNE C. SMITH
BRITISH COLUMBIA
2026-02-12

1 KEY PLAN - SITE PHOTOS

Reserved

Revisions		
No.	Description	Date
1	Issued for Development Permit	2025-12-22
2	Issued for Development Permit R1	2026-02-12

Key Plan

Project 0001
FARRELL ROAD

7048 & 7052 FARRELL ROAD SE

Issued for Development Permit

SITE PHOTOS	
Date	2026-02-12
Drawn By	HP
Checked By	LK
Scale	1 : 1500
Original Size	A1



IMAGE 01: View of south west corner of site from Farrell Road.



IMAGE 02: View of south of site from Farrell Road.

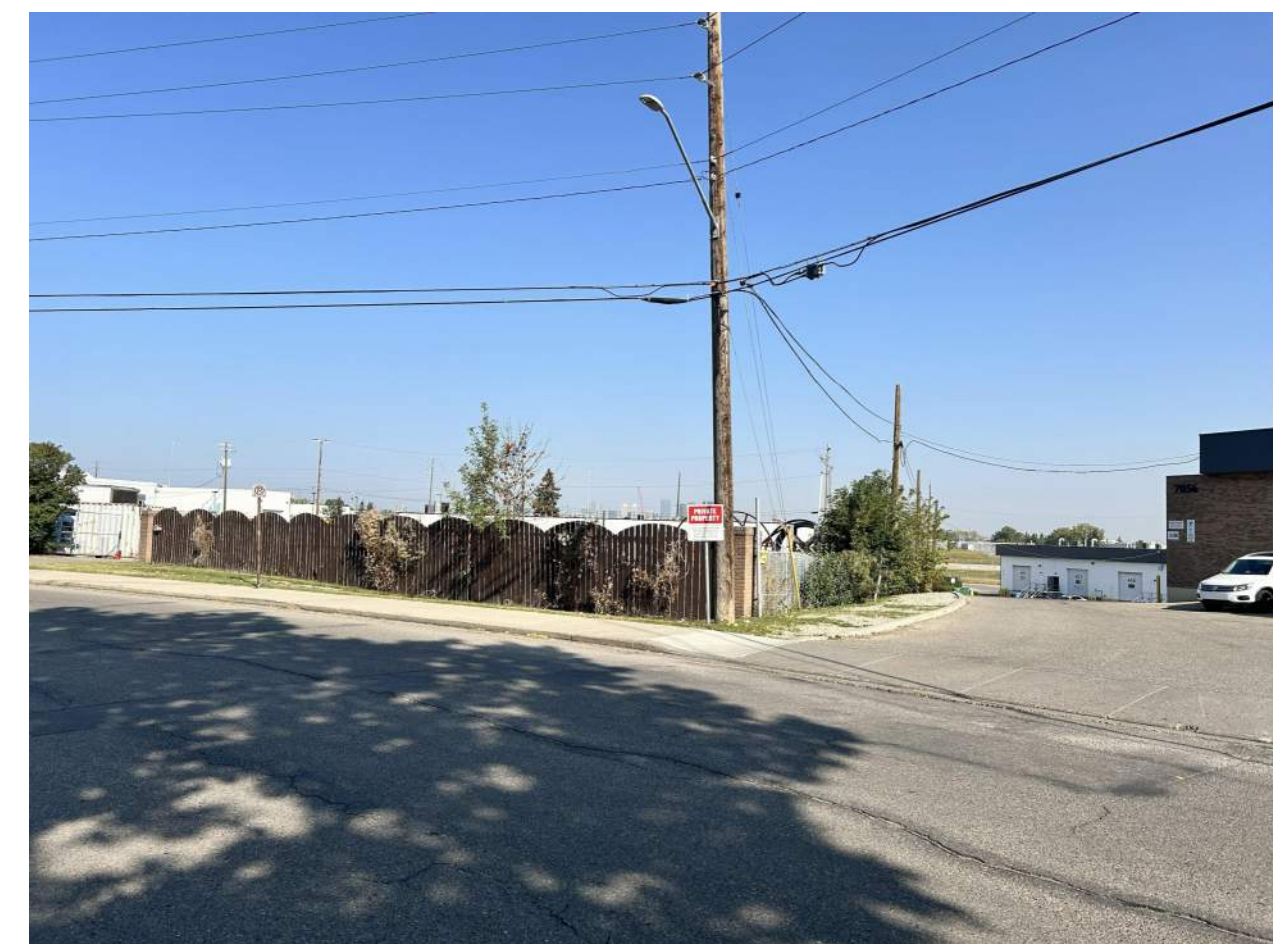


IMAGE 03: View of south east corner of site from Farrell Road

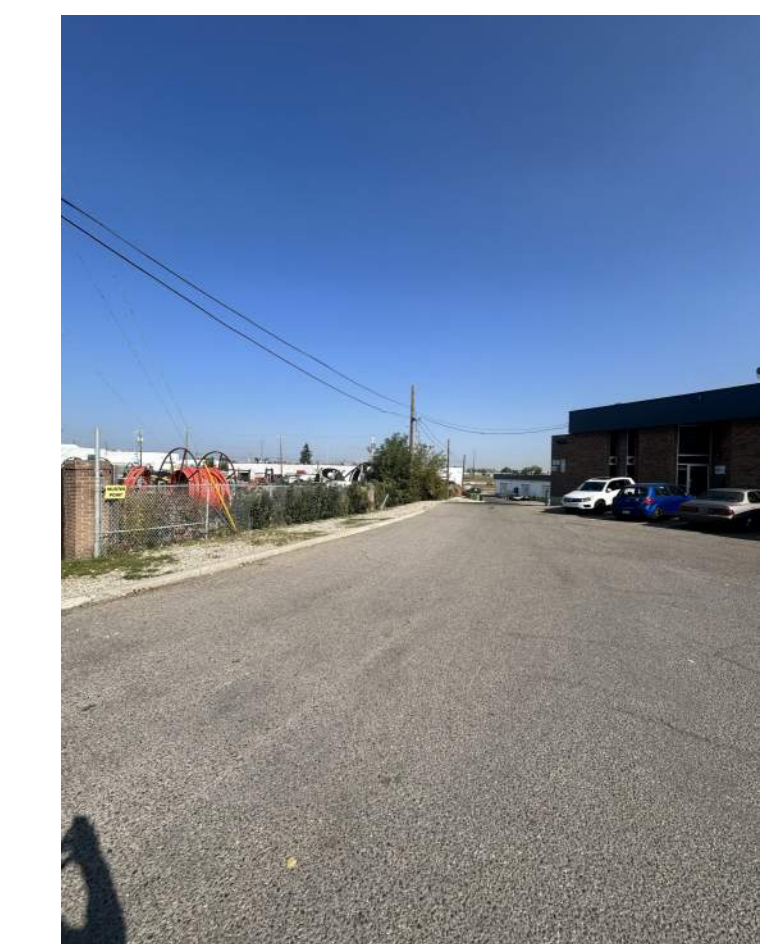


IMAGE 04: View of east of site from Phillips Court Loading Bay.

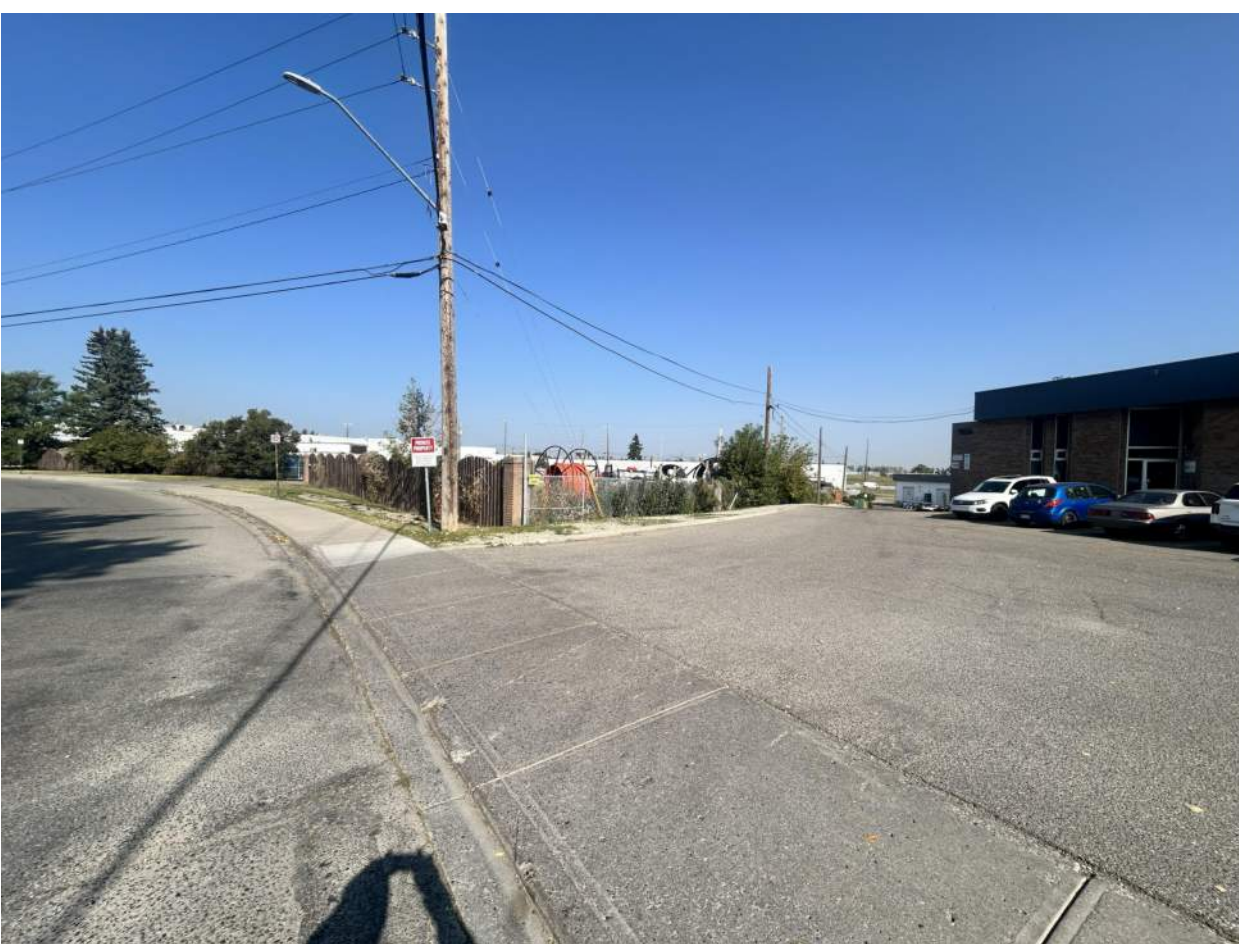


IMAGE 05: View of south east corner from Farrel Road.



IMAGE 06: View of east of site from Phillips Court loading bay.



IMAGE 07: View of east of site from Phillips Court loading bay.



IMAGE 08: View of north west corner from the parking lot west of the site.



IMAGE 09 : View of west of site looking south.

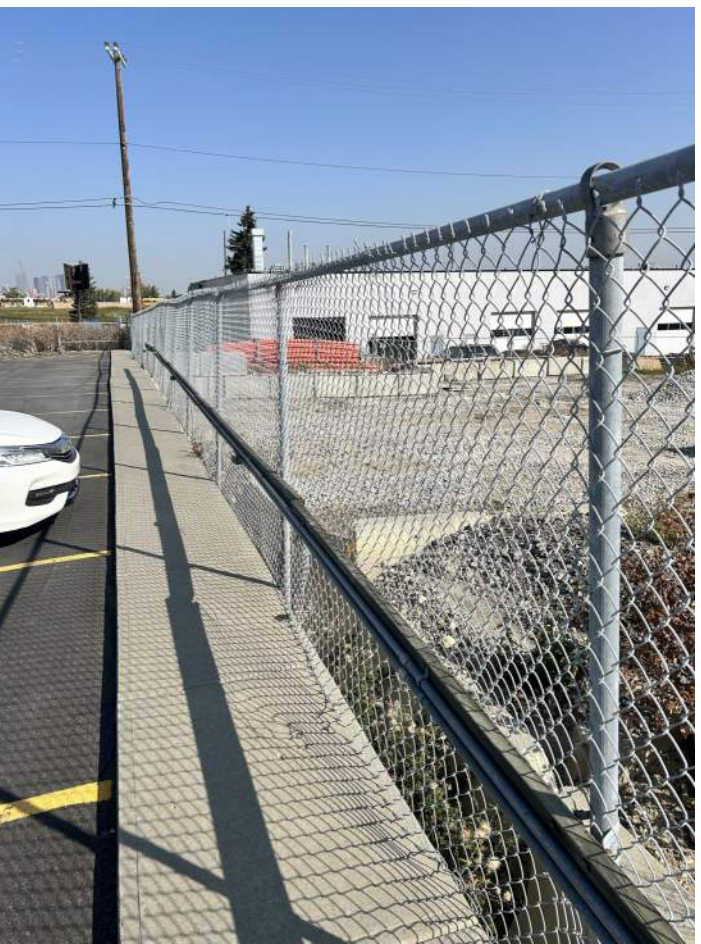


IMAGE 10: View of west of site looking North.



IMAGE 11: View of west corner from the parking lot west of the site.

RENDER 1: Looking East toward the adjacent Phillips Court building, showing the buildings South facade.



RENDER 2: Looking North West toward, showing the buildings South facade.



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Key Plan

Project 0001

FARRELL ROAD

7048 & 7052 FARRELL ROAD SE

Issued for Development Permit R1

BUILDING RENDERS

Date	2026-02-12
Drawn By	ME
Checked By	LK
Scale	
Original Size	A1

A014

RENDER 3: Looking North at two industrial bays with (potential) commercial frontage, showing the buildings South facade.



RENDER 4: Looking North West at industrial bays with (potential) commercial frontage, showing the buildings South facade.



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Key Plan

Project 0001

FARRELL ROAD

7048 & 7052 FARRELL ROAD SE

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BUILDING RENDERS

Date	2026-02-12
Drawn By	ME
Checked By	LK
Scale	
Original Size	A1

A015

RENDER 5: Looking North toward Glenmore Trail from Farrell Road, showing the buildings South facade.



RENDER 6: Looking South towards Farrell Road from the adjacent Phillips Court truck court, showing the buildings North and East facade.



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Key Plan

Project 0001

FARRELL ROAD

7048 & 7052 FARRELL ROAD SE

Issued for Development Permit R1

BUILDING RENDERS

Date	2026-02-12
Drawn By	ME
Checked By	LK
Scale	
Original Size	A1

A016



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Revisions

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Key Plan

Project	0001
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FARRELL ROAD

7048 & 7052 FARRELL ROAD SE

Issued for Development Permit

BUILDING ELEVATIONS - NORTH AND SOUTH

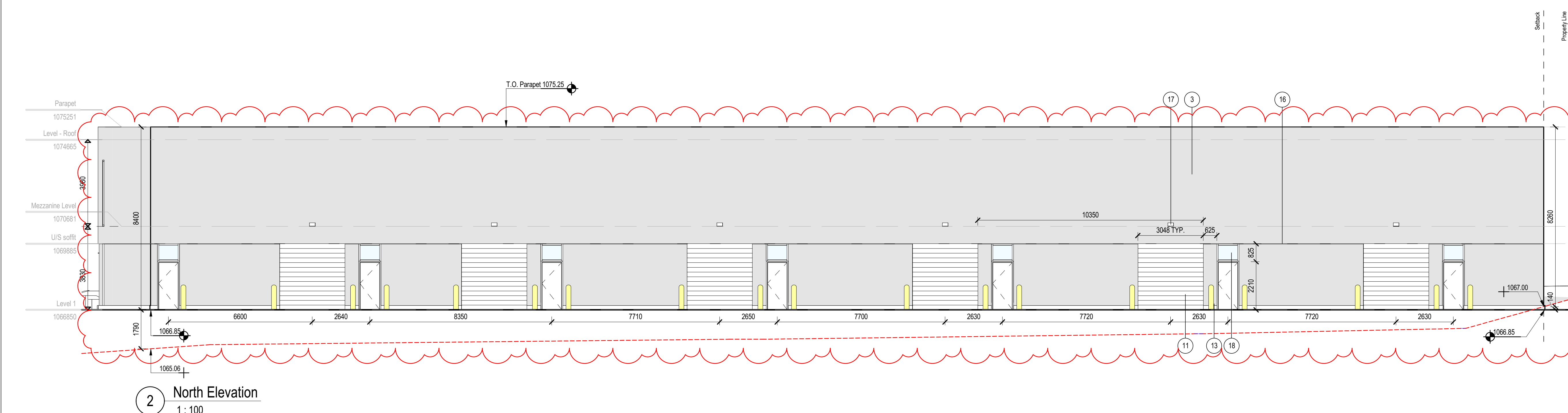
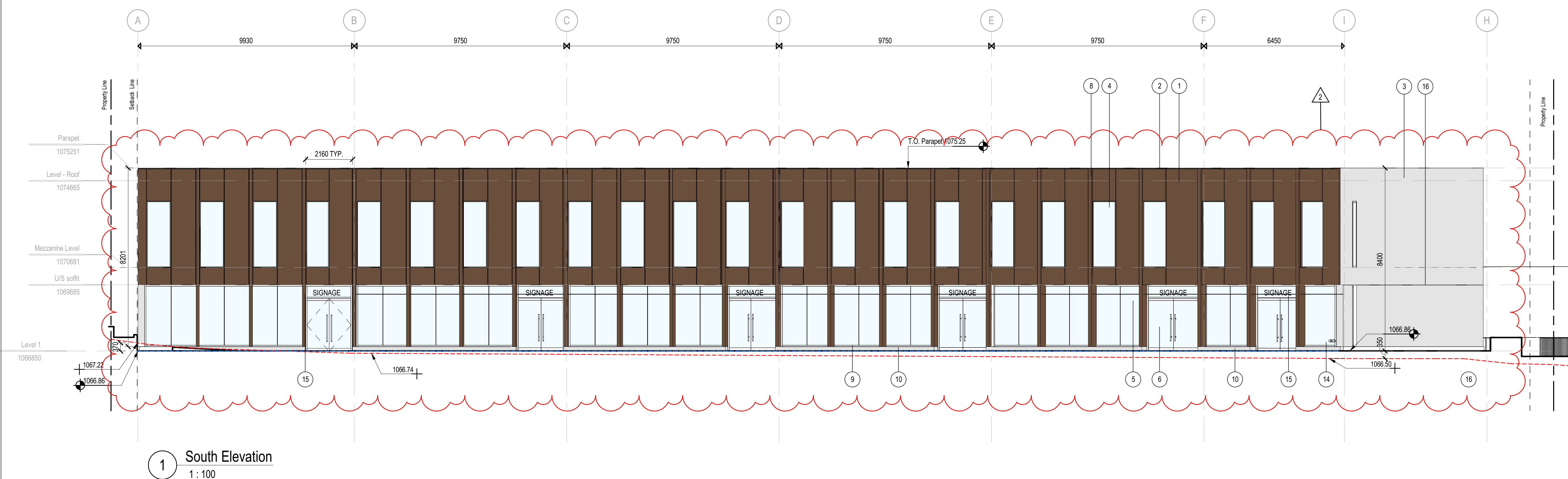
Date	2026-02-12
Drawn By	HP
Checked By	LK
Scale	As indicated
Original Size	A1

A300

MATERIALS KEYNOTE LEGEND

1. Carefully review architectural drawings to understand the design intent with respect to continuous horizontal and vertical alignments of flashing and sheet metal elements that may extend across multiple trades including windows, doors, parapets and cladding materials, and with respect to specific flashing profiles that architecturally define the building's composition. The contractor is responsible to achieve the design intent described by the drawings and contract documents. The execution of flashing and sheet metal work by various trades, or across various building systems, cannot be used as a rationale to fail to achieve design intent.

1. Prefinished Metal Panel Cladding
2. Prefinished Metal Flashing
3. Pre-cast concrete panel
4. Punched window
5. SSG Glazing with Aluminum Frames
6. Glazed Door
7. Painted Steel Exterior Door
8. Metal Cladding Fin
9. Exterior Concrete Bench
10. Exterior Concrete Planter
11. Overhead door
12. Lit Bollard
13. Bollard
14. Fire Department Connection
15. Window Signage, Typical
16. Concrete Reveal
17. Exterior Lighting - Wall Console, Refer to Electrical
18. Exterior Steel Wall with Clerestory Glazing
19. Concrete retaining wall with metal fence.



LEGEND - ELEVATIONS

PROPERTY LINE

SETBACK LINE

EXISTING GRADE LINE

PROPOSED GRADE LINE

BUILDING FACE GRADE LINE

SPOT ELEVATION - EXISTING

SPOT ELEVATION - PROPOSED

BUILDING LEVEL DATUM

Level #

000.00m

GENERAL NOTES - ELEVATIONS

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MATERIALS KEYNOTE LEGEND

1. Prefinished Metal Panel Cladding

2. Prefinished Metal Flashing

3. Pre-cast concrete panel

4. Punched window

5. SSG Glazing with Aluminum Frames

6. Glazed Door

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8. Metal Cladding Fin

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10. Exterior Concrete Planter

11. Overhead door

12. Lit Bollard

13. Bollard

14. Fire Department Connection

15. Window Signage, Typical

16. Concrete Reveal

17. Exterior Lighting - Wall Sconce, Refer to Electrical

18. Exterior Steel Door with Clerestory Glazing

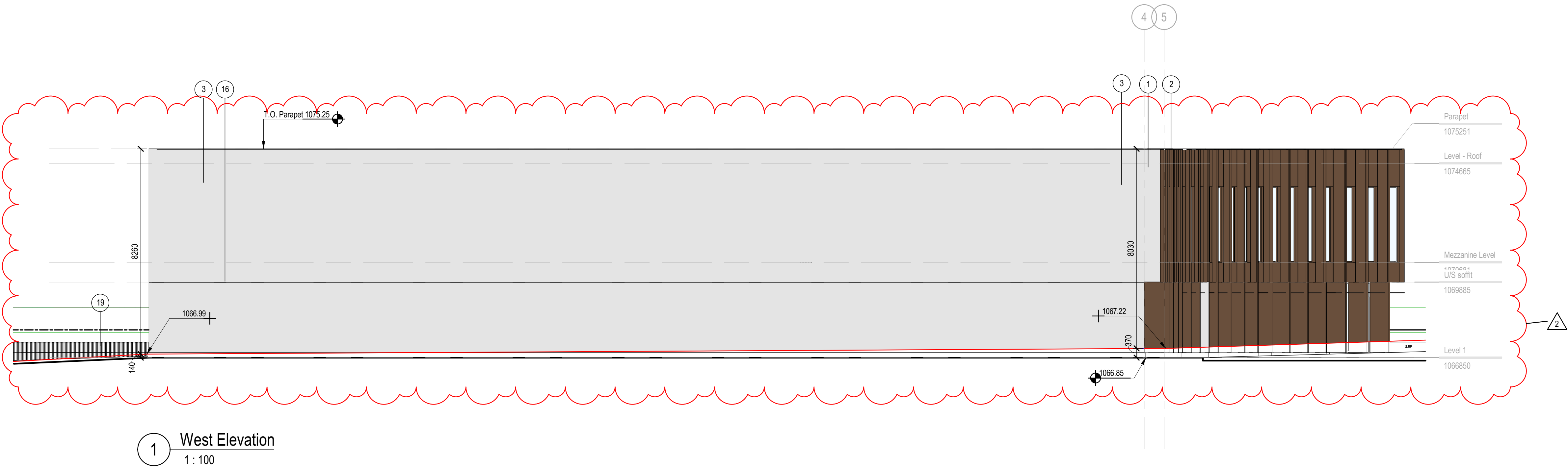
19. Concrete retaining wall with metal fence.

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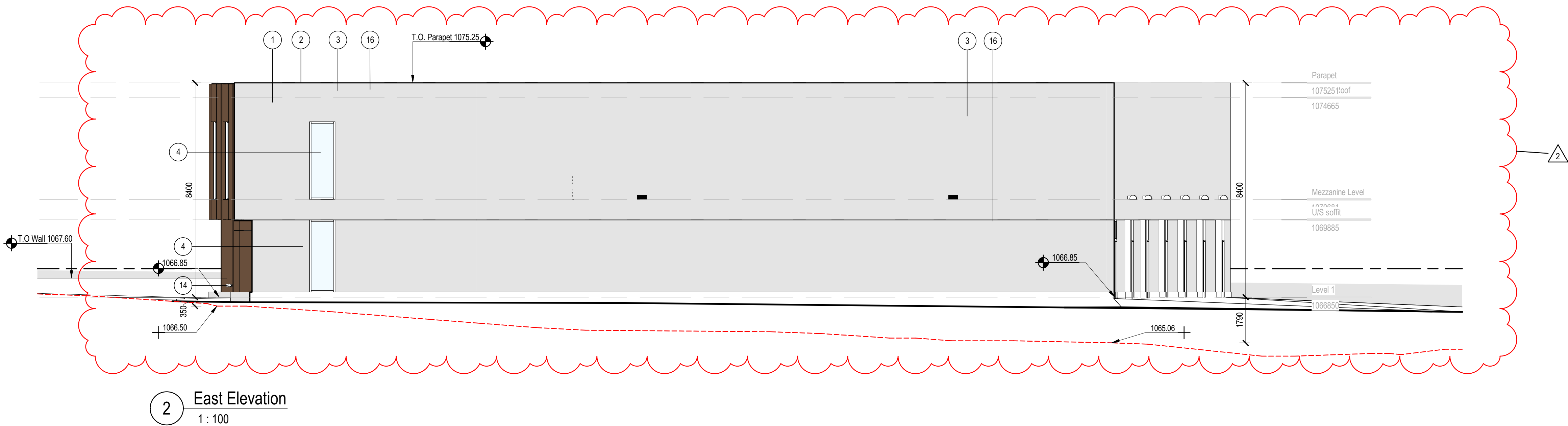
Seal



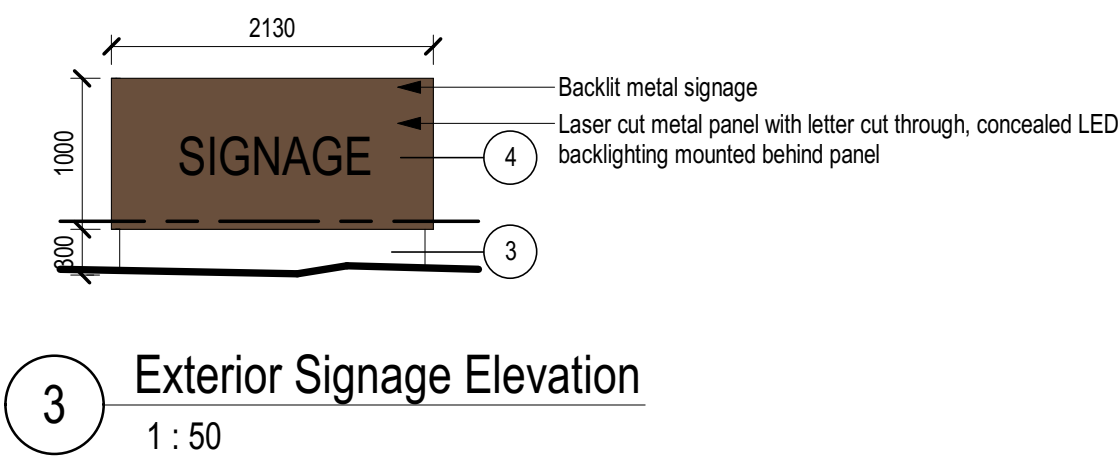
Reserved



1 West Elevation
1 : 100



2 East Elevation
1 : 100



3 Exterior Signage Elevation
1 : 50

Revisions

No.	Description	Date
1	Issued for Development Permit	2025-12-22
2	Issued for Development Permit R1	2026-02-12

Key Plan

Project 0001

FARRELL ROAD

7048 & 7052 FARRELL ROAD SE

Issued for Development Permit

BUILDING ELEVATION - EAST AND WEST

Date	2026-02-12
Drawn By	HP
Checked By	LK
Scale	As indicated
Original Size	A1

GENERAL NOTES - ELEVATIONS

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MATERIALS KEYNOTE LEGEND

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- Prefinished Metal Flashing
- Pre-cast concrete panel
- Punched window
- SSG Glazing with Aluminum Frames
- Glazed Door
- Painted Steel Exterior Door
- Metal Cladding Fin
- Exterior Concrete Bench
- Exterior Concrete Planter
- Overhead door
- Lit Bollard
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- Fire Department Connection
- Window Signage, Typical
- Concrete Reveal
- Exterior Lighting - Wall Sconce, Refer to Electrical
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- Concrete retaining wall with metal fence.

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No.	Description	Date
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Key Plan

Project 0001

FARRELL ROAD

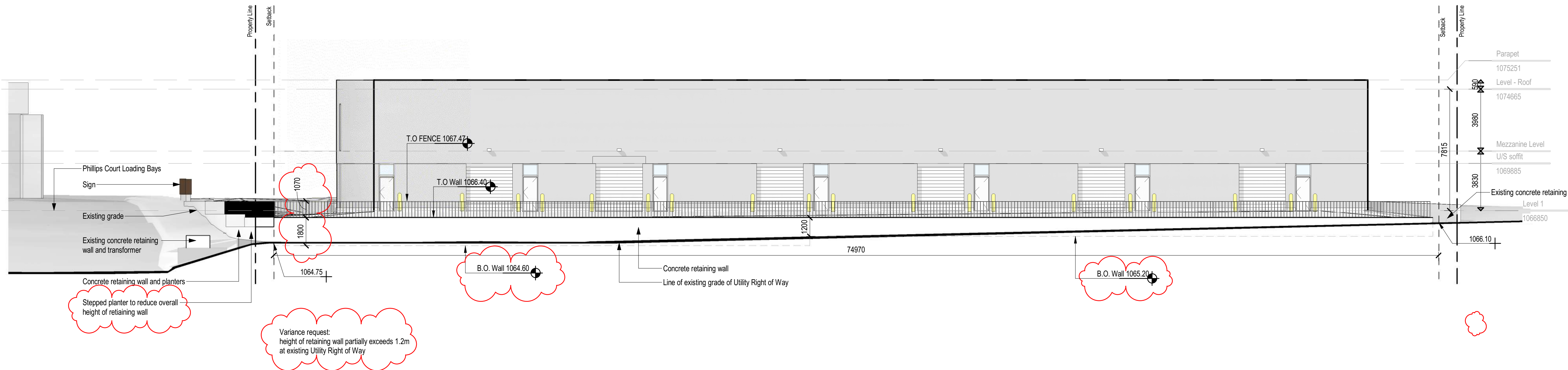
7048 & 7052 FARRELL ROAD SE

Issued for Development Permit

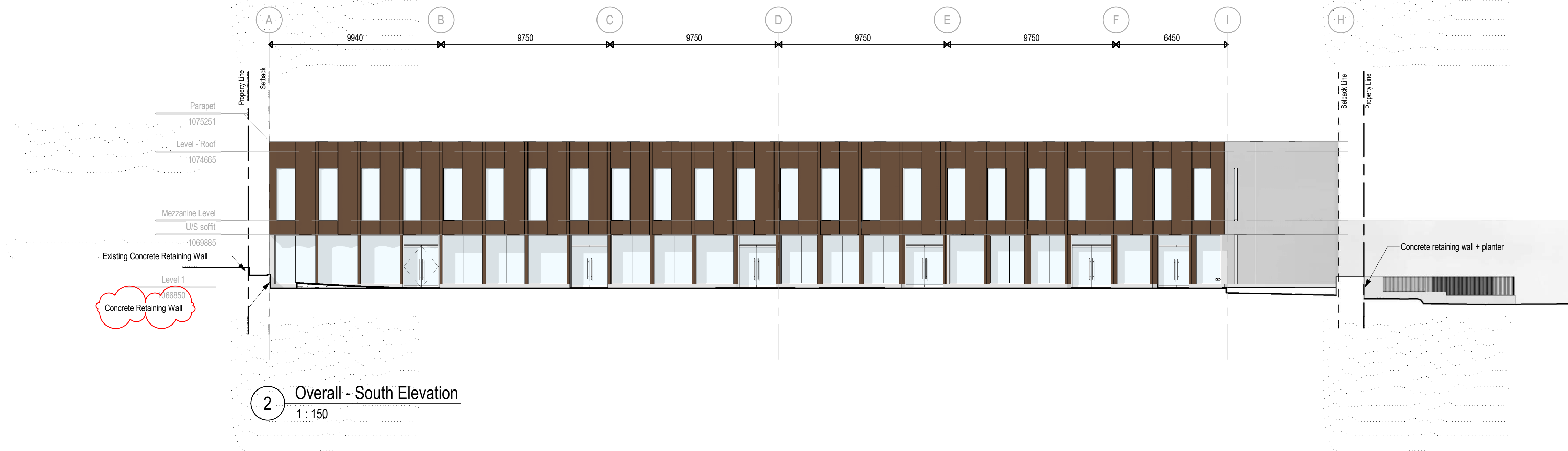
SITE ELEVATIONS - NORTH AND EAST

Date	2026-02-12
Drawn By	HP
Checked By	LK
Scale	As indicated
Original Size	A1

A302



1 Site - North Elevation
1 : 150



2 Overall - South Elevation
1 : 150

GENERAL NOTES - ELEVATIONS

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MATERIALS KEYNOTE LEGEND

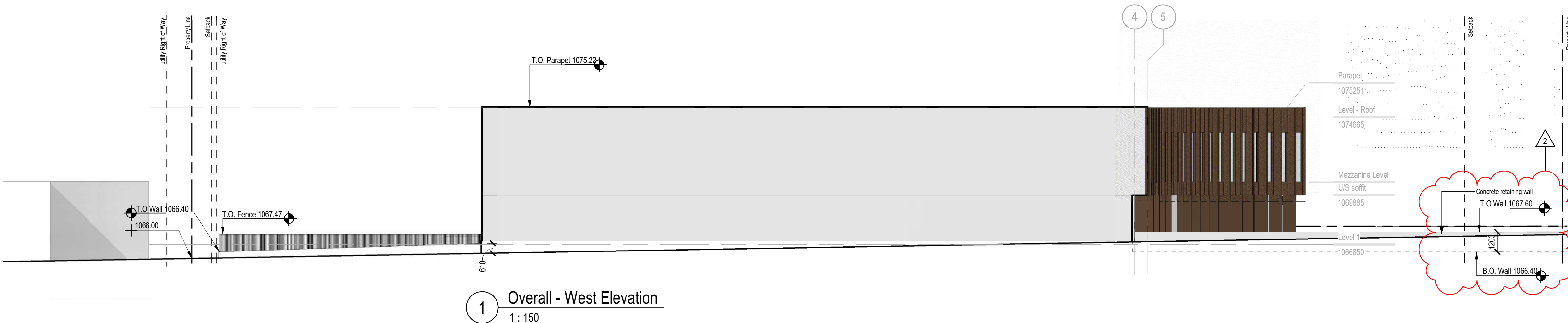
1. Prefinished Metal Panel Cladding
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Revisions

No.	Description	Date
1	Issued for Development Permit	2025-12-22
2	Issued for Development Permit R1	2026-02-12

Key Plan

Project 0001

FARRELL ROAD

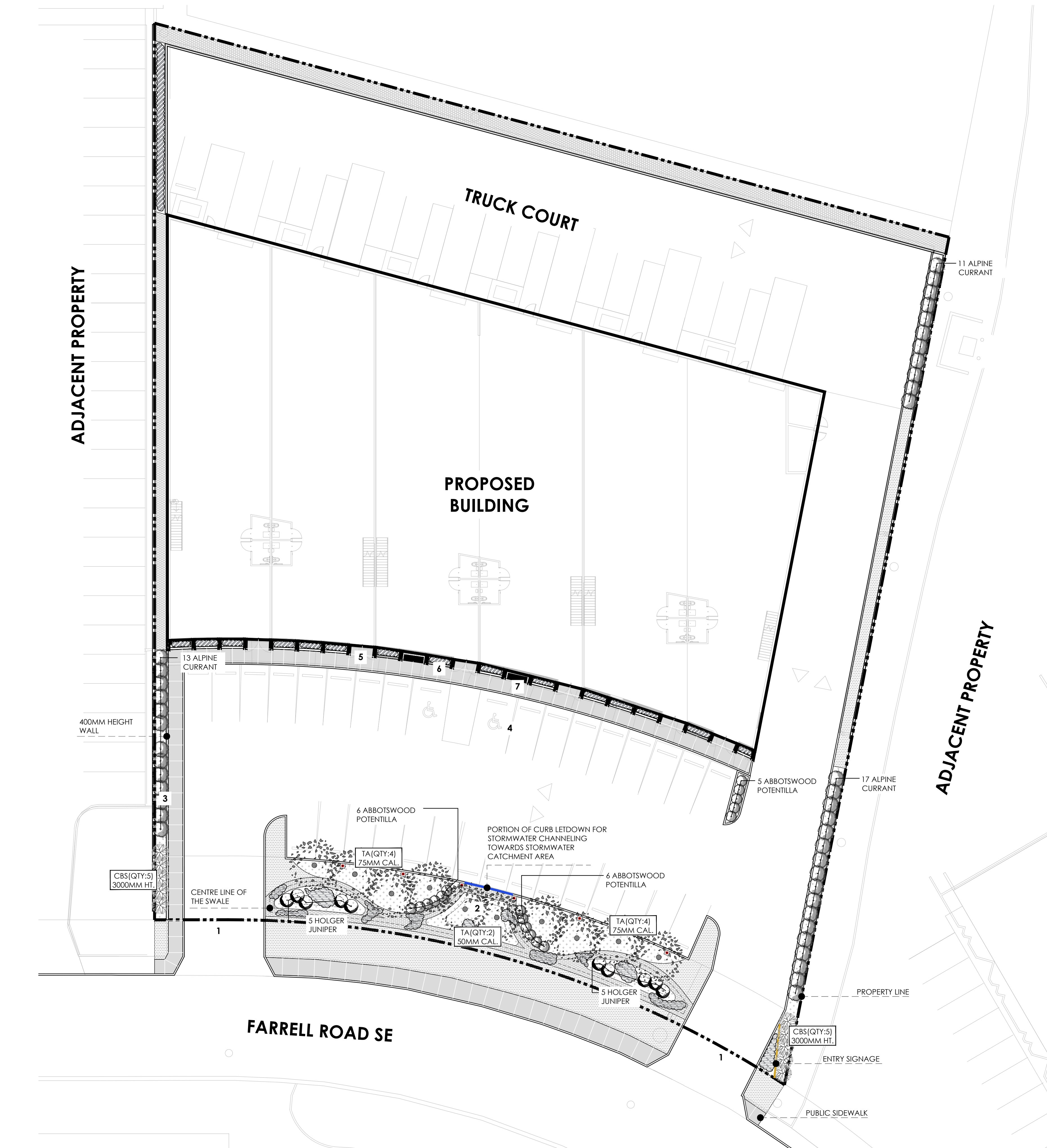
7048 & 7052 FARRELL ROAD SE

Issued for Development Permit

SITE ELEVATIONS - EAST AND WEST

Date	2026-02-12
Drawn By	HP
Checked By	LK
Scale	As indicated
Original Size	A1

A303



GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- TOPSOIL AVAILABLE FOR PLANTINGS OVER PARKADE"
 - TREES 1200MM
 - SHRUBS 600MM
 - GRASS & PERENNIALS 300MM

LANDSCAPE ANALYSIS

SITE AREA: 5421.85 SQ.M.
PROPOSED SITE ZONING: I-C

REQUIRED LANDSCAPE AREA ALONG SOUTH SIDE = SETBACK AREA SHARES PROPERTY LINE WITH STREET = 376.4 SQ. M.
REQUIRED LANDSCAPE AREA ALONG WEST, NORTH AND EAST SIDE = SETBACK AREA SHARES PROPERTY LINE WITH OTHER COMMERCIAL/ INDUSTRIAL = 272.77 SQ.M.
TOTAL SETBACK AREA = **649.17 SQ.M.**

REQUIRED TREE PLANTING 1 TREE/ 35 SQ.M. = **19**
REQUIRED SHRUB PLANTING 2 SHRUBS/ 35 SQ.M. = **38**

TOTAL TREES PROVIDED = **20**
DECIDUOUS TREES PROVIDED = 10
DECIDUOUS TREES WITH MIN 75MM CALLIPER REQUIRED = 5
PROVIDED = 8
REMAINING DECIDUOUS TREES TO HAVE MIN. 50MM CALLIPER

CONIFEROUS TREES PROVIDED = 10
CONIFEROUS TREES WITH MIN 3000MM HEIGHT REQUIRED = 5
PROVIDED = 10
REMAINING CONIFEROUS TREES TO HAVE MIN. 2000MM HEIGHT

TOTAL SHRUBS PROVIDED = **68**

LEGEND

- REGULAR GREY COLOR CONCRETE WITH CONTROL JOINTS
- 20MM WASHED ROCK
- PLANTING BED WITH PARKLAND PREMIUM MULCH
- SOD (DROUGHT TOLERANT SPECIES)
- DECIDUOUS TREES
- CONIFEROUS TREES
- DECIDUOUS SHRUBS
- CONIFEROUS SHRUBS
- PERENNIALS
- GRASSES
- BENCH
- ENTRY SIGNAGE
- LIGHT BOLLARD (TOTAL QUANTITY: 6)

DESIGN ELEMENTS

- DRIVEWAY ENTRY
- ENTRY FEATURE PLANTING WITH STORMWATER CATCHMENT
- TYPICAL LANDSCAPE PLANTING BED
- VEHICLE PARKING
- BUILDING ENTRANCE
- PERIMETER PLANTING
- SEATING WITH BENCH

PLANTING SCHEDULE

common name	latin name	size/ spread	quantity
deciduous trees (TOTAL QUANTITY: 10)			
TA TREMBLING ASPEN	POPULUS TREMULOIDES	75MM CAL.	08
TA TREMBLING ASPEN	POPULUS TREMULOIDES	50MM CAL.	02
coniferous trees (TOTAL QUANTITY: 10)			
CBS COLUMNAR BLUE SPRUCE	PICEA PUNGENS 'FASTIGIATA'	3000MM HT.	05
CBS COLUMNAR BLUE SPRUCE	PICEA PUNGENS 'FASTIGIATA'	2000MM HT.	05
common name			
deciduous shrubs (TOTAL QUANTITY: 58)			
ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	600MM HT.	17
ALPINE CURRANT	RIBES ALPINUM	600MM HT.	41
common name			
coniferous shrubs (TOTAL QUANTITY: 10)			
HOLGER JUNIPER	JUNIPERUS SQUAMATA 'HOLGER'	600MM SP.	10

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Revisions

No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	251217

Key Plan

Project 25316FARR

FARRELL ROAD INDUSTRIAL

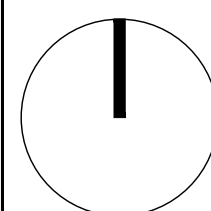
7048 & 7052 FARRELL ROAD SE

Issued for

DEVELOPMENT PERMIT

LAYOUT PLAN

Date	251217
Drawn By	CC
Checked By	YN
Scale	1:200
Original Size	A1



DPL1